



Submissions Committee Meeting Agenda

11 March 2025 at 3pm

COPACC Meeting Rooms 1 and 2

COLAC OTWAY SHIRE SUBMISSIONS COMMITTEE MEETING

Tuesday 11 March 2025

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COLAC OTWAY SHIRE SUBMISSIONS COMMITTEE MEETING

NOTICE is hereby given that the next **SUBMISSIONS COMMITTEE MEETING OF THE COLAC OTWAY SHIRE COUNCIL** will be held at COPACC on Tuesday 11 March 2025 at 3:00 PM.

AGENDA

1 DECLARATION OF OPENING

OPENING PRAYER

*Almighty God, we seek your
blessing and guidance in our
deliberations on behalf of the
people of the Colac Otway Shire.
Enable this Council's decisions to be
those that contribute to the true
welfare and betterment of our community.*

AMEN

2 WELCOME AND ACKNOWLEDGEMENT OF COUNTRY

Colac Otway Shire acknowledges the original custodians and law makers of this land, their elders past and present and emerging.

RECORDING AND PUBLICATION OF MEETINGS

Please note: All Submissions Committee meetings live streamed and recorded when the meeting is held either at COPACC or online. This includes the public participation sections of the meetings. When meetings are held in other locations, Council will endeavour to make an audio recording of the meeting for community access. Matters identified as confidential items in the Agenda will not be live streamed or recorded regardless of venue or mode.

By participating in open Submissions Committee meetings, individuals consent to the use and disclosure of the information they share at the meeting (including any personal and/or sensitive information).

As soon as practicable following each open Submissions Committee meeting, the live stream recording will be accessible on Council's website. Recordings are also taken to facilitate the preparation of the minutes of open Submissions Committee meetings and to ensure their accuracy. Recordings will be retained by Council for a period of four years.

This meeting will be livestreamed to the public via Council's You Tube channel (search Colac Otway Shire Council at www.youtube.com).

The sole purpose of this Submissions Committee meeting is to hear persons who indicated they wish to speak in support of their written submissions to the *"Use and Development of Dwelling and Removal of Native Vegetation - 5650 Great Ocean Road, Wongarra."*

3 MEETING ADMINISTRATION

3.1 Present

3.2 Apologies

3.3 Confirmation of Minutes

RECOMMENDATION

That the Submissions Committee confirm the minutes of the Submissions Committee meeting held on 11 February 2025.

3.4 Declarations of Interest

A Councillor who has declared a conflict of interest, must leave the meeting and remain outside the room while the matter is being considered, or any vote is taken.

Councillors are also encouraged to declare circumstances where there may be a perceived conflict of interest.

4 VERBAL SUBMISSIONS

The Mayor is to read out the names of the people who have confirmed they wish to make a verbal submission. These verbal submissions will be made in relation to each respective agenda item and must be directly relevant to the respective agenda item. A limit of 5 minutes will apply.

Item: 5.1

Use and Development of Dwelling and Removal of Native Vegetation - 5650 Great Ocean Road, Wongarra

OFFICER	Ian Williams
GENERAL MANAGER	Ian Seuren
DIVISION	Community and Economy
ATTACHMENTS	1. Application Plans [5.1.1 - 15 pages]

1. PURPOSE

To hear verbal submissions from the applicant and submitters about a planning application for the use and development of land at 5650 Great Ocean Road, Wongarra (Lot: 2 PS: 735692 V/F: 11822/407 Parish of Krambruk) for a dwelling and associated works, including the removal of native vegetation and the creation of an access to a road in a Transport Zone 2.

The role of the Submissions Committee is to hear submissions. The Submissions Committee meeting is not a decision-making forum, and the Committee has no authority to make a decision on the planning application. The merits of the application is anticipated to be considered by the Planning Committee meeting on 8 April 2025.

2. EXECUTIVE SUMMARY

Planning permission is sought for the use and development of the land for a dwelling, associated works and native vegetation removal. The site has an area of 124.9ha and contains an agricultural building towards the southern side. The land is steeply sloping and heavily vegetated towards its northern side.

Consideration of the planning application involved a formal process of public notification by means of letters to surrounding properties and a site notice. In response, two letters of support were received from neighbours. No objections were received.

An officer report that discusses the planning merits of the proposal will be considered later at a future Planning Committee or Council Meeting.

3. RECOMMENDATION

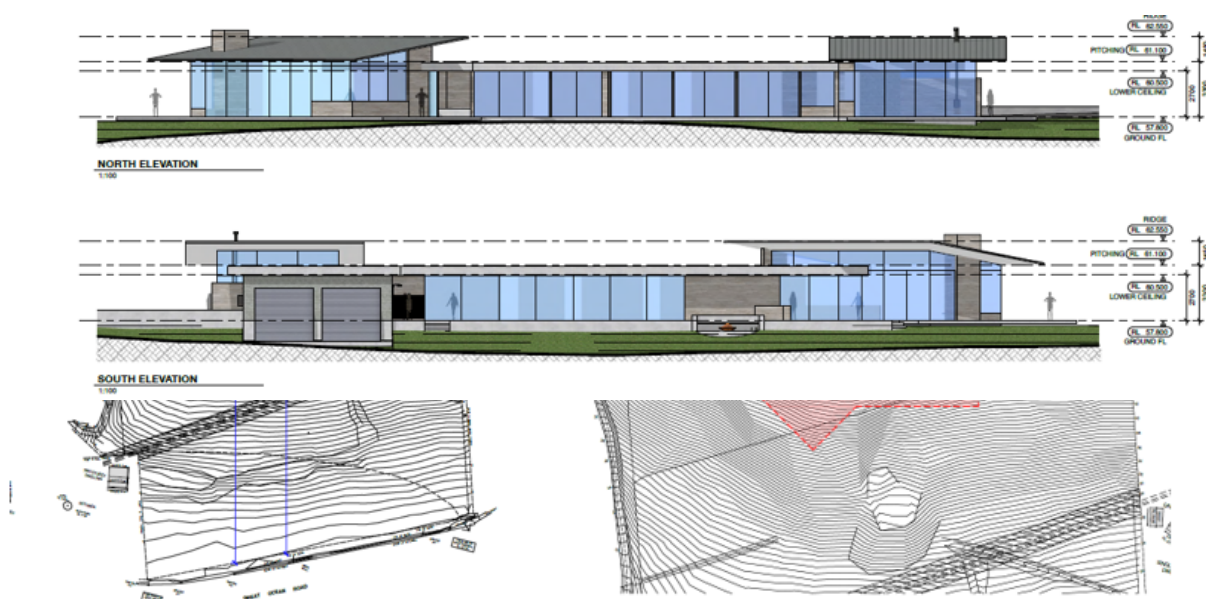
That the Submissions Committee:

- 1. Acknowledges and notes the verbal comments made in support of written submissions.***
- 2. Thanks the submitters and the applicant for their contribution to the submission process.***
- 3. Having heard all persons wishing to speak to their submissions, recommends that Council consider the planning application and all submissions at a future Planning Committee or Council Meeting.***

4. KEY INFORMATION

Planning permission is sought for the use and development of the land for a dwelling, associated works and native vegetation removal at 5650 Great Ocean Road, Wongarra.

The proposed dwelling would be located in an elevated part of the site, at approximately 57.5m AHD. The Great Ocean Road is located at 11m AHD and the coastal foreshore is at a level lower than this. The proposed dwelling would present a width of 53m across the site and would be recessed approximately 210m from the front title boundary to the Great Ocean Road and 116m from the eastern boundary. The proposed dwelling would be externally finished with a mix of emperor brick concrete block and pre-sealed raw cement sheet, clear glazing and a Colorbond 'windspray' roof. The maximum height would be 5.3m. Access to the Great Ocean Road, which is in a Transport Zone 2, is proposed from the southern part of the site where there is an existing rural access farm gate.



Consideration of the planning application involved a formal process of public notification by means of letters to surrounding properties and a site notice. In response, two letters of support were received from neighbours. No objections were received.

The letters of support consider that the proposed location makes the “most sense” from a local perspective, avoiding any major earthworks and drainage issues, and having a minimal impact on the neighbouring properties. The submitters advised that the proposed location is preferred to any location towards the front of the property, and if the proposed dwelling were to be located towards the front of the property close to the Great Ocean Road they would strongly object as this location would have a severely detrimental impact on their views and would negatively affect property values. They also noted that land towards the front of the site is very boggy requiring extensive drainage, and consider that there would be loss of privacy and impacts from noise and lighting for nearby residents if the dwelling was located towards the front of the site.

Two of the key matters for consideration in the determination of this application, when it is considered at a future Planning Committee or Council Meeting, will be whether the proposed siting and design of the dwelling would satisfy the *purpose* and *decision guidelines* of the Rural Conservation Zone and those of the Significant Landscape Overlay (SLO3), or whether the design and location would result in an unacceptable visual impact on the natural scenic landscape when viewed from the Great Ocean Road.

Back in 2001, VCAT approved the subdivision of the application site into three lots. The decision included the requirement for a building envelope. As the plan of subdivision was not certified within the specified time, planning permit PP315/1998-1 lapsed and therefore the building envelope imposed by VCAT via permit condition has no status.

Also of note is the fact that Planning Scheme Amendment C55 was gazetted on 18 June 2009, after that VCAT decision, and the Significant Landscape Overlay (SLO3) was introduced over the subject site.

5. CONSIDERATIONS

Overarching Governance Principles (s(9)(2) LGA 2020)

This report aligns with relevant Governance Principles by seeking to ensure that those who have made submissions on the planning application (i.e., in this case the applicant and those who have written in support of the proposal) have the opportunity to verbally address Councillors as the ultimate decision-makers in this case.

Policies and Relevant Law (s(9)(2)(a) LGA 2020)

This report has had regard to the provisions of the *Planning and Environment Act 1987* and the Colac Otway Planning Scheme. A full report with an officer assessment of the proposal will be presented to a future Planning Committee or Council Meeting for consideration.

Environmental and Sustainability Implications (s(9)(2)(c) LGA 2020)

Any environmental and sustainability implications will be considered as part of the officer report assessing the proposal.

Community Engagement (s56 LGA 2020 and Council's Community Engagement Policy)

Consideration of this planning application involved a formal process of public consultation. As noted above, a sign was installed around the site and letters were sent to nearby properties. Two letters of support were received. No objections were received.

Public Transparency (s58 LGA 2020)

A Submissions Committee meeting provides an opportunity for people to speak to their submission, providing further clarity around key points they wish to convey to Councillors. It also provides opportunity for the applicant to respond to matters raised. The applicant and supporters will also be invited to attend a future Planning Committee or Council Meeting when the matter is to be considered and at which a decision on the planning application will be made. The officer report on the application will be made publicly available prior to that meeting.

Alignment to Plans and Strategies

Alignment to Council Plan 2021-2025:

The officer report presented to a future Planning Committee Meeting or Council Meeting will make an assessment of how the proposal has been considered against relevant planning policy.

Financial Management (s101 Local Government Act 2020)

Not applicable.

Service Performance (s106 Local Government Act 2020)

Not applicable.

Risk Assessment

Not applicable.

Communication/Implementation

Following the Submissions Committee meeting, a report on the planning application will be presented to Councillors at a future Planning Committee or Council Meeting for consideration. This will have regard to submissions received since notice was undertaken.

Human Rights Charter

No impact.

Officer General or Material Interest

No officer declared an interest under the *Local Government Act 2020* in the preparation of this report.

Options

Option 1 – Note the verbal submissions

This option is recommended as the purpose of the meeting is to hear verbal submissions. The merits of the planning application will be considered at a future Planning Committee or Council Meeting.

