

**PP124/2019-1**

**28 Durimbil Avenue WYE RIVER**

**Lot: 1 LP: 111890 V/F: 9061/274**

**Construction of a Dwelling and Associated Works**

**Z P Ludowyk**

**Officer - Bernadette McGovan**

# **EXHIBITION FILE**

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Submissions to this planning application will be accepted until a decision is made on the application.

If you would like to make a submission relating to a planning permit application, you must do so in writing to the Planning Department

Clear Form

**Office Use Only**

VicSmart?

Specify class of VicSmart application:

Application No.:

YES  NO  
Date Lodged: / /

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# Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the back of this form.

**Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.**

**Questions marked with an asterisk (\*) must be completed.**

**If the space provided on the form is insufficient, attach a separate sheet.**

**Click for further information.**

## Application Type

Is this a VicSmart application?\*

No  Yes

If yes, please specify which

VicSmart class or classes:.....

**If the application falls into one of the classes listed under Clause 92 or the schedule to Clause 94, it is a VicSmart application.**

## Pre-application Meeting

Has there been a pre-application meeting with a Council planning officer?

No  Yes

If 'Yes', with whom?:

Date:

day / month / year

## The Land **i**

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

**Street Address \***

Unit No.:

St. No.: 28

St. Name: Durimbil Avenue

Suburb/Locality: Wye River

Postcode: 3234

**Formal Land Description \***

Complete either A or B.

**This information can be found on the certificate of title**

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A

Lot No.: 1

Lodged Plan

Title Plan

Plan of Subdivision

No.: 111890

**OR**


B


Crown Allotment No.:

Section No.:


Parish/Township Name:


## The Proposal

 You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.


 **For what use, development or other matter do you require a permit? \***

Single Storey Private Residence including Ancillary Services (Waste Treatment / Rainwater Storage etc.)

 Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

 **Estimated cost of any development for which the permit is required \***

Cost \$ 300,000.00

 You may be required to verify this estimate. Insert '0' if no development is proposed.


If the application is for land within **metropolitan Melbourne** (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy **must** be paid to the State Revenue Office and a current levy certificate **must** be submitted with the application. Visit [www.sro.vic.gov.au](http://www.sro.vic.gov.au) for information.

## Existing Conditions

**Describe how the land is used and developed now \***

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Vacant


 Provide a plan of the existing conditions. Photos are also helpful.

## Title Information

**Encumbrances on title \***

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

## Applicant and Owner Details **i**

Provide details of the applicant and the owner of the land.

### Applicant \*

The person who wants the permit.

Name:		
Title: Mr	First Name: Zachary	Surname: Ludowyk
Organisation (if applicable):		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.: 10	St. Name: Coronation St
Suburb/Locality: Geelong West		State: Vic Postcode: 3218

Please provide at least one contact phone number \*

<b>Contact Information for applicant OR contact person below</b>	
Business phone: 0408507397	Email: jose@reformdesignlab.com.au
Mobile phone: 0408507397	Fax:

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

<b>Contact person's details*</b>		Same as applicant <input type="checkbox"/>
Name:		
Title: Mr	First Name: Jose	Surname: Rodriguez
Organisation (if applicable): Jose Rodriguez Architect		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.: 16	St. Name: Kardinia Drive
Suburb/Locality: Bell Post Hill		State: Vic Postcode: 3215

### Owner \*

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:		Same as applicant <input checked="" type="checkbox"/>
Title: Mr	First Name: Zachary	Surname: Ludowyk
Organisation (if applicable): N/A		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.: 10	St. Name: Coronation St
Suburb/Locality: Geelong West		State: Vic Postcode: 3218
Owner's Signature (Optional):		Date: 20/05/19 day / month / year

## Information requirements

Contact Council's planning department to discuss the specific requirements for his application and obtain a planning permit checklist.

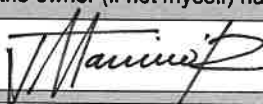
Is the required information provided?

Yes  No

## Declaration **i**

This form must be signed by the applicant \*

**▲** Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

<b>I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.</b>	
Signature: 	Date: 20/05/2019 day / month / year



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**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958** Page 1 of 1

VOLUME 09061 FOLIO 274

Security no : 124076977997S  
Produced 10/04/2019 08:01 PM

**LAND DESCRIPTION**

Lot 1 on Plan of Subdivision 111890.  
PARENT TITLES :  
Volume 08625 Folio 883      Volume 08821 Folio 848  
Created by instrument LP111890 04/12/1974

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Joint Proprietors  
    ZACHARY PAUL LUDOWYK  
    CLOE ELISABETH ANNA VAN KORVEN both of 10 CORONATION STREET GEELONG WEST VIC  
    3218  
    AR270515L 23/07/2018

**ENCUMBRANCES, CAVEATS AND NOTICES**

MORTGAGE AR270516J 23/07/2018  
MEMBERS EQUITY BANK LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE LP111890 FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 28 DURIMBIL AVENUE WYE RIVER VIC 3234

DOCUMENT END



# Imaged Document Cover Sheet

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Document Type	<b>Plan</b>
Document Identification	<b>LP111890</b>
Number of Pages (excluding this cover sheet)	<b>2</b>
Document Assembled	<b>10/04/2019 20:07</b>

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**LP111890**  
**EDITION 1**  
 APPROVED 7/11/174

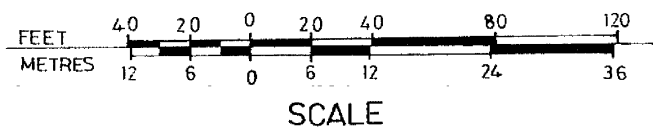
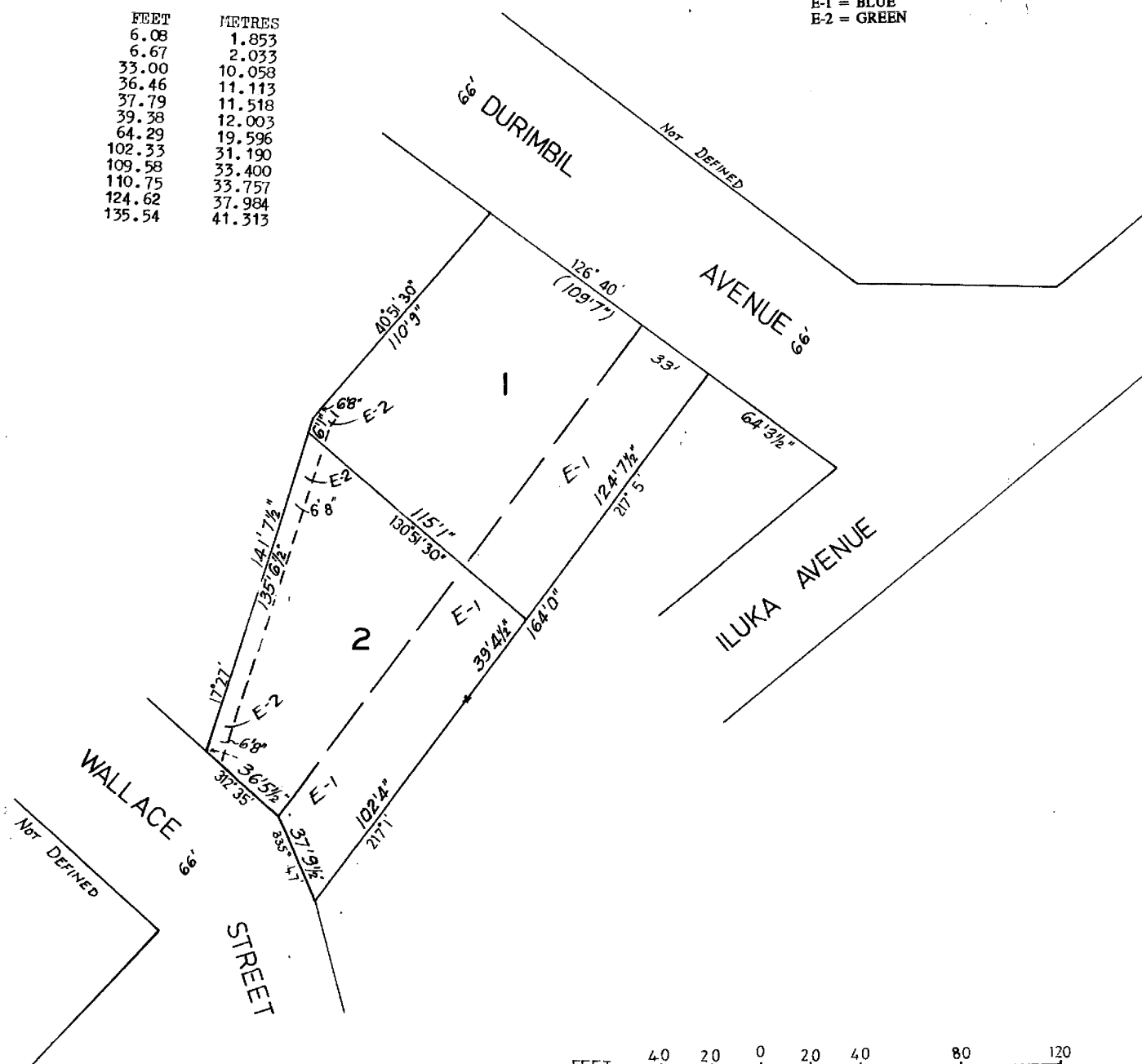
111890