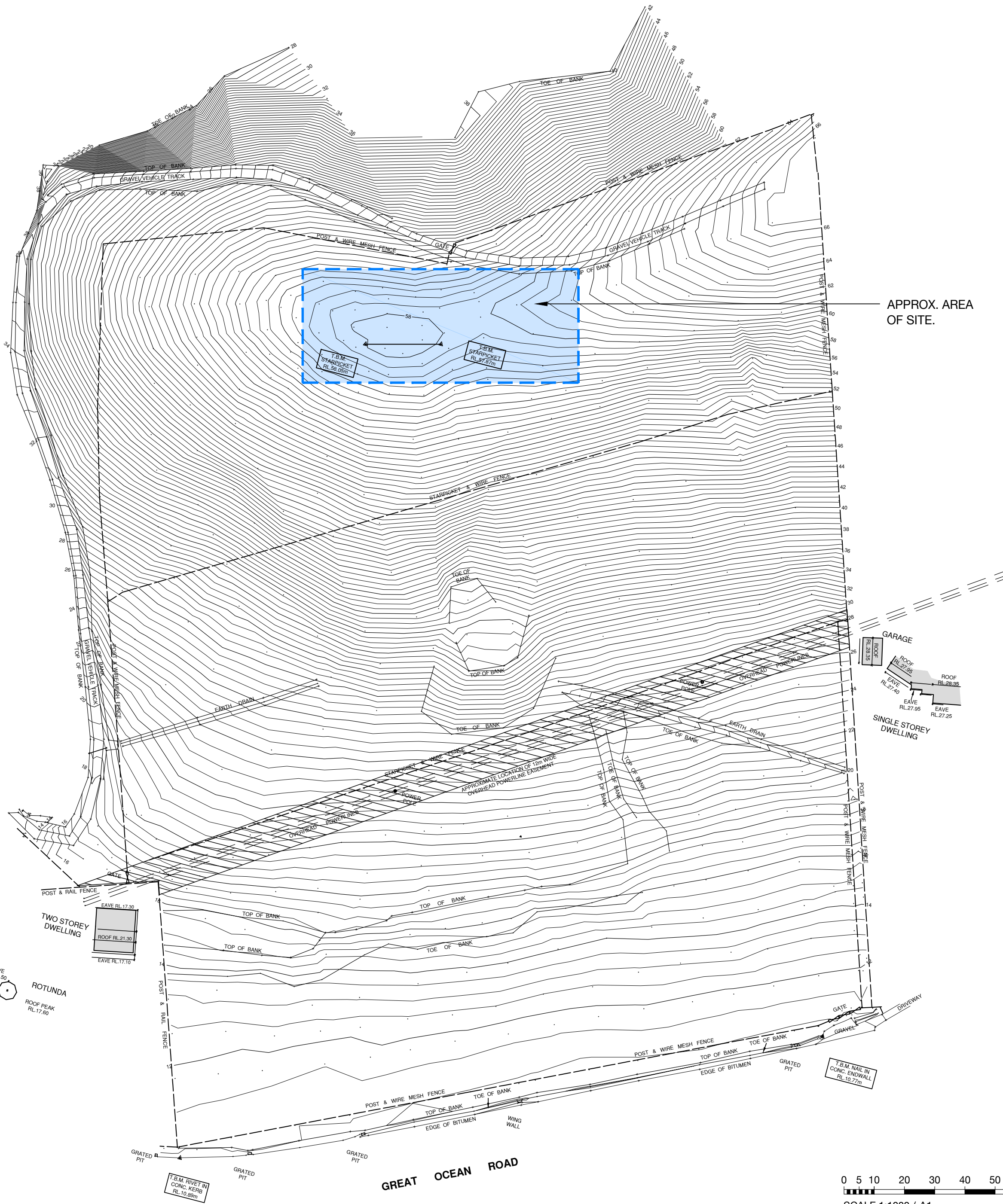
WONGARA HOUSE

5650 GREAT OCEAN ROAD, WONGARA VIC 6065.

PROPOSED NEW RESIDENCE

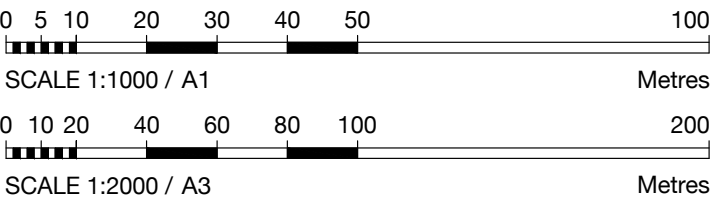
ARCHITECTURAL DRAWINGS

DWG NO.	DESCRIPTION	SCALE
TP.00	COVER SHEET, DRAWING LIST & EXISTING SITE PLAN	1:1000
TP.01	SITE ANALYSIS	1:1000
TP.02	LANDSCAPING PLAN	1:1000
TP.03	ACCESS TRACK ANALYSIS	1:1000
TP.04	SITE PLAN - 01, 02	1:1000, 1:5000
TP.05	SITE PLAN - 03	1:500
TP.06	FLOOR PLAN	1:100
TP.07	ROOF PLAN	1:100
TP.08	ELEVATIONS	1:100
TP.09	SECTIONS	1:100
TP.10	ISOMETRIC - GROUND FLOOR	-
TP.11	ISOMETRIC - ROOF	-
TP.12	VIEWS	-
TP.13	VIEW ANALYSIS	1:5000
TP.14	VIEW ANALYSIS	1:5000



NOTE:
THE FOLLOWING DRAWINGS ARE PRODUCED ON SIZE A1 SHEETS.
PRINT AT 100% / A1 ORIGINAL SIZE FOR ORIGINAL SCALE OR AT 50% / A3 FOR DOUBLE SCALE. REFER BAR SCALES ON EACH DRAWING SHEET FOR INDICATION OF SCALES CORRELATING TO EACH SHEET SIZE.
IE. 1:100 SCALE AT A1 = 1:200 SCALE AT A3.

SITE PLAN - EXISTING
SCALE 1:1000



TOWN PLANNING
NOT FOR CONSTRUCTION

**alex
english
architecture**

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www.alexenglish.com.au | ARBV Reg No. 20023

NO.	DATE	ITEM	BY
00	12.02.24	TOWN PLANNING ISSUE	AE
01	14.03.24	TOWN PLANNING ISSUE	AE
02	16.03.24	TOWN PLANNING ISSUE	AE
03	17.06.24	TOWN PLANNING ISSUE	AE
04	23.08.24	ACCESS TRACK ANALYSIS	AE
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PROJECT NAME
WONGARA HOUSE.

CLIENT NAME
ROUND ETERNAL
INVESTMENTS LTD.

PROJECT ADDRESS
5650 GREAT OCEAN ROAD
WONGARA VIC 6065.

DRAWING NAME
COVER SHEET, DRAWING LIST &
EXISTING SITE PLAN.

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PLOT DATE
23.08.2024

SCALE
1:1000

DRAWN
AE

REVISION

04

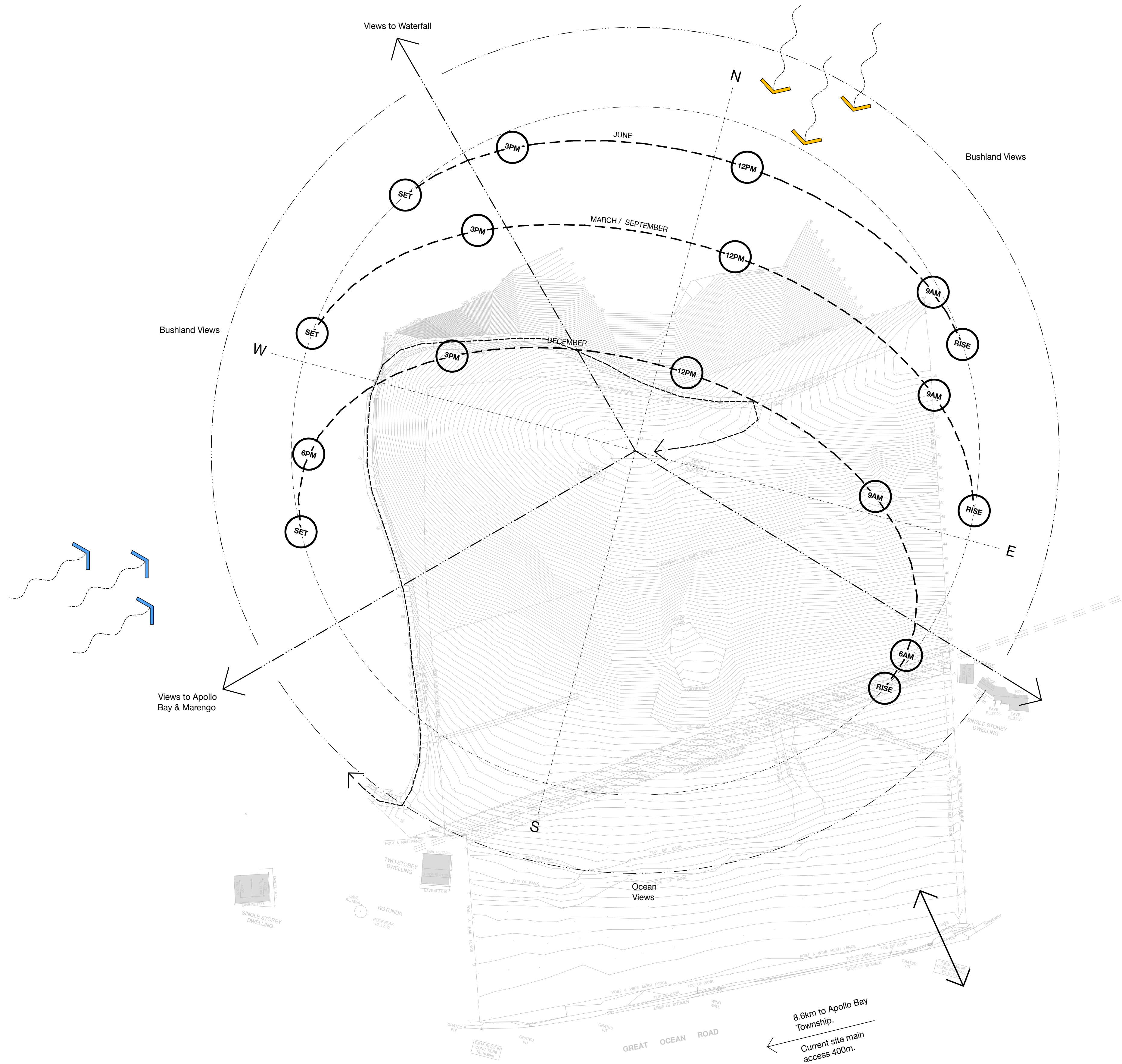
PROJECT NO.
22004

SHEET SIZE
A1

STAGE
TP

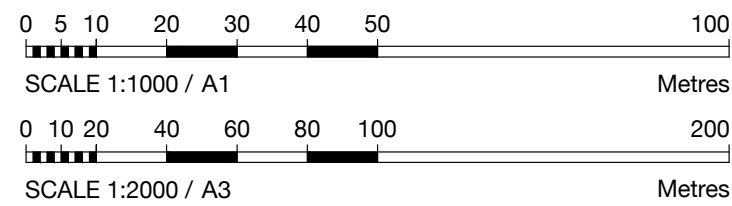
TP.00

DRAWING NO.



SITE ANALYSIS LEGEND

- PREDOMINANT WINDS - OCEAN SEA BREEZE.
- PREDOMINANT WINDS - WARM NORTHERLIES.
- SUN PATH - SUMMER
- SUN PATH - EQUINOX
- SUN PATH - WINTER
- SITE ACCESS
- ACCESS TRACK



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04	23.08.24	ACCESS TRACK ANALYSIS	AE
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PROJECT NAME
WONGARA HOUSE.

CLIENT NAME
ROUND ETERNAL
INVESTMENTS LTD.

PROJECT ADDRESS
5650 GREAT OCEAN ROAD
WONGARA VIC 6065.