PLAN OF SUBDIVISION OF PART OF CROWN ALLOTMENT 29 <sup>D</sup> & CROWN ALLOTMENT 29 <sup>P</sup>  PARISH OF KAANGLANG COUNTY OF POLWARTH	ENCUMBRANCES	APPROPRIATIONS
	BLUE - ENCUMBERED VIDE C/G VOL 8821 FOL 848	GREEN - DRAINAGE & SEWERAGE

DEPTH LIMITATION: 50 FEET

COLOUR CONVERSION  
 E-1 = BLUE  
 E-2 = GREEN

FEET	METRES
6.08	1.853
6.67	2.033
33.00	10.058
36.46	11.113
37.79	11.518
39.38	12.003
64.29	19.596
102.33	31.190
109.58	33.400
110.75	33.757
124.62	37.984
135.54	41.313



FOR APPROPRIATIONS, ETC,  
 SEE BACK HEREOF

SUBDIVISIONAL  
CERTIFICATE OF TITLE V. 8625 F. 883  
8821 848  
✓

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~~FOR TITLE REFERENCES TO LOTS~~  
~~SEE PARCELS INDEX~~

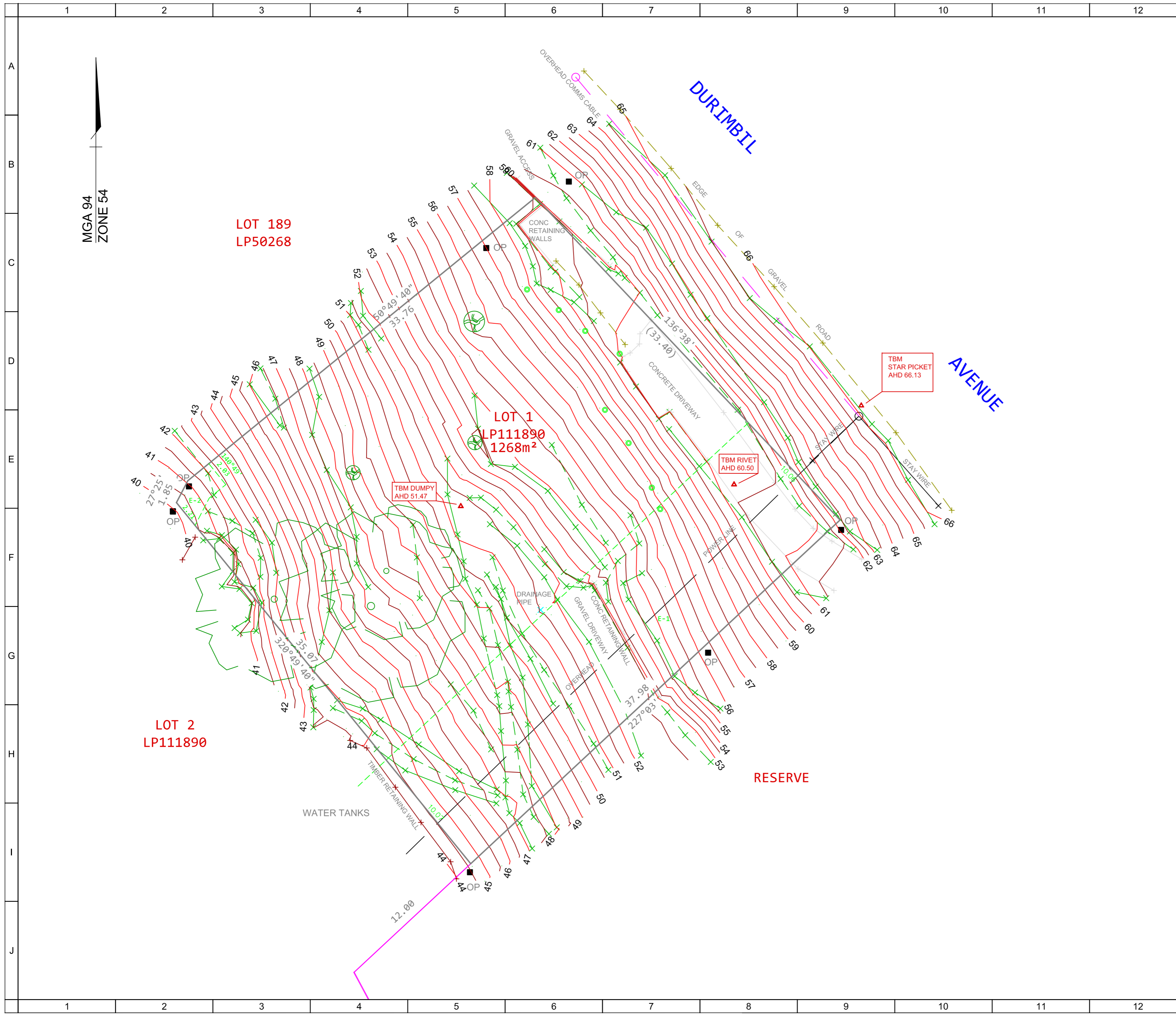
LODGED BY Penttila & Co.  
DEALING No. \_\_\_\_\_ DATE 15 / 3 / 74  
DECLARED BY Peter Watson  
ON 2 / 10 / 74  
COUNCIL Shire of Otway

LP ..... 111890 .....  
BACK OF SHEET ..... 1 .....

DATE OF CONSENT 12 / 12 / 73  
PLAN MAY BE LODGED ..... / ..... / .....  
PLAN APPROVED. DATE 7 / 10 / 74 TIME 9:00 <sup>a.m.</sup> ~~p.m.~~

THE LAND COLOURED Green  
APPROPRIATED OR SET APART  
FOR EASEMENTS OF Drainage  
and Sewerage.





### LEGEND

	GENERAL	TOP OF BANK
	WATTLE	TOE OF BANK
	FERN	CHG OF GRADE
	EUCALYPT	TREES
	BLACKWOOD	SHRUBS
	STUMP	OH ELEC
	FRUIT	UG ELEC
	CYPRESS	OH TELCO
	PINE	UG TELCO
	FENCE	FENCE
	GRATED PIT	
	SEWER PIT	OP OLD PEG
	WATER MAIN	NP NEW PEG
	FIRE HYDRANT	WS WINDOW SILL
	CONCRETE FOOTING	FL FLOOR LEVEL
		IL INVERT LEVEL

06/02/2017	CHECKED	02	TJ
04/02/2017	CREATED	01	AN
DATE			V CH

#### DRAWING HISTORY & AMENDMENTS

### NOTATIONS

LAND SUBJECT TO EASEMENT:  
 E-1 ENCUMBERED WIDE CROWN GRANT VOL 8821 FOL848  
 E-2 DRAINAGE & SEWERAGE 2.03 WIDE WIDE LP111890  
 DATUM FOR LEVELS IS A TBM RIVET IN CONCRETE DRIVEWAY WITH AN AHD LEVEL VALUE OF 60.50 VIA GPS CONNECTION TO THE VIC09 GEOID  
 BOUNDARIES ARE NOT FENCED UNLESS STATED OTHERWISE  
 BOUNDARY POSITION IS NOT THE RESULT OF THIS SURVEY  
 CONTOUR INTERVAL IS 0.5 METRES

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SURVEYOR	AN	PLAN REFERENCE
SURVEY DATE	23/01/2017	0849FS01-V2

**AH & LJ JEAVONS**  
**LAND SURVEYORS**  
 South West Survey Group  
 m: 0430 401 954 t: 5261 2971 f: 5261 3981  
 14 Ocean Boulevard, Jan Juc, VIC 3228  
 tonyjeavons@swsg.com.au www.swsg.com.au