DRAWING NAME
SITE ANALYSIS

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SCALE
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DRAWN
AE

REVISION
04

PROJECT NO.
22004

SHEET SIZE
A1

STAGE
TP

TP.01

DRAWING NO.



LANDSCAPING PLAN LEGEND

← → PROPOSED ACCESS / DRIVEWAY

PROPOSED / RECENT PLANTING

- 1 PLANTING ZONE 1.**
(PLANTED IN 2022.
CURRENTLY ~0.5m - 1.5m TALL.)
- DOUBLE / 2NO. ROW COMBINATION OF:
- COAST BANKSIA (BANKSIA INTEGRAFOLIA).
 - MOONAH (MALALEUCA LANCEOLATA).
 - BOOBIELLA (MYOPURUM INSULARAE).
- 2 PLANTING ZONE 2.**
(PLANTED IN 2022.
CURRENTLY ~0.5m - 1.5m TALL.)
- DOUBLE / 2NO. ROW COMBINATION OF:
- MOONAH (MALALEUCA LANCEOLATA).
 - BOOBIELLA (MYOPURUM INSULARAE).
- 3 PLANTING ZONE 3.**
- COMBINATION OF:
- SPINY MATRUSH (LOMANDRA LONGIFOLIA).
 - COAST ROSEMARY (WESTRINGIA FUTICOSA).
 - WHITE COREA (COREA ALBA).
- 4 PLANTING ZONE 4.**
- COMBINATION OF:
- COAST BANKSIA (BANKSIA INTEGRAFOLIA).
 - MOONAH (MALALEUCA LANCEOLATA).
 - BOOBIELLA (MYOPURUM INSULARAE).
 - MANUKA (LEPTOSPERMUM SCOPARIUM).
 - DROOPING SHEOAK (ALLOCASUARINA VERTICILLATE).
- 5 PLANTING ZONE 5.**
(PLANTED AT ~1.0m - 1.5m TALL.)
- COAST BANKSIA (BANKSIA INTEGRAFOLIA).

PLANTING SCHEDULE

PLANT SPECIES	SIZE AT PLANTING (H)	SIZE AT MATURITY (H)	ZONE 1 (QTY)	ZONE 2 (QTY)	ZONE 3 (QTY)	ZONE 4 (QTY)	ZONE 5 (QTY)
BOOBIELLA (MYOPURUM INSULARAE)	0.2m - 0.3m	4.0m - 6.0m	50	25	-	25	-
COAST BANKSIA (BANKSIA INTEGRAFOLIA)	0.4m - 0.7m	10.0m - 20.0m	75	-	-	25	4
COAST ROSEMARY (WESTRINGIA FUTICOSA)	0.15m - 0.2m	2.0m - 4.0m	-	-	20	-	-
DROOPING SHEOAK (ALLOCASUARINA VERTICILLATE)	0.5m - 0.8m	7.0m - 10.0m	-	-	-	25	-
MANUKA (LEPTOSPERMUM SCOPARIUM)	0.2m - 0.3m	1.5m - 2.0m	-	-	-	25	-
MOONAH (MALALEUCA LANCEOLATA)	0.4m - 0.7m	6.0m - 8.0m	25	25	-	25	-
SPINY MATRUSH (LOMANDRA LONGIFOLIA)	0.3m - 0.4m	6.0m - 8.0m	-	-	50	-	-
WHITE COREA (COREA ALBA)	0.15m - 0.2m	1.5m - 2.0m	-	-	20	-	-

0 5 10 20 30 40 50 100

SCALE 1:1000 / A1 Metres

0 10 20 40 60 80 100 200

SCALE 1:2000 / A3 Metres

TOWN PLANNING

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NO.	DATE	ITEM	BY
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PROJECT NAME
WONGARA HOUSE.

CLIENT NAME
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INVESTMENTS LTD.

PROJECT ADDRESS
5650 GREAT OCEAN ROAD
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DRAWING NAME
LANDSCAPING PLAN

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PLOT DATE
23.08.2024

SCALE
1:1000

DRAWN
AE

REVISION

04

PROJECT NO.
22004

SHEET SIZE
A1

STAGE
TP

DRAWING NO.
TP.02

ACCESS TRACK ANALYSIS							
SECTION	DISTANCE (m)	RL. START	RL. FINISH	RISE	GRADIENT	%	WORKS REQUIRED
1 - 2	250	11.0	18.0	7.0	1:36	3%	CREATE NEW TRACK & PASSING BAY TO COMPLY WITH CFA & LRA REQUIREMENTS.
2 - 3	N/A	18.0	18.0	0.0	N/A	N/A	CREATION OF CFA COMPLIANT PASSING BAY.
3 - 4	140	18.0	28.0	10.0	1:14	7%	IMPROVE EXISTING TRACK TO COMPLY WITH CFA/LRA REQUIREMENTS. SOME PRUNING OF EXISTING NATIVE VEGETATION REQUIRED TO COMPLY WITH CFA CLEARANCE STANDARDS.
4 - 5	100	28.0	40.0	12.0	1:8	12%	IMPROVE EXISTING TRACK TO COMPLY WITH CFA/LRA REQUIREMENTS. SOME MINOR PRUNING OF EXISTING NATIVE VEGETATION REQUIRED TO COMPLY WITH CFA CLEARANCE STANDARDS.
5	N/A	40.0	40.0	0.0	N/A	N/A	EARTHWORKS TO WIDEN TRACK BY 1-2 METRES FOR APPROXIMATELY 20m TO COMPLY WITH CFA REQUIREMENTS FOR 6m WIDE PASSING BAY. EXCAVATION TO BE UNDERTAKEN IN ACCORDANCE WITH RECOMMENDATIONS OF LRA. REMOVAL OF 1NO. EXISTING GUM TREE. AGE~10YRS, 5-7m HIGH. REFER FIGURE 5.1
5 - 6	70	40.0	48.0	8.0	9.0	11%	IMPROVE EXISTING TRACK TO COMPLY WITH CFA/LRA REQUIREMENTS.
6 - 7	60	48.0	54.0	6.0	10.0	10%	IMPROVE EXISTING TRACK TO COMPLY WITH CFA/LRA REQUIREMENTS. SOME MINOR PRUNING OF EXISTING NATIVE VEGETATION REQUIRED TO COMPLY WITH CFA CLEARANCE STANDARDS.
7 - HOUSE SITE	60	54.0	58.0	4.0	15.0	7%	IMPROVE EXISTING TRACK TO COMPLY WITH CFA/LRA REQUIREMENTS.
AVG. GRADIENT	680	11	58.0	47.0	14.0	7%	
MAX. GRADIENT						12%	

SECTION 1 - 2



Figure 1-2.1



Figure 1-2.2

SECTION 1-2 NOTES:

- CURRENTLY PASTURE.
- NEW TRACK REQUIRED.
- 1NO. CFA COMPLIANT PASSING BAY REQUIRED.

SECTION 4 - 5



Figure 4-5.1

SECTION 4-5 NOTES:

- EXISTING TRACK.
- MINOR SURFACING/DRAINAGE WORKS REQUIRED.

SECTION 2 - 3



Figure 2-3.1



Figure 2-3.2

SECTION 2-3 NOTES:

- EXISTING TRACK.
- 1NO. CFA COMPLIANT PASSING BAY REQUIRED.
- MINOR SURFACING/DRAINAGE WORKS.

SECTION 3 - 4



Figure 3-4.1

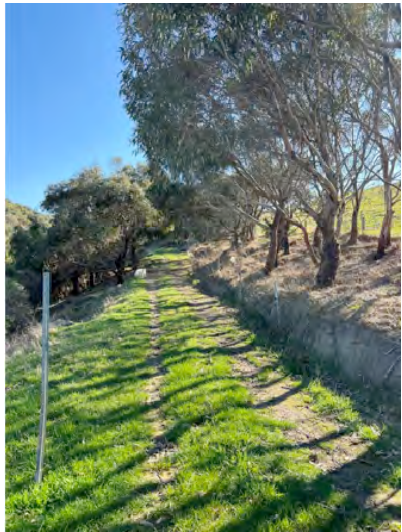


Figure 3-4.2

SECTION 3-4 NOTES:

- EXISTING TRACK.
- MINOR SURFACING/DRAINAGE WORKS.
- PRUNING OF NATIVE VEGETATION REQUIRED.

SECTION 5 - 6



Figure 5-6.1

SECTION 5-6 NOTES:

- EXISTING TRACK.
- MINOR SURFACING/DRAINAGE WORKS.

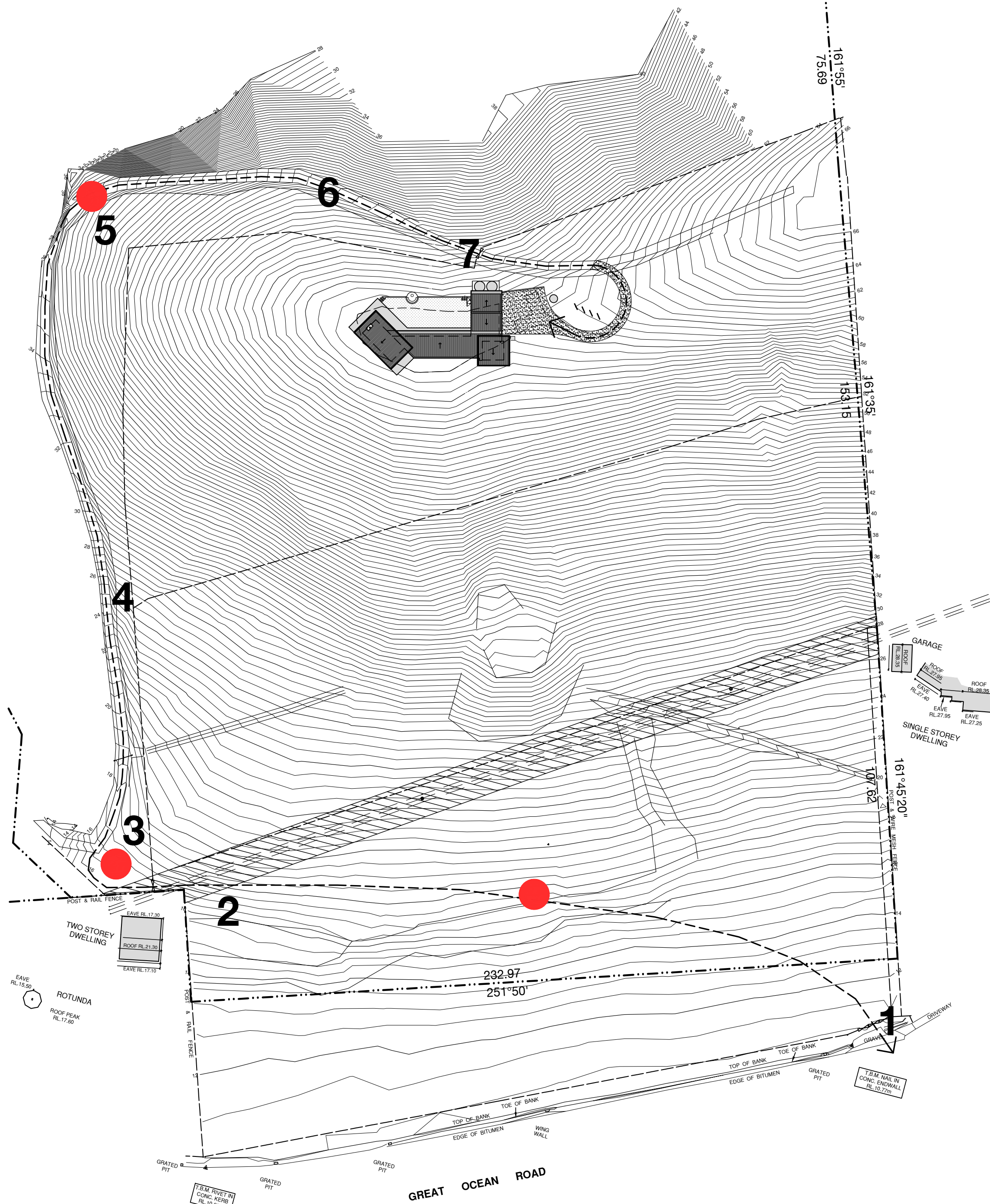
SECTION 5



Figure 5.1

SECTION 5 NOTES:

- 1NO. CFA COMPLIANT PASSING BAY REQUIRED.
- ~1-2m TRACK WIDENING REQUIRED FOR 20m.
- UNDERTAKEN IN ACCORDANCE WITH LRA RECOMMENDATIONS.
- REMOVAL OF ONE NATIVE GUM (HIGHLIGHTED)



ACCESS TRACK ANALYSIS PLAN

SCALE 1:1000

SECTION 6 - 7



Figure 6-7.1

SECTION 6-7 NOTES:

- EXISTING TRACK.
- MINOR SURFACING/DRAINAGE WORKS.
- PRUNING OF NATIVE VEGETATION REQUIRED.

SECTION 7



Figure 7.1

SECTION 7 NOTES:

- EXISTING TRACK.
- MINOR SURFACING/DRAINAGE WORKS.
- SOME EARTHWORKS TO JOIN EXISTING TRACK TO SITE CUT.

SITE PLAN LEGEND

- 6.0m PASSING BAY TO CFA REQUIREMENTS

PROPOSED ACCESS / DRIVEWAY

NOTES:

- THE DRIVEWAY & TURNING CIRCLE ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE ACCESS REQUIREMENTS LISTED ON THE APPROVED BUSHFIRE MANAGEMENT PLAN PREPARED BY BEACON ECOLOGICAL INCLUDING:
- ALL WEATHER CONSTRUCTION.
 - 5 TONNE LOAD LIMIT (MIN.).
 - 3.5m MIN. TRAFFICABLE WIDTH.
 - CLEAR ENCROACHMENT FOR AT LEAST 0.5m TO EACH SIDE + 4.0m VERTICALLY.
 - TURNING HEAD FOR 8.8m VEHICLE.

0 5 10 20 30 40 50 100

SCALE 1:1000 / A1 Metres

0 10 20 40 60 80 100 200

SCALE 1:2000 / A3 Metres

TOWN PLANNING

NOT FOR CONSTRUCTION

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english
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NO.	DATE	ITEM	BY
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03	17.06.24	TOWN PLANNING ISSUE	AE
04	23.08.24	ACCESS TRACK ANALYSIS	AE
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PROJECT NAME
WONGARA HOUSE.

CLIENT NAME
ROUND ETERNAL
INVESTMENTS LTD.

PROJECT ADDRESS
5650 GREAT OCEAN ROAD
WONGARA VIC 8065.

DRAWING NAME
ACCESS TRACK ANALYSIS

PLOT DATE
23.08.2024

SCALE
1:1000

DRAWN
AE

REVISION

04

PROJECT NO.
22004

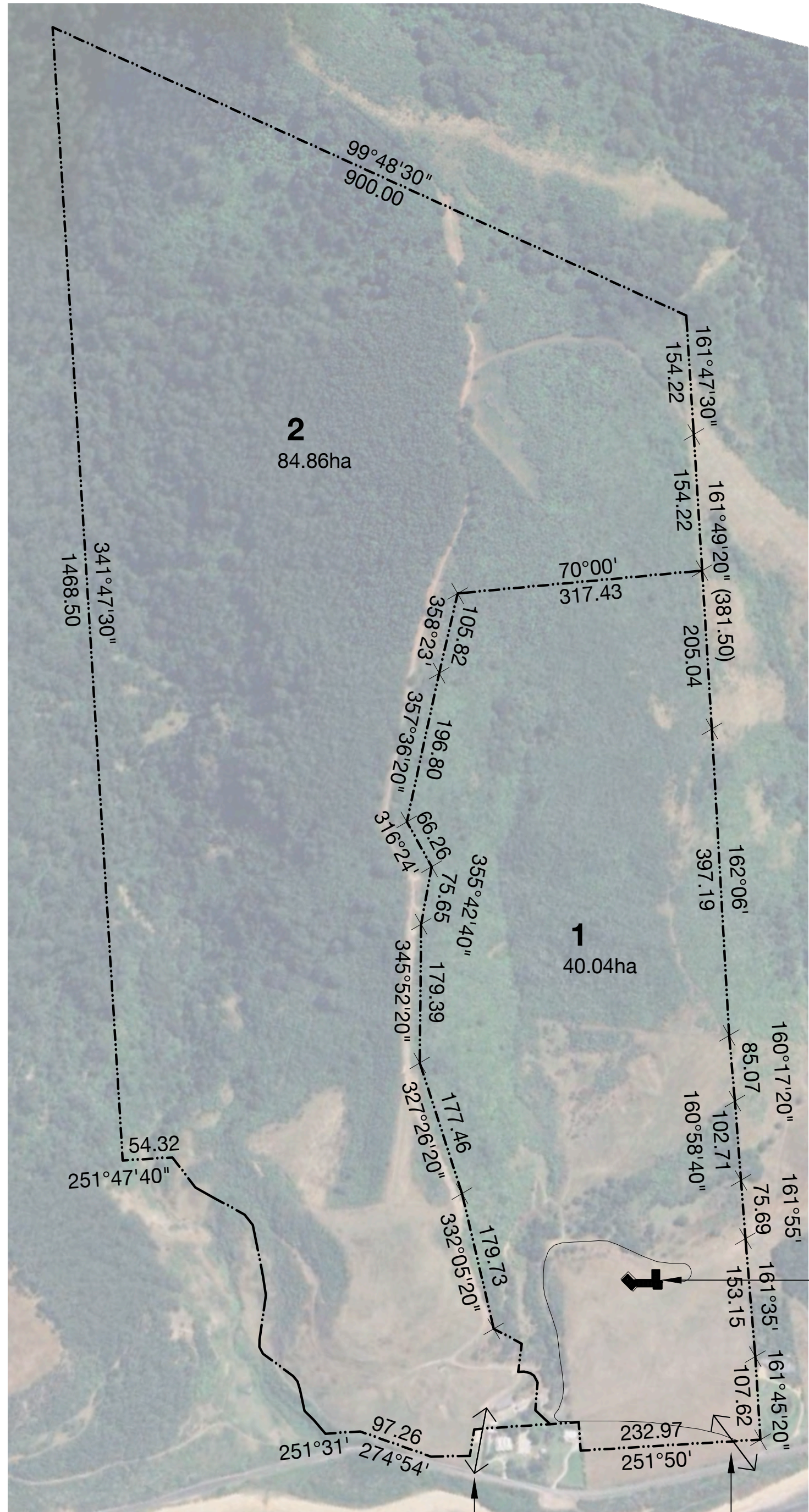
SHEET SIZE
A1

STAGE
TP

1

DRAWING NO.

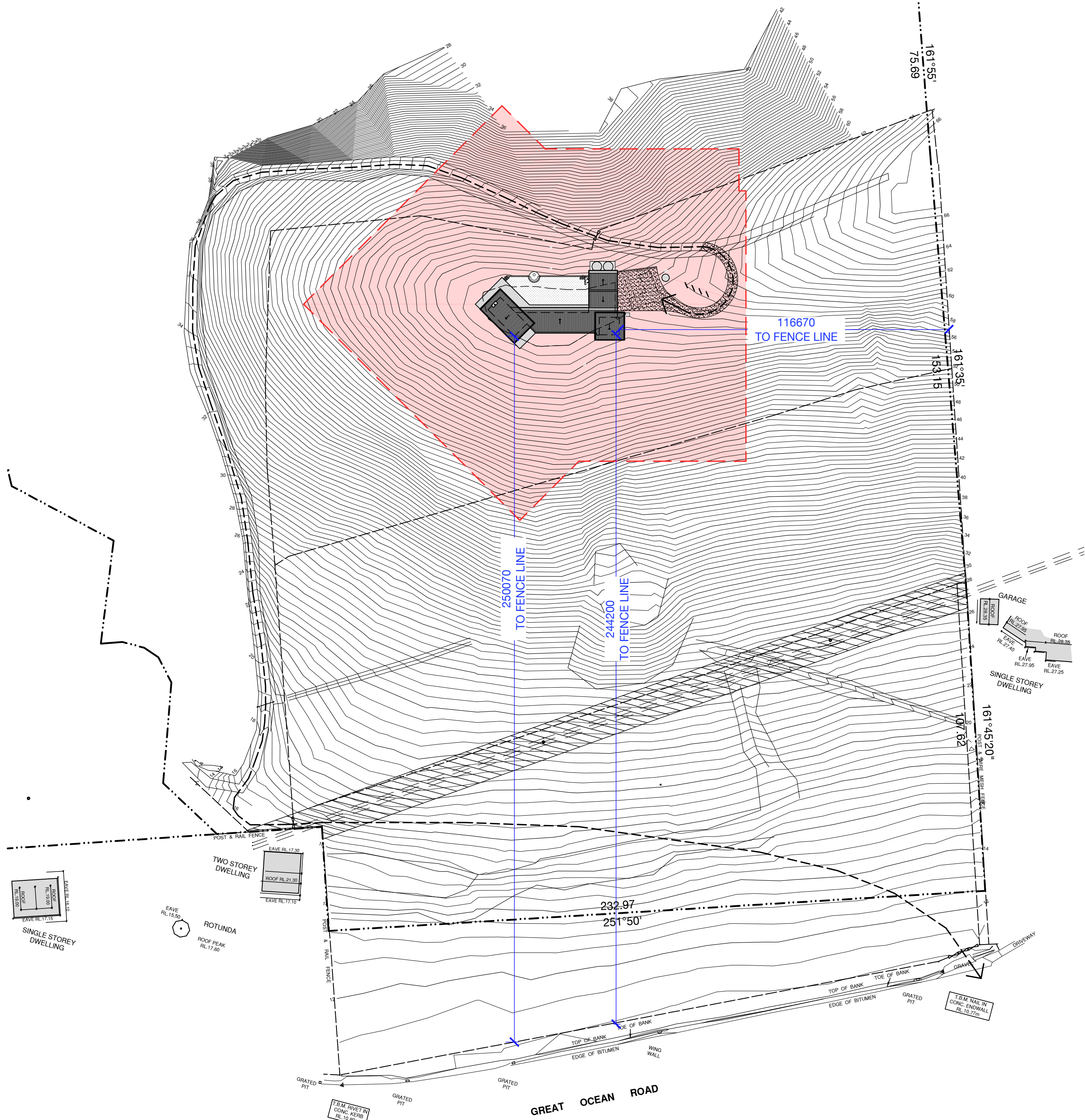
TP.03



SITE PLAN - 01
SCALE 1:5000

EXISTING VEHICLE CROSSING / ACCESS.

PROPOSED VEHICLE CROSSING / ACCESS.