## PLAN OF FEATURE & LEVEL SURVEY

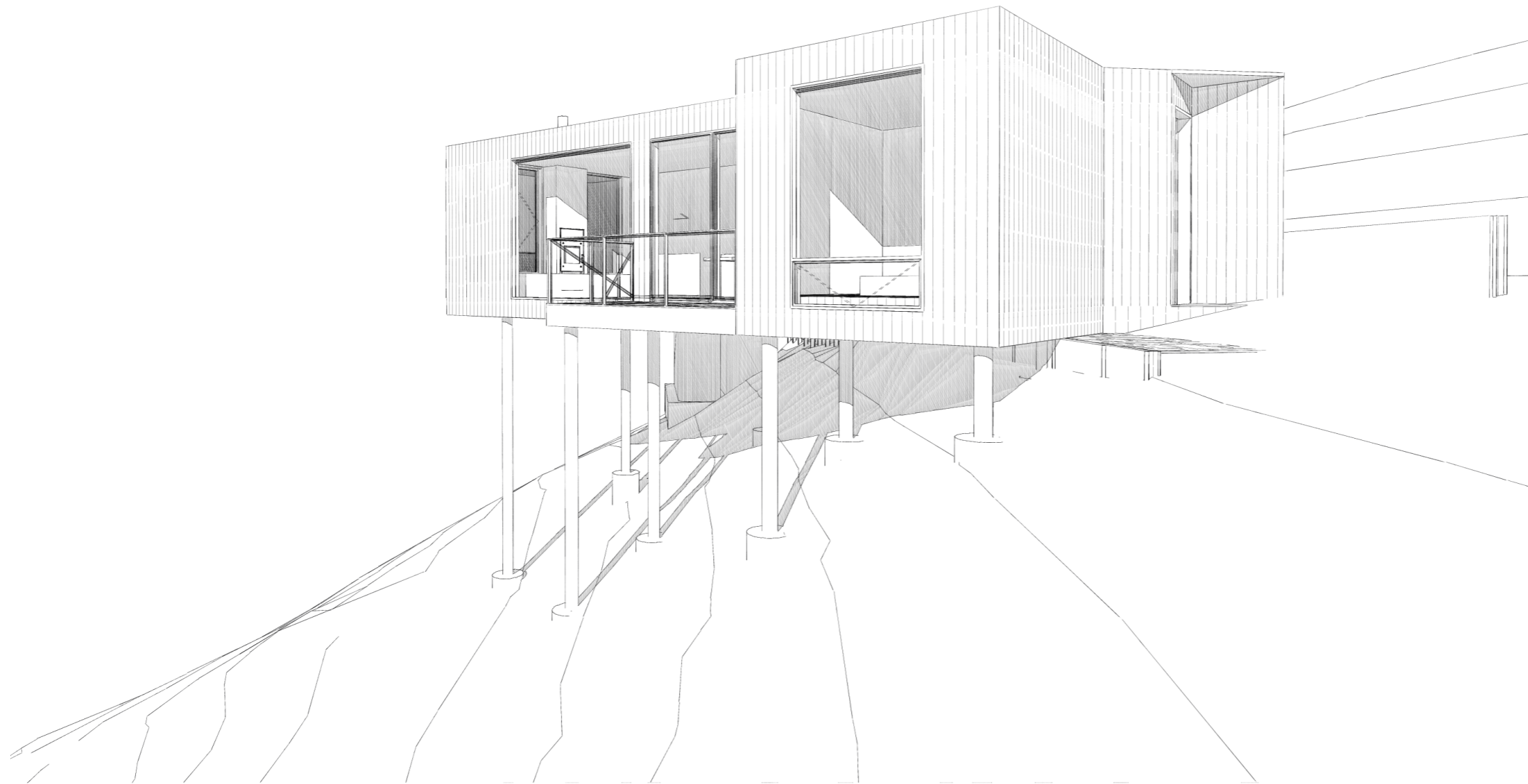
COUNTY: POLWARTH  
 PARISH: KAANGLANG  
 SECTION:  
 CROWN ALLOTMENT: 29D (PART)  
 ADDRESS: 28 DURIMBUL AVENUE  
 WYE RIVER, VIC. 3234

SCALE  LENGTHS ARE IN METRES	ORIGINAL	SURVEYORS REFERENCE 0849FS SHEET 1 OF 1
	SHEET SIZE 1:200 A2	

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ARCHITECTURAL SHEET INDEX

NO.	NAME	REV.
TP.A00	TITLE PAGE	
TP.A01	DEMOLITION SITE PLAN	
TP.A02	PROPOSED SITE PLAN	
TP.A03	GROUND FLOOR PLAN	
TP.A04	ROOF PLAN	
TP.A05	SUBFLOOR LAYOUT PLAN	
TP.A06	ELEVATIONS NORTH & EAST	
TP.A07	ELEVATIONS SOUTH & WEST	
TP.A08	FINISHES	
TP.A09	SHADOW DIAGRAM	
TP.A10	SHADOW DIAGRAMS	
TP.A11	SHADOW DIAGRAM	



ARTIST IMPRESSION

**TOWN PLANNING**  
NOT FOR CONSTRUCTION

DATE	NO.	REVISION	BY	CHECKED

DO NOT SCALE DRAWING  
ALL DIMENSIONS/LEVELS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION. ALL EXISTING LEVELS ARE INDICATIVE ONLY. SURVEY DRAWING TO TAKE PRECEDENCE OVER ARCHITECTURAL DRAWINGS WITH RELATION TO EXISTING LEVELS. DO NOT SCALE DRAWINGS. FIGURED DIMENSION TAKE PRECEDENCE OVER SCALE DIMENSIONS.

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PROJECT **NEW RESIDENCE**  
**28 DURIMBIL AVE**  
**WYE RIVER, VIC, 3234**

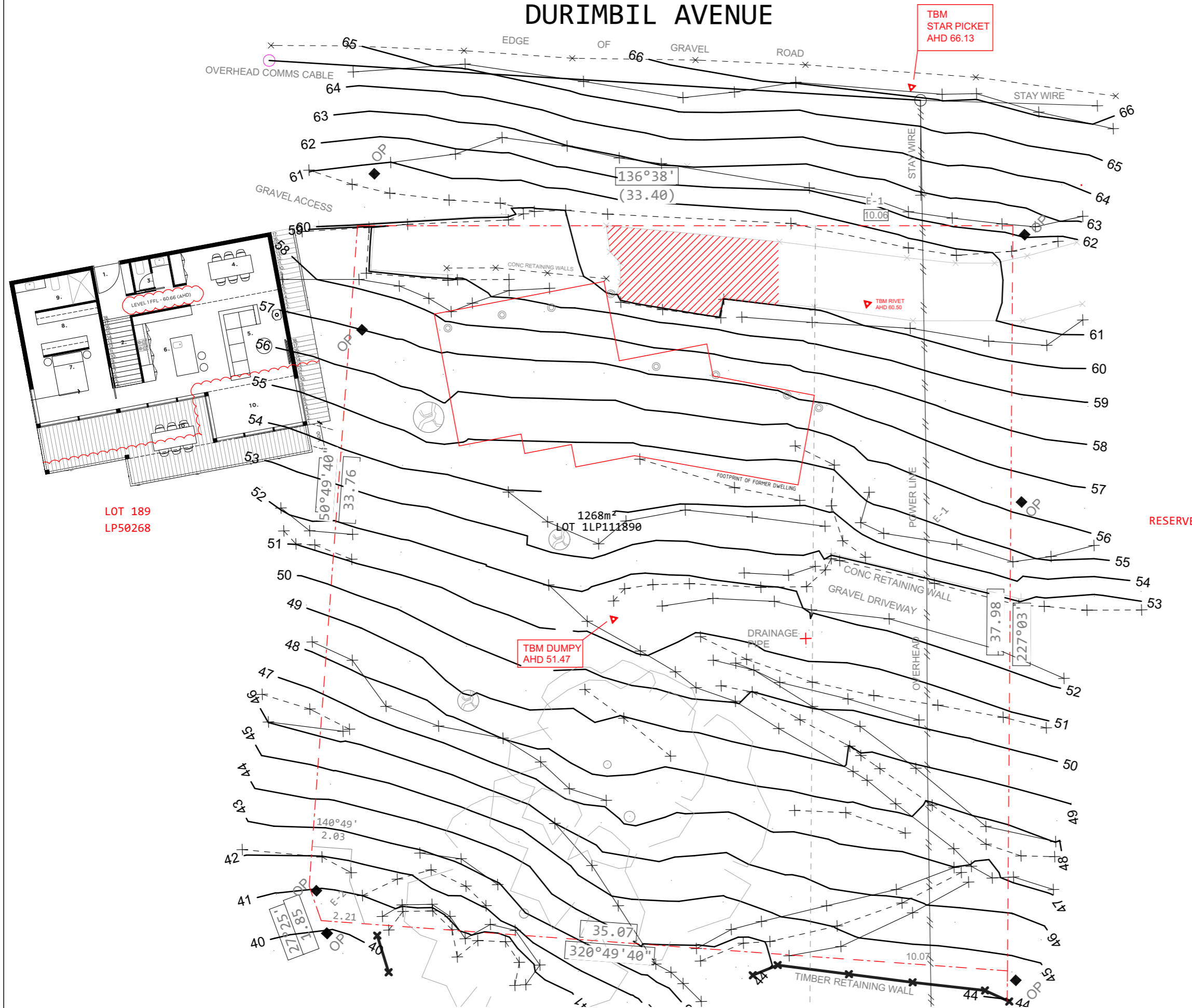
PROJECT NORTH

TITLE **TITLE PAGE**

DATE	21/10/2019	SCALE	AS SHOWN @ A3
DESIGNED	JR	JOB NUMBER	
DRAWN	JR	DRAWING NO.	REV NO.
CHECKED	-	<b>TP.A00</b>	

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# DURIMBIL AVENUE



**AREA SCHEDULE**

SITE AREA:	1268.00m <sup>2</sup>
BUILT ON:	0.0m <sup>2</sup> / 0%
PERMEABLE:	1200m <sup>2</sup> / 95%
IMPERMEABLE:	68m <sup>2</sup> / 5%
GARDEN:	1200m <sup>2</sup> / 95%
GROUND FLOOR:	00.00m <sup>2</sup>
BALCONY:	00.00m <sup>2</sup>
TOTAL:	00.00m <sup>2</sup> 0.0sq.

**DEMOLITION LEGEND:**

 EXISTING BUILDING STRUCTURE TO BE DEMOLISHED INCL. FLOOR / WALLS / ROOF UNLESS OTHERWISE NOTED.