SITE PLAN - 02
SCALE 1:1000

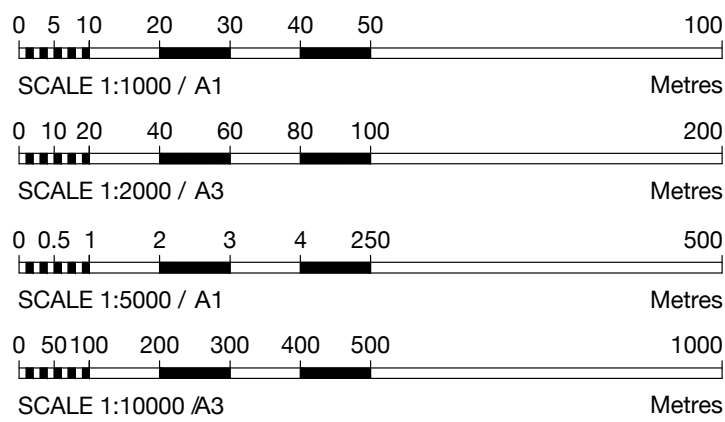
SITE PLAN LEGEND



NOTES:

THE DRIVEWAY & TURNING CIRCLE ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE ACCESS REQUIREMENTS LISTED ON THE APPROVED BUSHFIRE MANAGEMENT PLAN PREPARED BY BEACON ECOLOGICAL INCLUDING:

- ALL WEATHER CONSTRUCTION.
- 5 TONNE LOAD LIMIT (MIN.).
- 3.5m MIN. TRAFFICABLE WIDTH.
- CLEAR ENCROACHMENT FOR AT LEAST 0.5m TO EACH SIDE + 4.0m VERTICALLY.
- TURNING HEAD FOR 8.8m VEHICLE.



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01	14.03.24	TOWN PLANNING ISSUE	AE
02	18.03.24	TOWN PLANNING ISSUE	AE
03	17.06.24	TOWN PLANNING ISSUE	AE
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PROJECT NAME
WONGARA HOUSE.

CLIENT NAME
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PROJECT ADDRESS
5650 GREAT OCEAN ROAD
WONGARA VIC 8065.

DRAWING NAME
SITE PLANS

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PLOT DATE
23.08.2024

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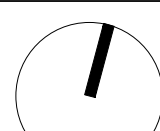
DRAWN
AE

REVISION
04

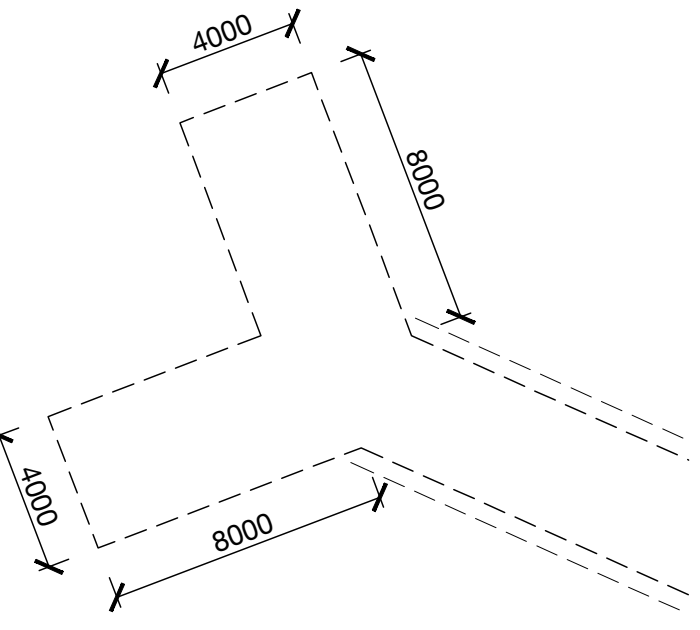
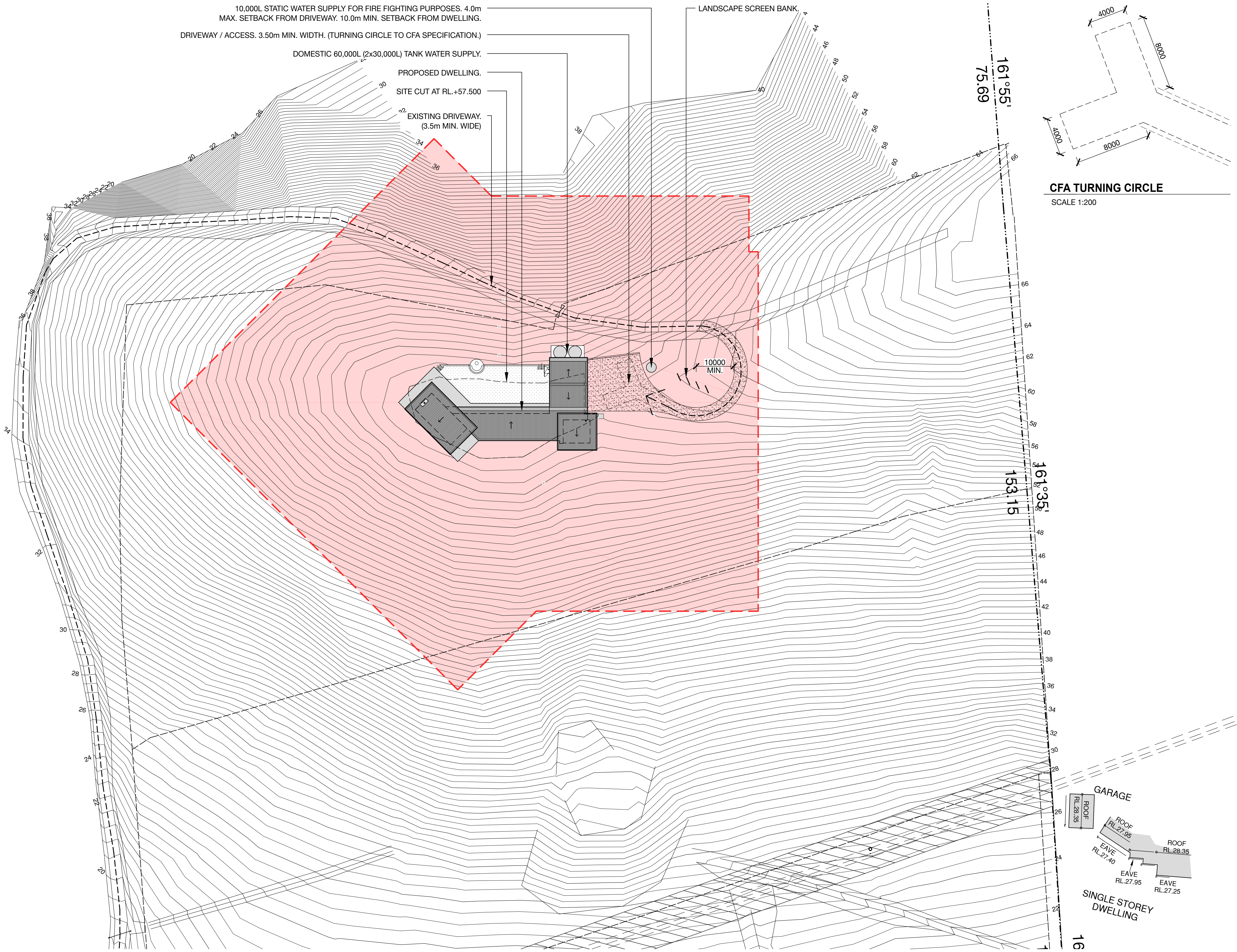
PROJECT NO.
22004

SHEET SIZE
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STAGE
TP

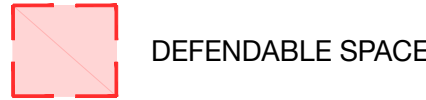


DRAWING NO.
TP.04



CFA TURNING CIRCLE
SCALE 1:200

SITE PLAN LEGEND

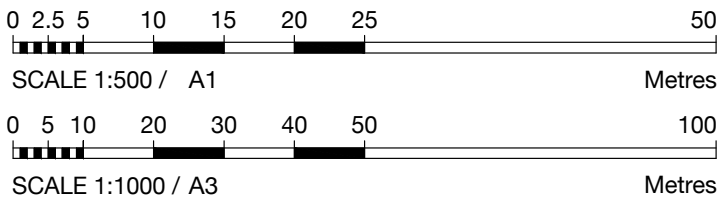


← → PROPOSED ACCESS / DRIVEWAY

NOTES:

THE DRIVEWAY & TURNING CIRCLE ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE ACCESS REQUIREMENTS LISTED ON THE APPROVED BUSHFIRE MANAGEMENT PLAN PREPARED BY BEACON ECOLOGICAL INCLUDING:

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- TURNING HEAD FOR 8.8m VEHICLE.



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03	17.06.24	TOWN PLANNING ISSUE	AE
04	23.08.24	ACCESS TRACK ANALYSIS	AE
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PROJECT NAME
WONGARA HOUSE.

CLIENT NAME
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PROJECT ADDRESS
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WONGARA VIC 8065.

DRAWING NAME
SITE PLAN - 03

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PLOT DATE
23.08.2024

PROJECT NO.
22004

SCALE
1:500

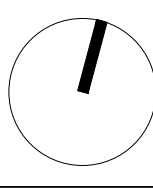
SHEET SIZE
A1

DRAWN
AE

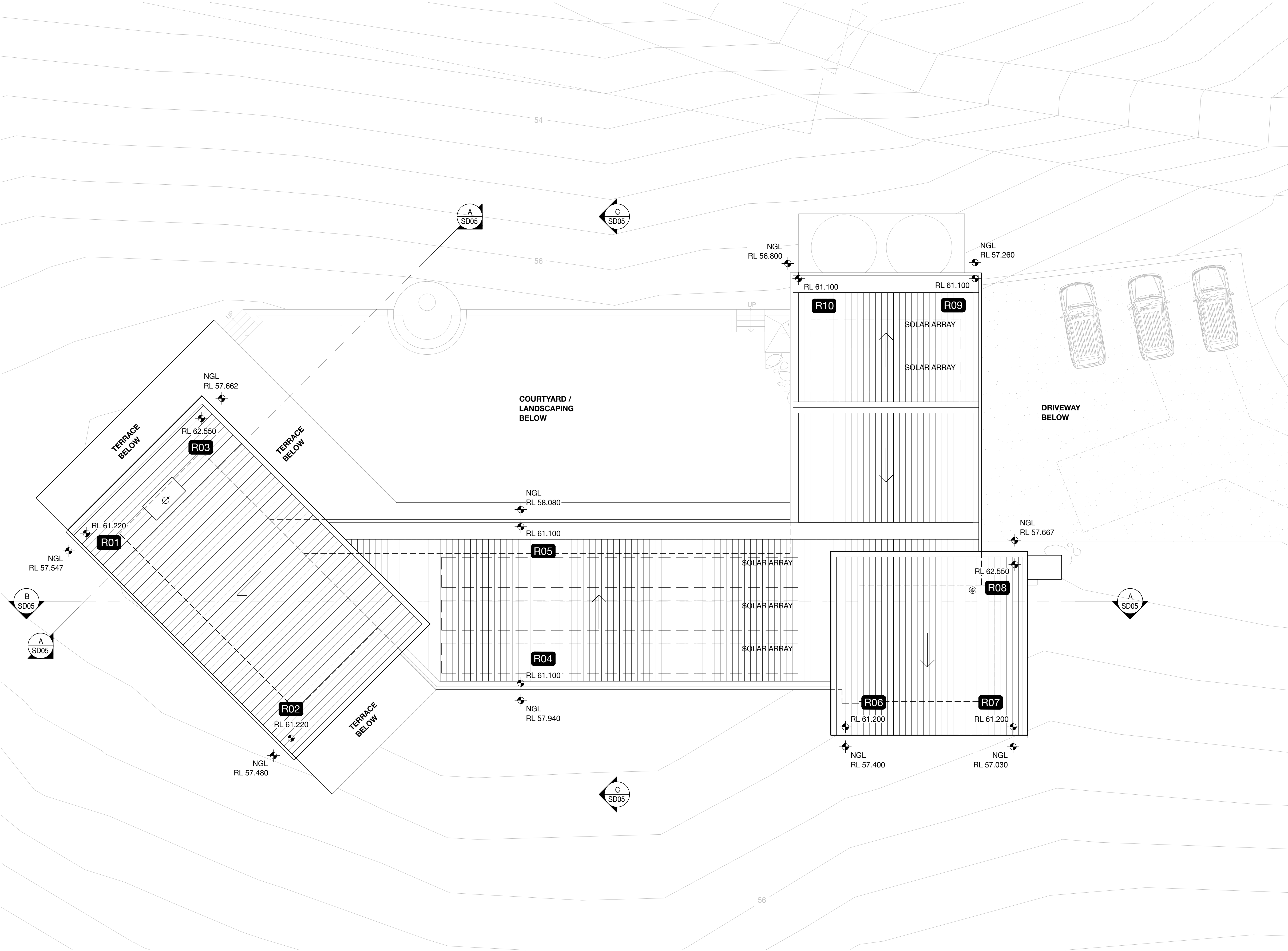
STAGE
TP

REVISION

04



TP.05



LEGEND

R01	NGL to Roof:	+3673mm
R02	NGL to Roof:	+3740mm
R03	NGL to Roof:	+4888mm
R04	NGL to Roof:	+3160mm
R05	NGL to Roof:	+3020mm
R06	NGL to Roof:	+3800mm
R07	NGL to Roof:	+4170mm
R08	NGL to Roof:	+4883mm
R09	NGL to Roof:	+3840mm
R10	NGL to Roof:	+4300mm
RL	Relative Level	
NGL	Natural Ground Level	

00.51234510

SCALE 1:100 / A1

Metres

0124681020

SCALE 1:200 / A3

Metres

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01	14.03.24	TOWN PLANNING ISSUE	AE
02	18.03.24	TOWN PLANNING ISSUE	AE
03	17.06.24	TOWN PLANNING ISSUE	AE
04	23.08.24	ACCESS TRACK ANALYSIS	AE
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PROJECT NAME
WONGARA HOUSE.