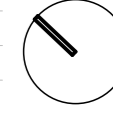
## TOWN PLANNING

NOT FOR CONSTRUCTION

DATE	NO.	REVISION	BY	CHECKED
DO NOT SCALE DRAWING				

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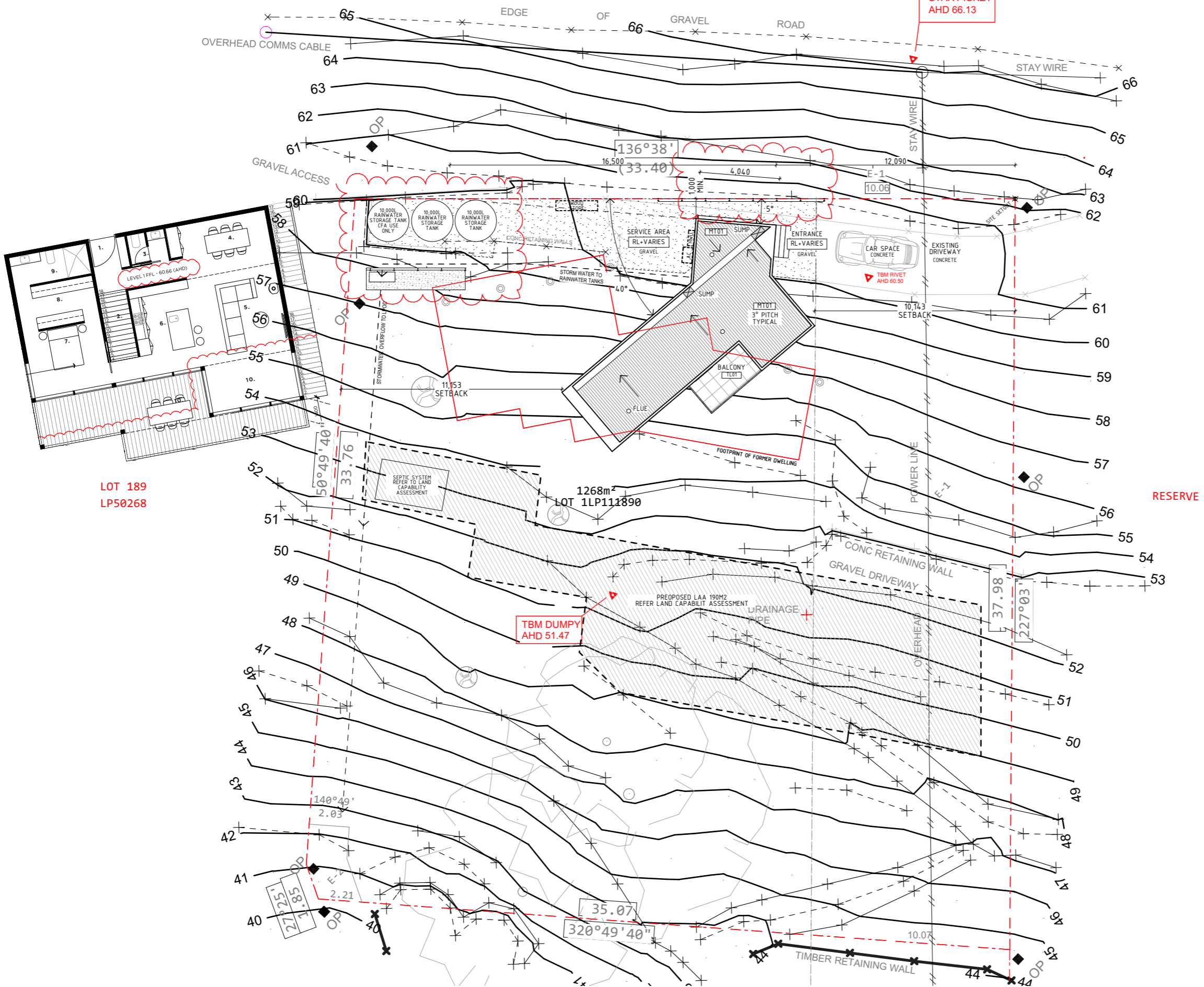
PROJECT	NEW RESIDENCE	
	28 DURIMBIL AVE	
	WYE RIVER, VIC, 3234	
TITLE	<b>DEMOLITON SITE PLAN</b>	
DATE	21/10/2019	SCALE AS SHOWN @ A3
DESIGNED	JR	JOB NUMBER
DRAWN	JR	DRAWING NO.
CHECKED	-	REV NO.

DATE	21/10/2019	SCALE	AS SHOWN @ A3
DESIGNED	JR	JOB NUMBER	
DRAWN	JR	DRAWING NO.	
CHECKED	-	REV NO.	

**TP.A01**

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# DURIMBIL AVENUE



AREA SCHEDULE	
SITE AREA:	1268.00m <sup>2</sup>
BUILT ON:	71.25m <sup>2</sup> / 5.5%
PERMEABLE:	1156 / 94.5%
IMPERMEABLE:	109.82m <sup>2</sup> / 8.6%
GARDEN:	1156 / 94.5%
GROUND FLOOR:	58.5m <sup>2</sup>
BALCONY:	12.75m <sup>2</sup>
TOTAL:	71.25m <sup>2</sup> 7.7sq.

BUSHFIRE NOTES:  
CONSTRUCTION TO BE BAL40 COMPLIANT

CFA NOTES:  
FIRE FIGHTING SUPPLY PROVISION TO BE CONFIRMED BY CFA PRIOR TO CONSTRUCTION

LOT 189  
LP50268

RESERVE

## TOWN PLANNING

NOT FOR CONSTRUCTION

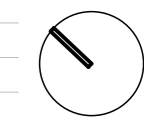
DATE	NO.	REVISION	BY	CHECKED

DO NOT SCALE DRAWING

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PROJECT: NEW RESIDENCE  
28 DURIMBIL AVE  
WYE RIVER, VIC, 3234

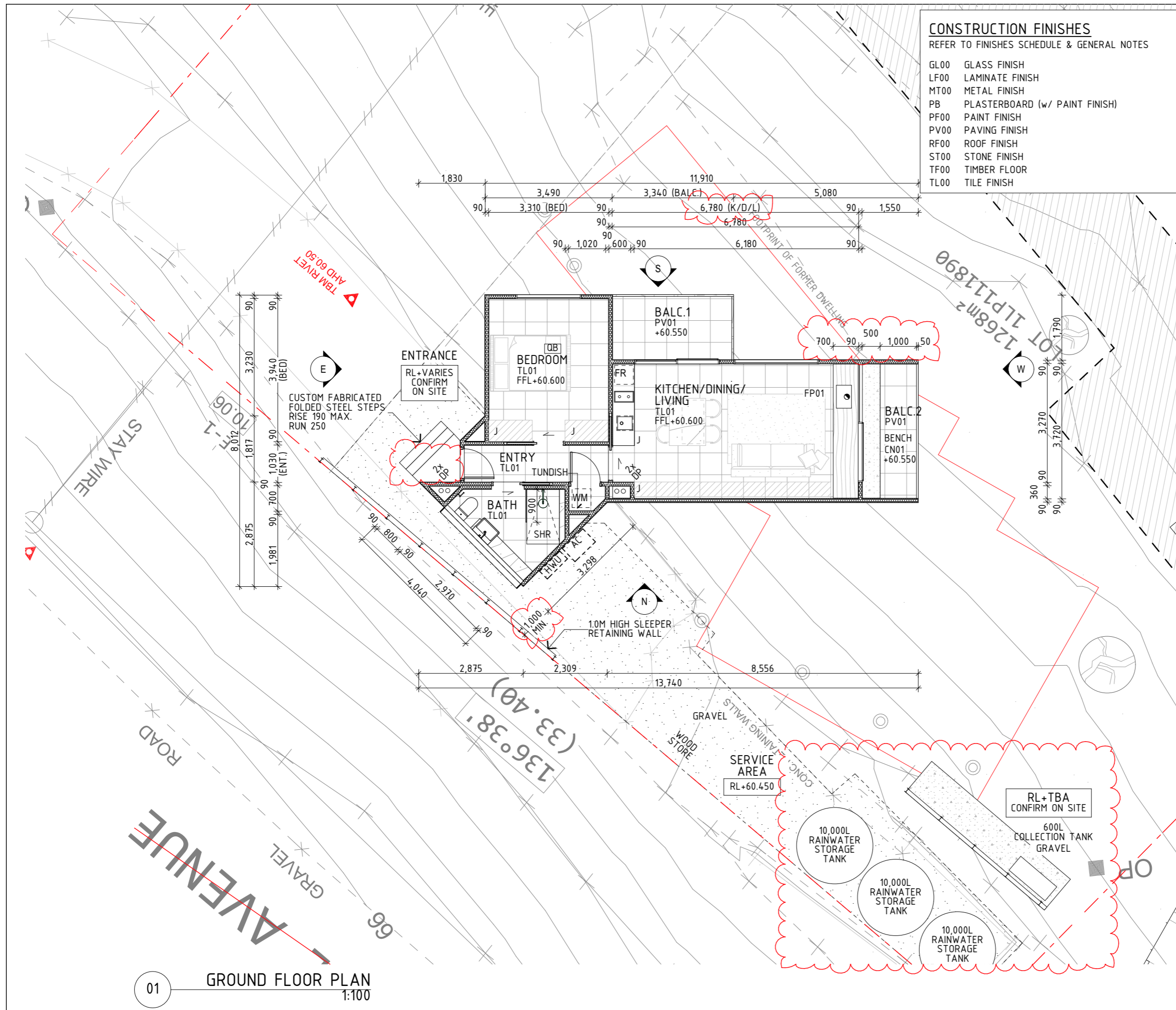


TITLE: PROPOSED SITE PLAN

DATE	21/10/2019	SCALE	AS SHOWN @ A3
DESIGNED	JR	JOB NUMBER	
DRAWN	JR	DRAWING NO.	
CHECKED	-	REV NO.	