CLIENT NAME
ROUND ETERNAL
INVESTMENTS LTD.

PROJECT ADDRESS
5650 GREAT OCEAN ROAD
WONGARA VIC 6065.

DRAWING NAME
ROOF PLAN

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PLOT DATE
23.08.2024

PROJECT NO.
22004

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1:100

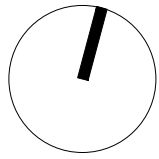
SHEET SIZE
A1

DRAWN
AE

STAGE
TP

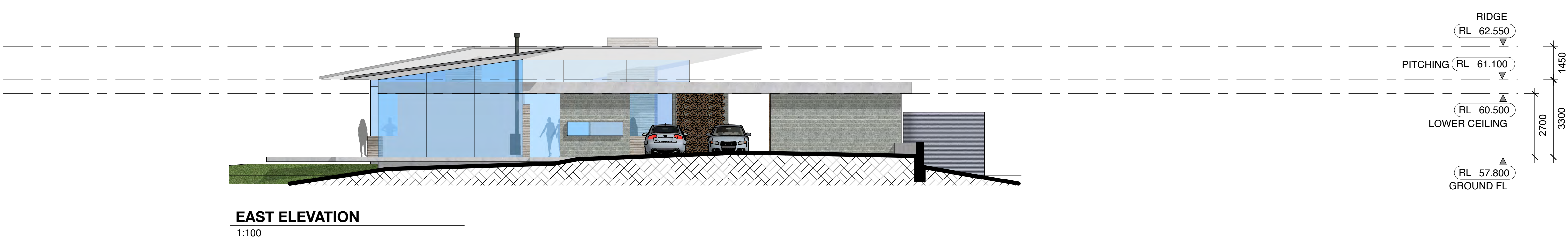
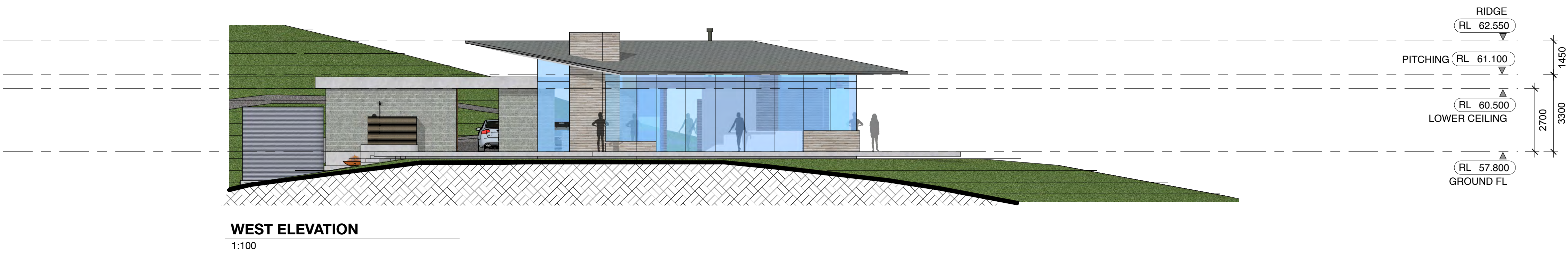
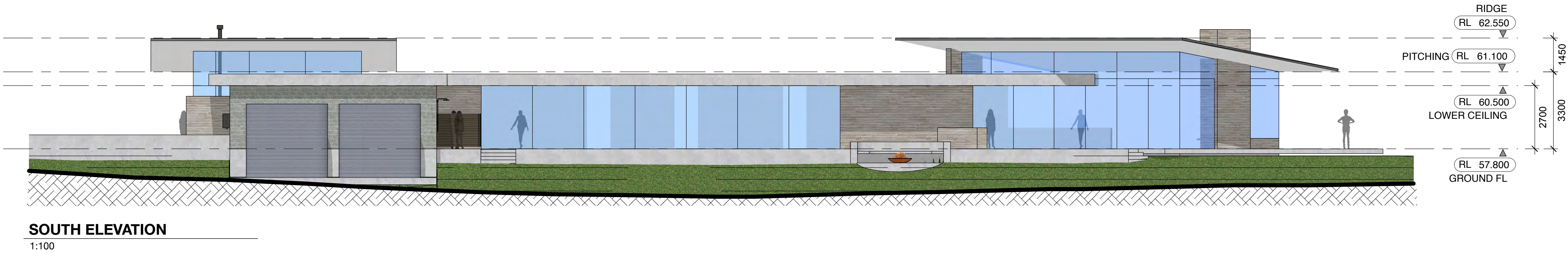
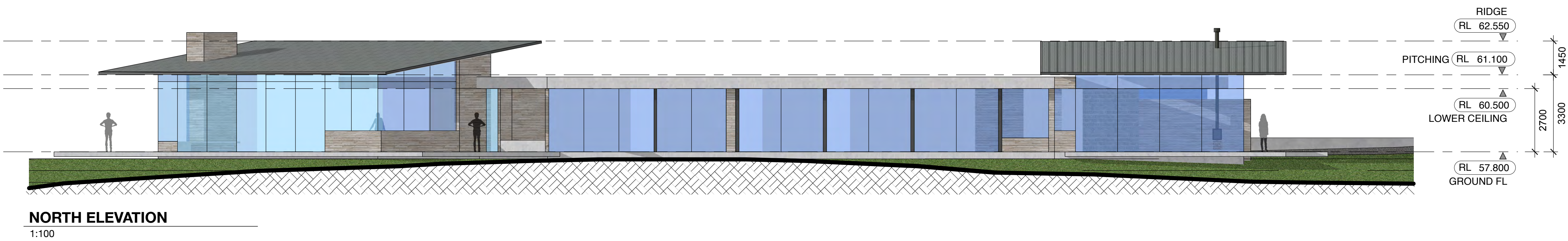
REVISION

04



DRAWING NO.

TP.07



ELEVATION & SECTION LEGEND

WALLS - EMPEROR BRICK

WALLS - CONCRETE BLOCK

WALLS - PRE-SEALED RAW CEMENT SHEET

GLAZING - CLEAR

RETAINING WALLS / TERRACES - CONCRETE

EAVES - PAINTED CEMENT SHEET - WHITE

ROOF - COLORBOND WINDSPRAY

FASCIA & DOWNPIPES - COLORBOND WINDSPRAY

0 0.5 1 2 3 4 5 10
SCALE 1:100 / A1 Metres0 1 2 4 6 8 10 20
SCALE 1:200 / A3 Metres

TOWN PLANNING

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PLOT DATE
23.08.2024

SCALE
1:100

DRAWN
AE

REVISION
04

PROJECT NO.
22004

SHEET SIZE
A1

STAGE
TP

DRAWING NO.
TP.08

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02	19.03.24	TOWN PLANNING ISSUE	AE
03	17.06.24	TOWN PLANNING ISSUE	AE
04	23.08.24	ACCESS TRACK ANALYSIS	AE
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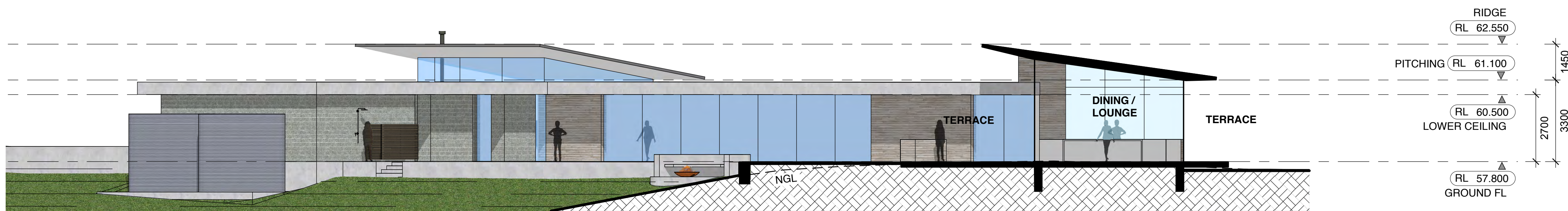
PROJECT NAME
WONGARA HOUSE

CLIENT NAME
ROUND ETERNAL
INVESTMENTS LTD.

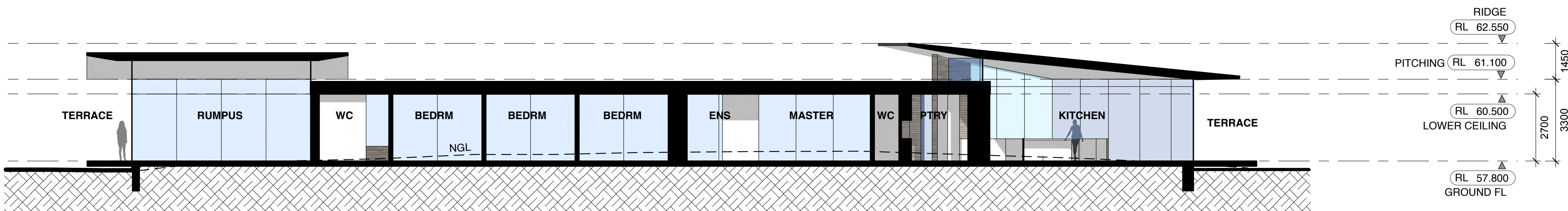
PROJECT ADDRESS
5650 GREAT OCEAN ROAD
WONGARA, VIC 6065.