TP.A02

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**CONSTRUCTION FINISHES**  
REFER TO FINISHES SCHEDULE & GENERAL NOTES

GL00	GLASS FINISH
LF00	LAMINATE FINISH
MT00	METAL FINISH
PB	PLASTERBOARD (w/ PAINT FINISH)
PF00	PAINT FINISH
PV00	PAVING FINISH
RF00	ROOF FINISH
ST00	STONE FINISH
TF00	TIMBER FLOOR
TL00	TILE FINISH

**LEGEND**

A-J	ARTICULATION JOINT
A-C	AIR CONDITIONING CONDENSOR UNIT
B-C	BOX GUTTER WITH BAL 40 LEAF GUARD
BIR	BUILT IN ROBE
CC	CONCEALED CISTERN - REFER SCHEDULE
CL	CEILING LEVEL ABOVE FFL
DP	DOWNPIPE (90Ø)
EXH	EXHAUST
F	FRIDGE SPACE
FFL	FINISHED FLOOR LEVEL
FW	FLOOR WASTE - TO SCHEDULE
GD	GRADED (250x250 NOM.)
GT	GARDEN TAP
HWU	HOT WATER UNIT (ELEC. INSTANTANEOUS)
IO	INSPECTION OPENING
J	JOINERY (REFER JOINERY DRAWINGS)
L	LINEN
MB	METER BOX
P	PANTRY
PIT	DRAINAGE PIT
RL	REDUCED LEVEL
SB	SWITCH BOARD
SC	SIPHON COVER - REFER SCHEDULE
HWU	HOT WATER UNIT
SK00	SKYLIGHT - REFER SCHEDULE
TBM	TEMPORARY BENCH MARK (REFER FEATURE SURVEY)
WL	WASHING LINE - TO SCHEDULE
WM	WASHING MACHINE SPACE

**BUSHFIRE NOTES:**  
CONSTRUCTION TO BE BAL40 COMPLIANT

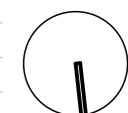
**CFA NOTES:**  
FIRE FIGHTING SUPPLY PROVISION TO BE CONFIRMED BY CFA PRIOR TO CONSTRUCTION

**TOWN PLANNING**  
NOT FOR CONSTRUCTION

DATE	NO.	REVISION	BY	CHECKED

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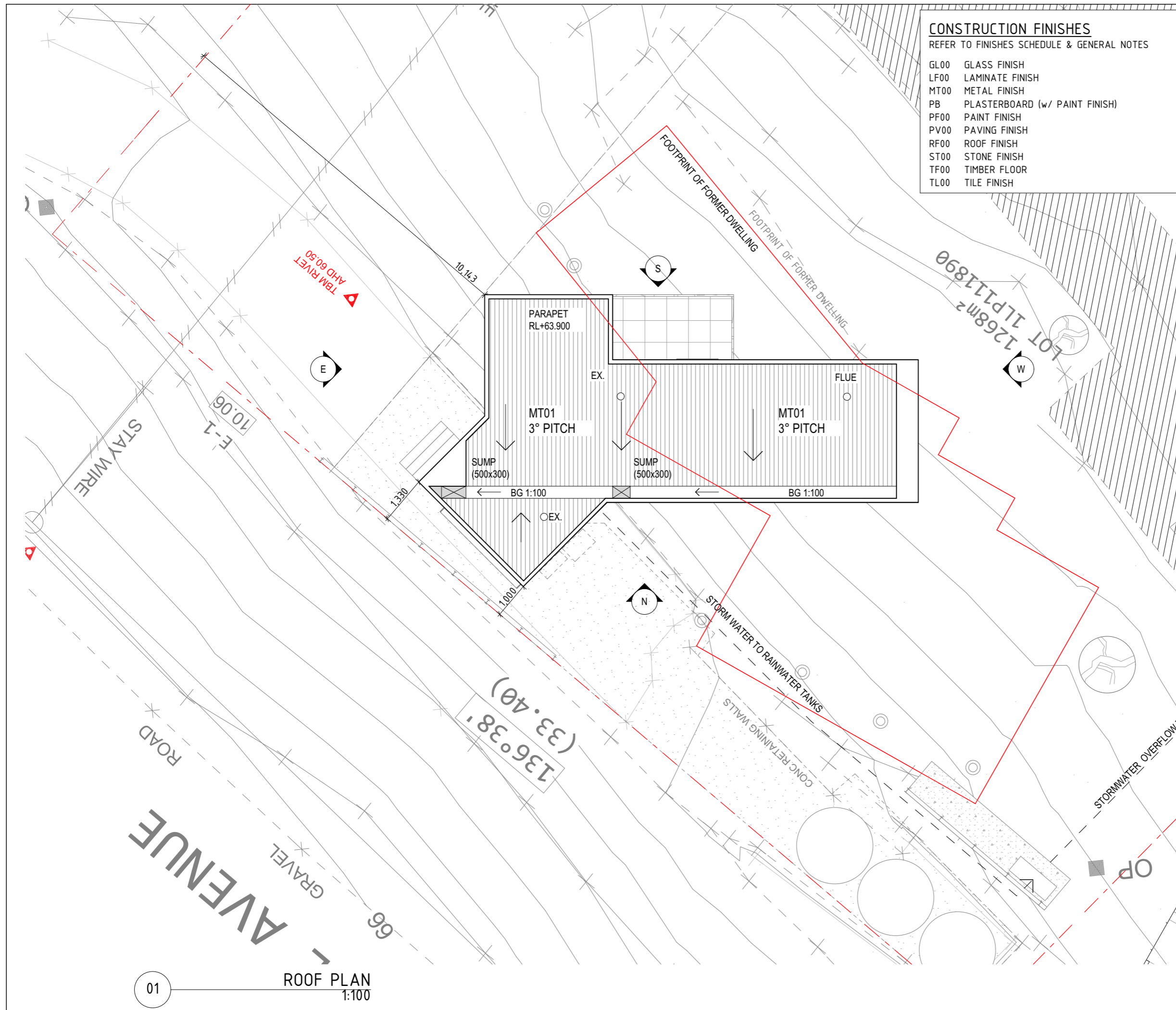
PROJECT	NEW RESIDENCE	 PROJECT NORTH
	28 DURIMBIL AVE	
	WYE RIVER, VIC, 3234	

**GROUND FLOOR PLAN**

DATE	21/10/2019	SCALE	AS SHOWN @ A3
DESIGNED	JR	JOB NUMBER	
DRAWN	JR	DRAWING NO.	
CHECKED	-		<b>TP.A03</b>

01 GROUND FLOOR PLAN 1:100

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**CONSTRUCTION FINISHES**  
REFER TO FINISHES SCHEDULE & GENERAL NOTES

GL00	GLASS FINISH
LF00	LAMINATE FINISH
MT00	METAL FINISH
PB	PLASTERBOARD (w/ PAINT FINISH)
PF00	PAINT FINISH
PV00	PAVING FINISH
RF00	ROOF FINISH
ST00	STONE FINISH
TF00	TIMBER FLOOR
TL00	TILE FINISH

**LEGEND**

A-J	ARTICULATION JOINT
A-C	AIR CONDITIONING CONDENSOR UNIT
BG	BOX GUTTER WITH BAL 40 LEAF GUARD
BIR	BUILT IN ROBE
CC	CONCEALED CISTERN - REFER SCHEDULE
CL	CEILING LEVEL ABOVE FFL
DP	DOWNSPIPE (90°)
EXH	EXHAUST
F	FRIDGE SPACE
FFL	FINISHED FLOOR LEVEL
FW	FLOOR WASTE - TO SCHEDULE
GD	GRADED (250x250 NOM.)
GT	GARDEN TAP
HWU	HOT WATER UNIT (ELEC. INSTANTANEOUS)
IO	INSPECTION OPENING
J	JOINERY (REFER JOINERY DRAWINGS)
L	LINEN
MB	METER BOX
P	PANTRY
PIT	DRAINAGE PIT
RL	REDUCED LEVEL
SB	SWITCH BOARD
SC	SIPHON COVER - REFER SCHEDULE
HWU	HOT WATER UNIT
SK00	SKYLIGHT - REFER SCHEDULE
TBM	TEMPORARY BENCH MARK (REFER FEATURE SURVEY)
WL	WASHING LINE - TO SCHEDULE
WM	WASHING MACHINE SPACE

**BUSHFIRE NOTES:**  
CONSTRUCTION TO BE BAL40 COMPLIANT

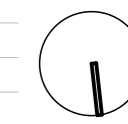
**CFA NOTES:**  
FIRE FIGHTING SUPPLY PROVISION TO BE CONFIRMED BY CFA PRIOR TO CONSTRUCTION

**TOWN PLANNING**  
NOT FOR CONSTRUCTION

DATE	NO.	REVISION	BY	CHECKED

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PROJECT	NEW RESIDENCE	 PROJECT NORTH
	28 DURIMBIL AVE	
	WYE RIVER, VIC, 3234	

TITLE **ROOF PLAN**

DATE	21/10/2019	SCALE	AS SHOWN @ A3
DESIGNED	JR	JOB NUMBER	
DRAWN	JR	DRAWING NO.	
CHECKED	-		<b>TP.A04</b>

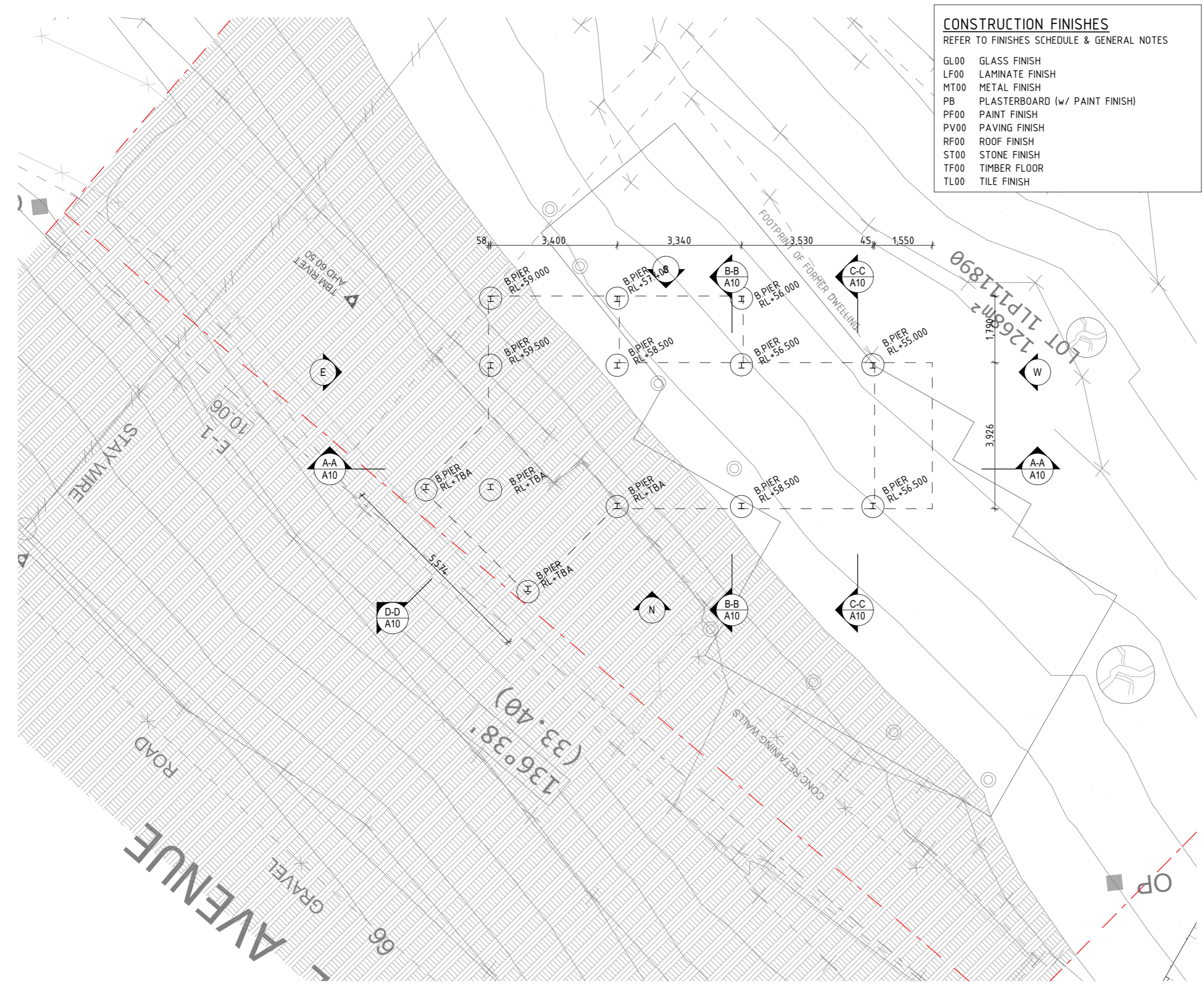
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**CONSTRUCTION FINISHES**  
REFER TO FINISHES SCHEDULE & GENERAL NOTES

GL00	GLASS FINISH
LF00	LAMINATE FINISH
MT00	METAL FINISH
PB	PLASTERBOARD (w/ PAINT FINISH)
PF00	PAINT FINISH
PV00	PAVING FINISH
RF00	ROOF FINISH
ST00	STONE FINISH
TF00	TIMBER FLOOR
TL00	TILE FINISH

**LEGEND**

A-J	ARTICULATION JOINT
A-C	AIR CONDITIONING CONDENSOR UNIT
B-G	BOX GUTTER WITH BAL. 40 LEAF GUARD
B-IR	BUILT IN ROBE
CC	CONCEALED CISTERN - REFER SCHEDULE
CL	CEILING LEVEL ABOVE FFL
DP	DOWNPIPE (90°)
EXH	EXHAUST
F	FRIDGE SPACE
FFL	FINISHED FLOOR LEVEL
FW	FLOOR WASTE - TO SCHEDULE
GD	GRATED (250x250 NOM.)
GT	GARDEN TAP
HWU	HOT WATER UNIT (ELEC. INSTANTANEOUS)
IO	INSPECTION OPENING
J	JOINERY (REFER JOINERY DRAWINGS)
L	LINEN
MB	METER BOX
P	PANTRY
PIT	DRAINAGE PIT
RL	REDUCED LEVEL
SB	SWITCH BOARD
SC	SIPHON COVER - REFER SCHEDULE
HWU	HOT WATER UNIT
SK00	SKYLIGHT - REFER SCHEDULE
TBM	TEMPORARY BENCH MARK (REFER FEATURE SURVEY)
WL	WASHING LINE - TO SCHEDULE
WM	WASHING MACHINE SPACE



**TOWN PLANNING**  
NOT FOR CONSTRUCTION

DATE	NO.	REVISION	BY	CHECKED

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PROJECT: **NEW RESIDENCE**  
**28 DURIMBIL AVE**  
**WYE RIVER, VIC, 3234**