DRAWING NAME
ELEVATIONS

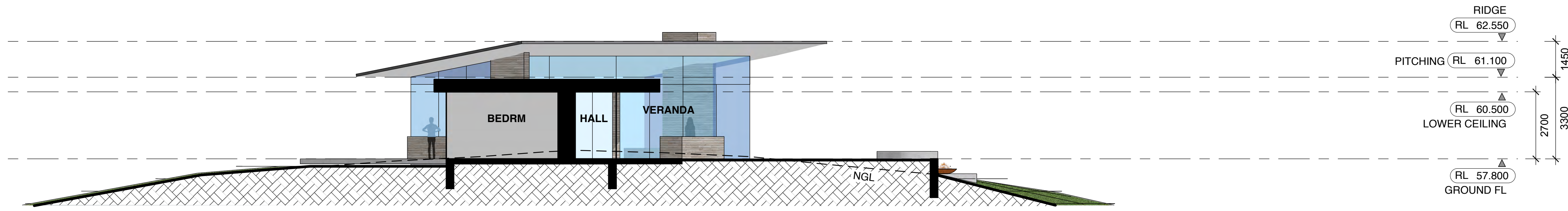
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SECTION A-A
1:100



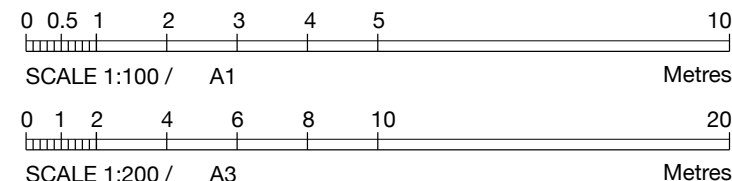
SECTION B-B
1:100



SECTION C-C
1:100

ELEVATION & SECTION LEGEND

- WALLS - EMPEROR BRICK
- WALLS - CONCRETE BLOCK
- WALLS - PRE-SEALED RAW CEMENT SHEET
- GLAZING - CLEAR
- RETAINING WALLS / TERRACES - CONCRETE
- EAVES - PAINTED CEMENT SHEET - WHITE
- ROOF - COLORBOND WINDSPRAY
- FASCIA & DOWNPIPES - COLORBOND WINDSPRAY



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03	17.06.24	TOWN PLANNING ISSUE	AE
04	23.08.24	ACCESS TRACK ANALYSIS	AE

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PROJECT NAME
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CLIENT NAME
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PROJECT ADDRESS
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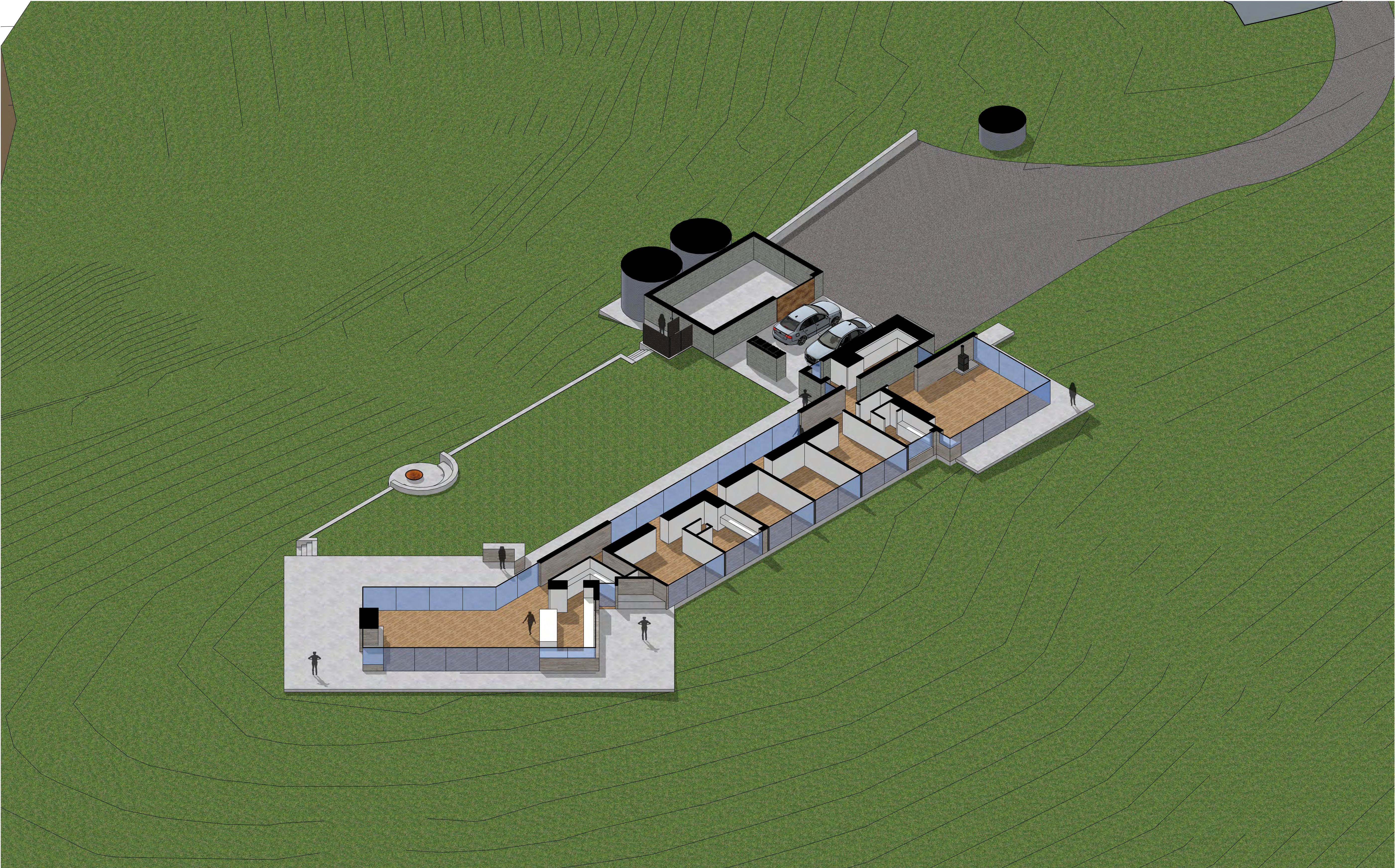
DRAWING NAME
SECTIONS

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PLOT DATE 23.08.2024	PROJECT NO. 22004
SCALE 1:100	SHEET SIZE A1
DRAWN AE	STAGE TP

REVISION
04

DRAWING NO.
TP.09



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01	14.03.24	TOWN PLANNING ISSUE	AE
02	19.03.24	TOWN PLANNING ISSUE	AE
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PROJECT NAME
WONGARA HOUSE

CLIENT NAME
ROUND ETERNAL
INVESTMENTS LTD.

PROJECT ADDRESS
5650 GREAT OCEAN ROAD
WONGARA, VIC 6065.

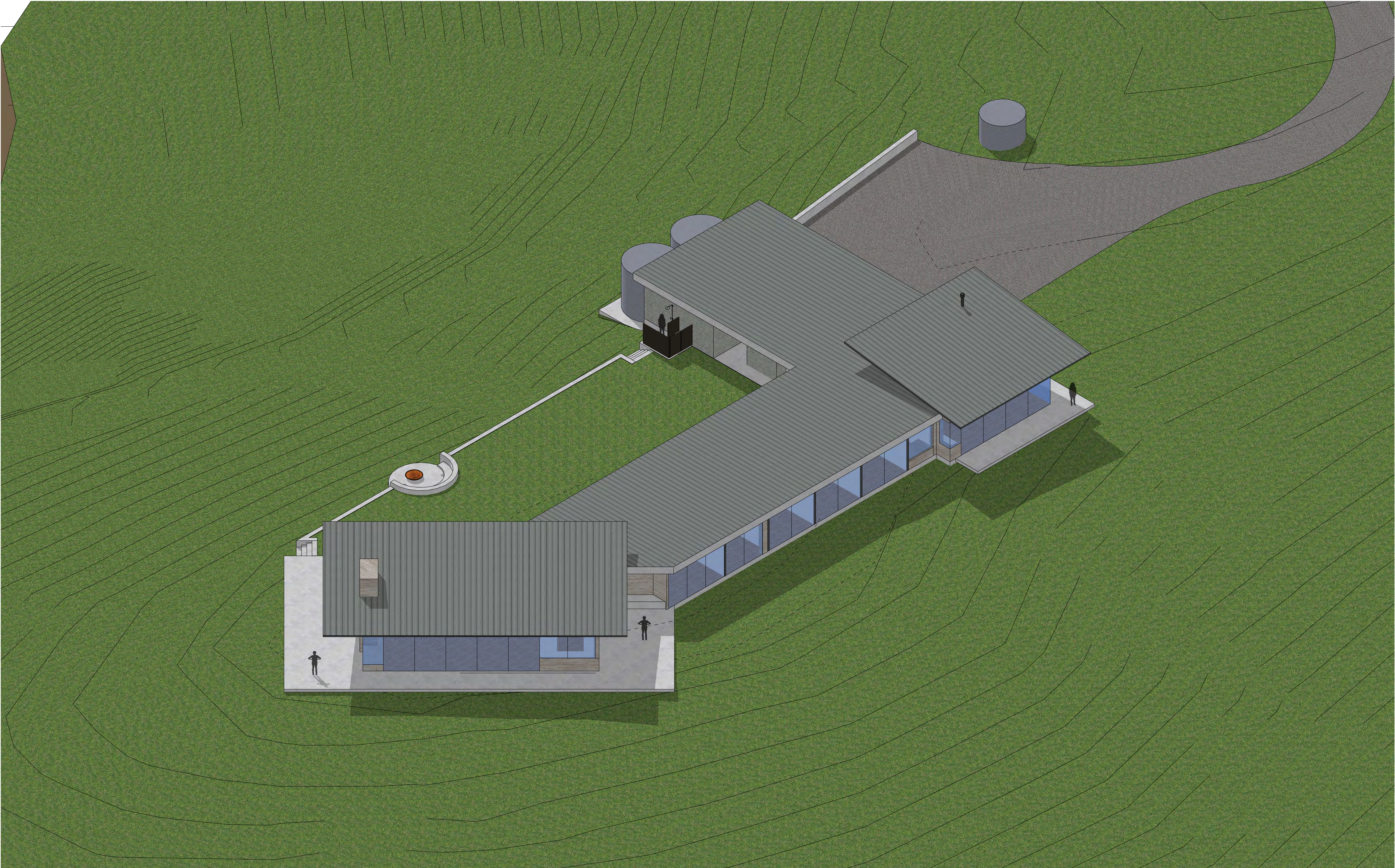
DRAWING NAME
ISOMETRIC - GROUND FLOOR

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TOWN PLANNING

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PLOT DATE 23.08.2024	PROJECT NO. 22004	+
SCALE -	SHEET SIZE A1	
DRAWN AE	STAGE TP	
REVISION 04	DRAWING NO. TP.10	



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PROJECT NAME
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CLIENT NAME
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PROJECT ADDRESS
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DRAWING NAME
ISOMETRIC - ROOF

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PLOT DATE 23.08.2024	PROJECT NO. 22004	+
SCALE -	SHEET SIZE A1	
DRAWN AE	STAGE TP	
REVISION 04	DRAWING NO. TP.11	



NORTH WEST - AERIAL
PERSPECTIVE



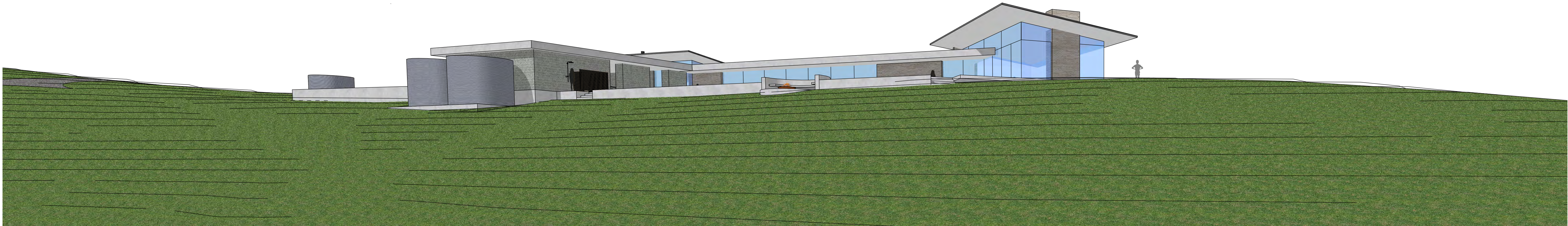
NORTH EAST - AERIAL
PERSPECTIVE



SOUTH EAST - AERIAL
PERSPECTIVE



SOUTH WEST - AERIAL
PERSPECTIVE



DRIVEWAY APPROACH
PERSPECTIVE

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PROJECT NAME
WONGARA HOUSE

CLIENT NAME
ROUND ETERNAL
INVESTMENTS LTD.