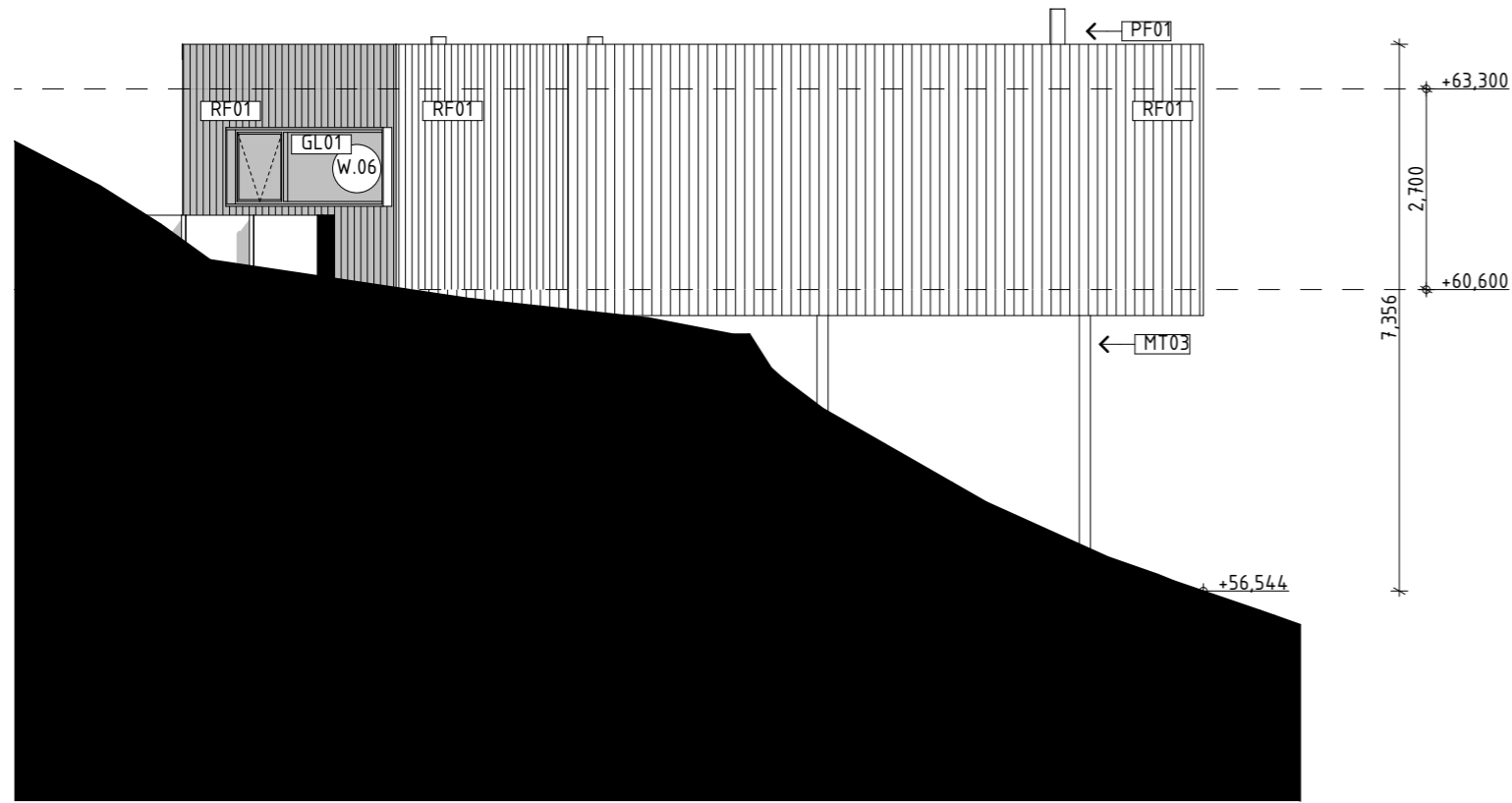
PROJECT NORTH

TITLE: **SUBFLOOR LAYOUT PLAN**

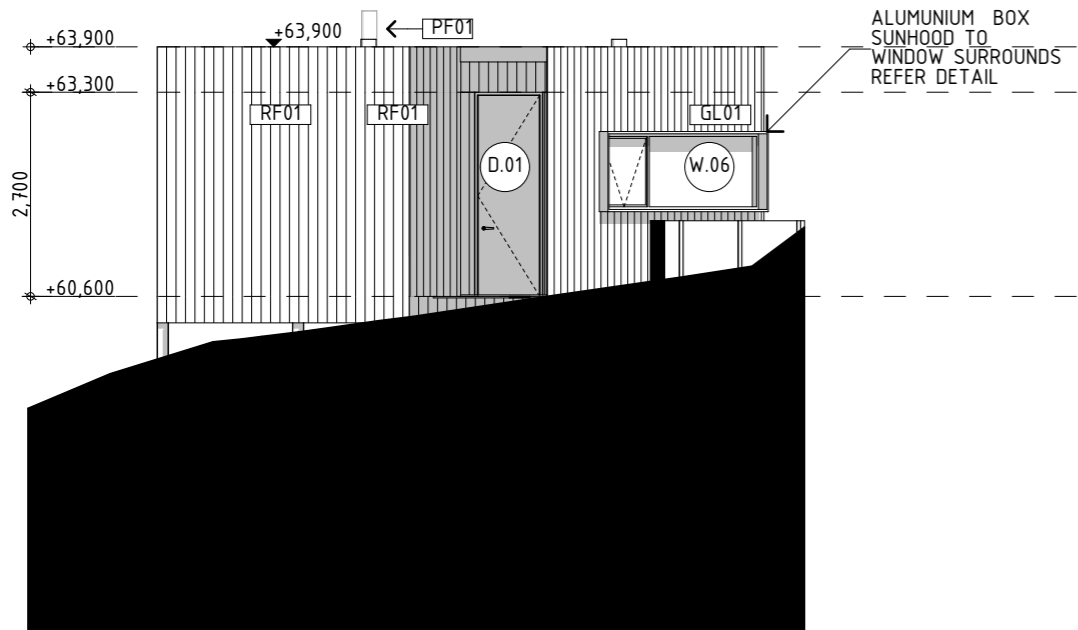
DATE	SCALE	AS SHOWN @ A3
21/10/2019	AS SHOWN @ A3	AS SHOWN @ A3
DESIGNED: JR	JOB NUMBER	
DRAWN: JR	DRAWING NO.	REV NO.
CHECKED: -	<b>TP.A05</b>	

01 FOOTING PLAN  
1:100

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01 NORTH ELEVATION  
1:100



02 EAST ELEVATION  
1:100

**CONSTRUCTION FINISHES**

REFER TO FINISHES SCHEDULE & GENERAL NOTES

- GL00 GLASS FINISH
- LF00 LAMINATE FINISH
- MT00 METAL FINISH
- PB PLASTERBOARD (w/ PAINT FINISH)
- PF00 PAINT FINISH
- PV00 PAVING FINISH
- RF00 ROOF FINISH
- ST00 STONE FINISH
- TF00 TIMBER FLOOR
- TL00 TILE FINISH

**LEGEND**

- A-J ARTICULATION JOINT
- A-C AIR CONDITIONING CONDENSOR UNIT
- B-G BOX GUTTER WITH BAL 40 LEAF GUARD
- BIR BUILT IN ROBE
- CC CONCEALED CISTERN - REFER SCHEDULE
- CL CEILING LEVEL ABOVE FFL
- DP DOWNPIPE (90°)
- EXH EXHAUST
- F FRIDGE SPACE
- FFL FINISHED FLOOR LEVEL
- FW FLOOR WASTE - TO SCHEDULE
- GD GRATED (250x250 NOM.)
- GT GARDEN TAP
- HWU HOT WATER UNIT (ELEC. INSTANTANEOUS)
- IO INSPECTION OPENING
- J JOINERY (REFER JOINERY DRAWINGS)
- L LINEN
- MB METER BOX
- P PANTRY
- PIT DRAINAGE PIT
- RL REDUCED LEVEL
- SB SWITCH BOARD
- SC SIPHON COVER - REFER SCHEDULE
- HWU HOT WATER UNIT
- SK00 SKYLIGHT - REFER SCHEDULE
- TBM TEMPORARY BENCH MARK (REFER FEATURE SURVEY)
- WL WASHING LINE - TO SCHEDULE
- WM WASHING MACHINE SPACE