PROJECT ADDRESS
5650 GREAT OCEAN ROAD
WONGARA, VIC 6065.

DRAWING NAME
VIEWS

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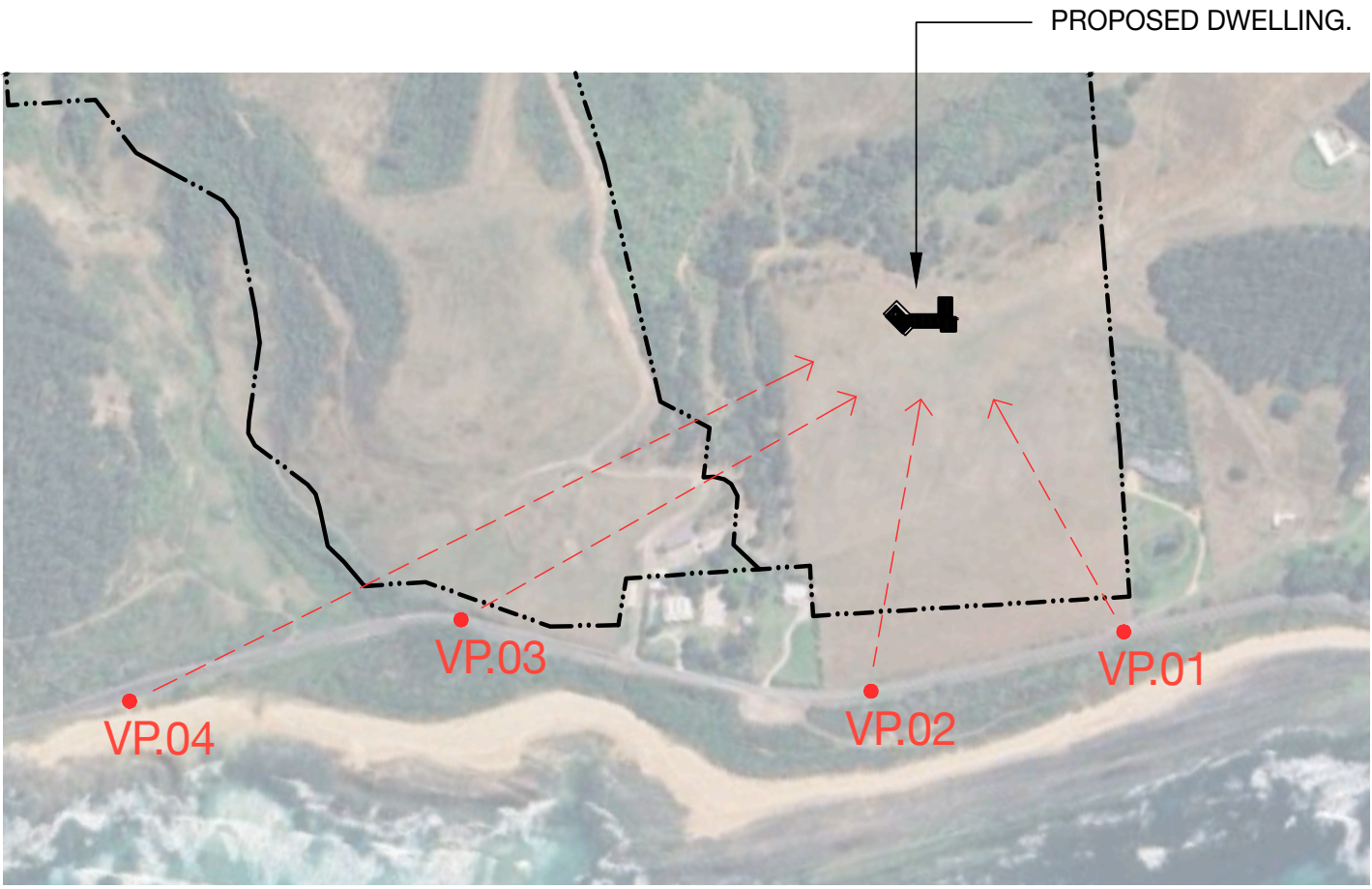
PLOT DATE 23.08.2024	PROJECT NO. 22004	+
SCALE -	SHEET SIZE A1	
DRAWN AE	STAGE TP	
REVISION 04	DRAWING NO. TP.12	



VIEW POINT 01 - PROPOSED
CURRENT PLANTING



VIEW POINT 01 - PROPOSED
MATURED PLANTING



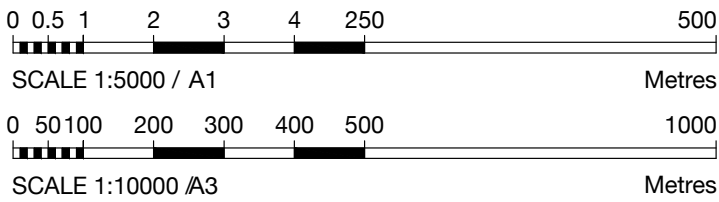
VIEWPOINT KEY PLAN
SCALE 1:5000



VIEW POINT 02 - PROPOSED
CURRENT PLANTING



VIEW POINT 02 - PROPOSED
MATURED PLANTING



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NO.	DATE	ITEM	BY
00	12.02.24	TOWN PLANNING ISSUE	AE
01	14.03.24	TOWN PLANNING ISSUE	AE
02	18.03.24	TOWN PLANNING ISSUE	AE
03	17.06.24	TOWN PLANNING ISSUE	AE
04	23.08.24	ACCESS TRACK ANALYSIS	AE
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NO.	DATE	ITEM	BY
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PROJECT NAME WONGARA HOUSE.	CLIENT NAME ROUND ETERNAL INVESTMENTS LTD.	PROJECT ADDRESS 5650 GREAT OCEAN ROAD WONGARA VIC 8065.	DRAWING NAME VIEW ANALYSIS
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PLOT DATE 23.08.2024	PROJECT NO. 22004	
SCALE 1:5000	SHEET SIZE A1	
DRAWN AE	STAGE TP	
REVISION 04		DRAWING NO. TP.13



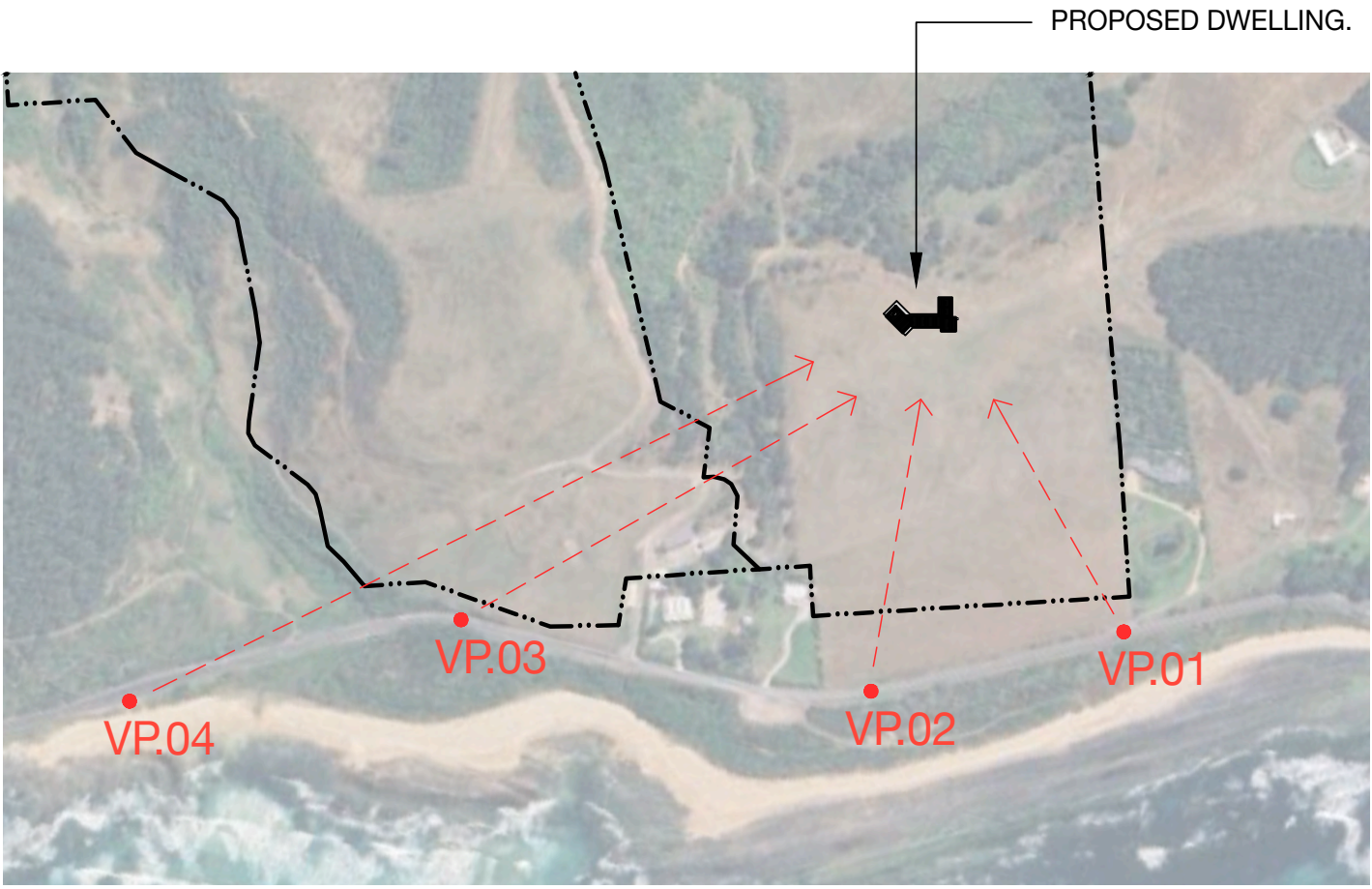
VIEW POINT 03 - PROPOSED
CURRENT PLANTING



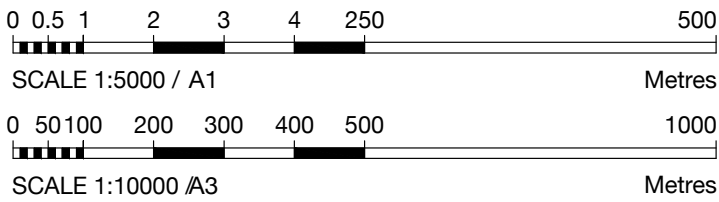
VIEW POINT 03 - PROPOSED
MATURED PLANTING



VIEW POINT 04 - PROPOSED
CURRENT PLANTING



VIEWPOINT KEY PLAN
SCALE 1:5000



TOWN PLANNING
NOT FOR CONSTRUCTION

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NO.	DATE	ITEM	BY
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02	18.03.24	TOWN PLANNING ISSUE	AE
03	17.06.24	TOWN PLANNING ISSUE	AE
04	23.08.24	ACCESS TRACK ANALYSIS	AE
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NO.	DATE	ITEM	BY
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PROJECT NAME
WONGARA HOUSE.

CLIENT NAME
ROUND ETERNAL
INVESTMENTS LTD.

PROJECT ADDRESS
5650 GREAT OCEAN ROAD
WONGARA VIC 8065.

DRAWING NAME
VIEW ANALYSIS

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PLOT DATE
23.08.2024

SCALE
1:5000

DRAWN
AE

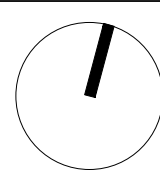
REVISION

04

PROJECT NO.
22004

SHEET SIZE
A1

STAGE
TP



DRAWING NO.

TP.14