**TOWN PLANNING**  
NOT FOR CONSTRUCTION

DATE	NO.	REVISION	BY	CHECKED

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PROJECT NEW RESIDENCE  
28 DURIMBIL AVE  
WYE RIVER, VIC, 3234

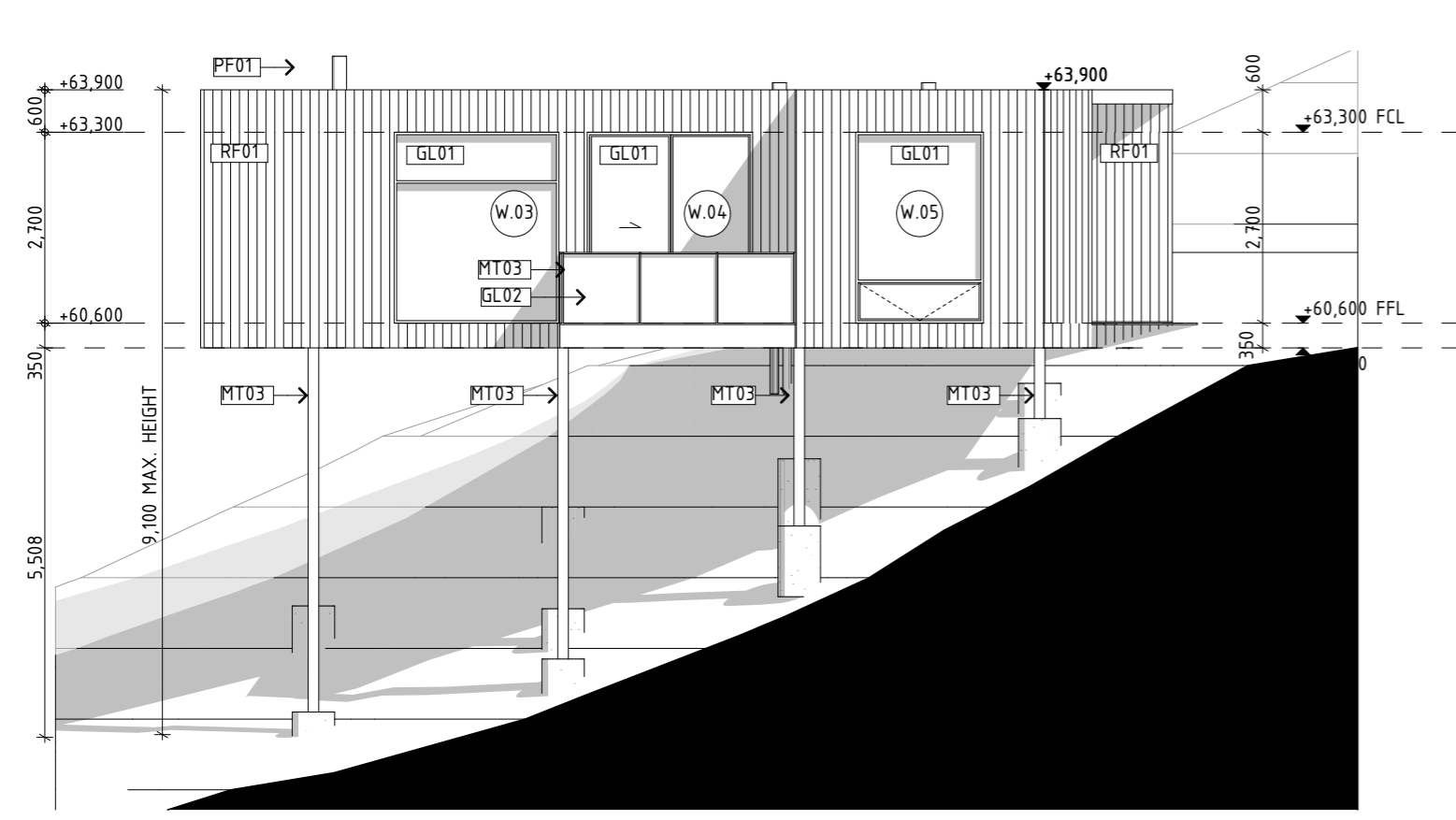
PROJECT NORTH

TITLE **ELEVATIONS NORTH & EAST**

DATE	SCALE	AS SHOWN @ A3
21/10/2019		
DESIGNED JR	JOB NUMBER	
DRAWN JR	DRAWING NO.	REV NO.
CHECKED -	<b>TP.A06</b>	



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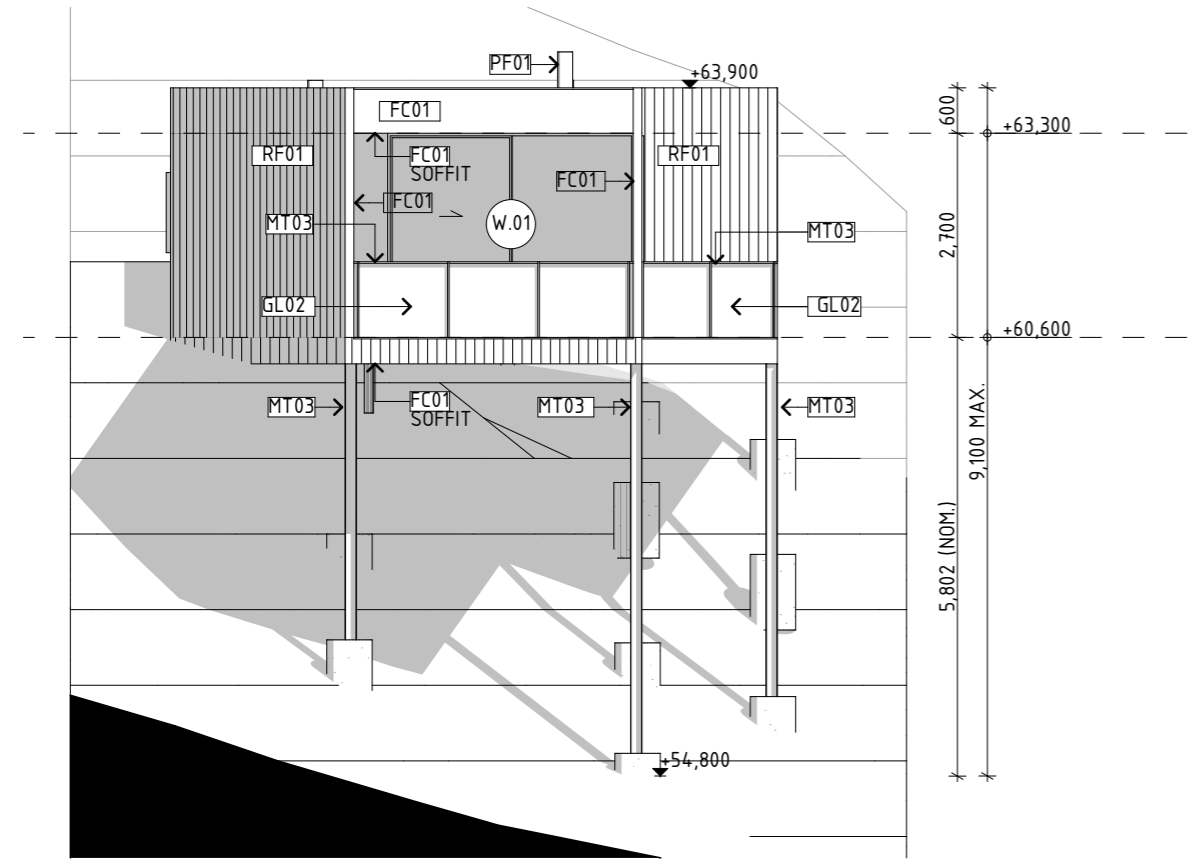
01 SOUTH ELEVATION  
1:100

**CONSTRUCTION FINISHES**  
REFER TO FINISHES SCHEDULE & GENERAL NOTES

GL00	GLASS FINISH
LF00	LAMINATE FINISH
MT00	METAL FINISH
PB	PLASTERBOARD (w/ PAINT FINISH)
PF00	PAINT FINISH
PV00	PAVING FINISH
RF00	ROOF FINISH
ST00	STONE FINISH
TF00	TIMBER FLOOR
TL00	TILE FINISH

**LEGEND**

A-J	ARTICULATION JOINT
A-C	AIR CONDITIONING CONDENSOR UNIT
B-G	BOX GUTTER WITH BAL 40 LEAF GUARD
BIR	BUILT IN ROBE
CC	CONCEALED CISTERN - REFER SCHEDULE
CL	CEILING LEVEL ABOVE FFL
DP	DOWNPIPE (90°)
EXH	EXHAUST
F	FRIDGE SPACE
FFL	FINISHED FLOOR LEVEL
FW	FLOOR WASTE - TO SCHEDULE
GD	GRATED (250x250 NOM.)
GT	GARDEN TAP
HWU	HOT WATER UNIT (ELEC. INSTANTANEOUS)
IO	INSPECTION OPENING
J	JOINERY (REFER JOINERY DRAWINGS)
L	LINEN
MB	METER BOX
P	PANTRY
PIT	DRAINAGE PIT
RL	REDUCED LEVEL
SB	SWITCH BOARD
SC	SIPHON COVER - REFER SCHEDULE
HWU	HOT WATER UNIT
SK00	SKYLIGHT - REFER SCHEDULE
TBM	TEMPORARY BENCH MARK (REFER FEATURE SURVEY)
WL	WASHING LINE - TO SCHEDULE
WM	WASHING MACHINE SPACE



02 WEST ELEVATION  
1:100

**TOWN PLANNING**  
NOT FOR CONSTRUCTION

DATE	NO.	REVISION	BY	CHECKED

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PROJECT **NEW RESIDENCE**  
**28 DURIMBIL AVE**  
**WYE RIVER, VIC, 3234**

PROJECT NORTH

TITLE **ELEVATIONS SOUTH & WEST**

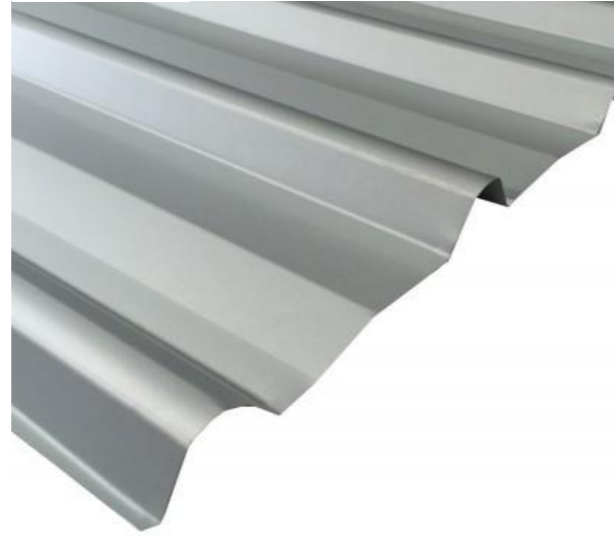
DATE	SCALE	AS SHOWN @ A3
21/10/2019	JR	JR
JR	JR	JR
-	TP.A07	-

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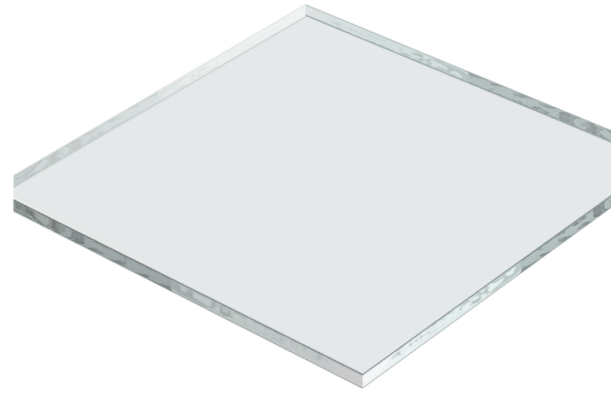
MT01 - CLADDING



MT01 - ROOFING



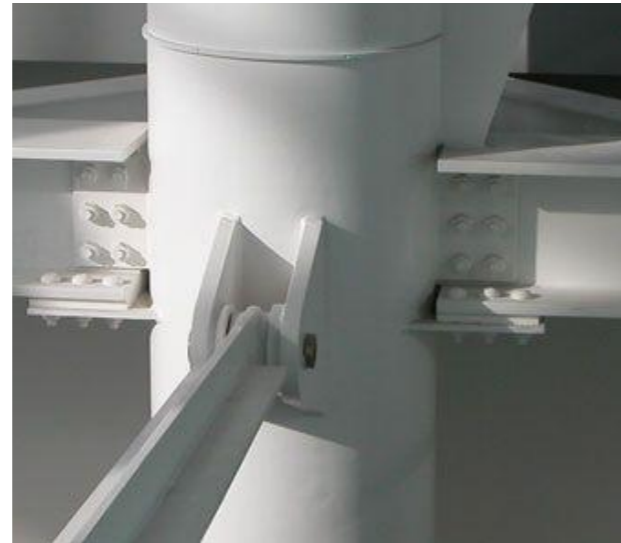
GL01



**FINISHES LEGEND:**

MT01	CORRUGATED SHEET METAL CLADDING/ROOF (COLORBOND SURFMIST OR SIMILAR)
MT02	SHEET METAL FLASHING (COLORBOND SURFMIST OR SIMILAR)
MT03	SHEET METAL PLATE (COLORBOND SURFMIST OR SIMILAR)
GL01	HIGH PERFORMANCE CLEAR DOUBLE GLAZING (TO MEET ENERGY REQUIREMENTS)
PF01	BLACK PAINT FINISH TO PROPOSED METAL WINDOW FRAMES & SHUTTERS
CN01	OFF-FORM DECORATIVE CONCRETE - NATURAL GREY COLOUR
TL01	FLOOR TILE (INTERNAL/EXTERNAL) - NATURAL CEMENT FINSH
TF01	TIMBER FLOOR - OWNER SELECTION
FB01	COIR MATTING (NATURAL)

PF01



CN01



TL01



FB02



**TOWN PLANNING**  
NOT FOR CONSTRUCTION

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

DATE	NO.	REVISION	BY	CHECKED

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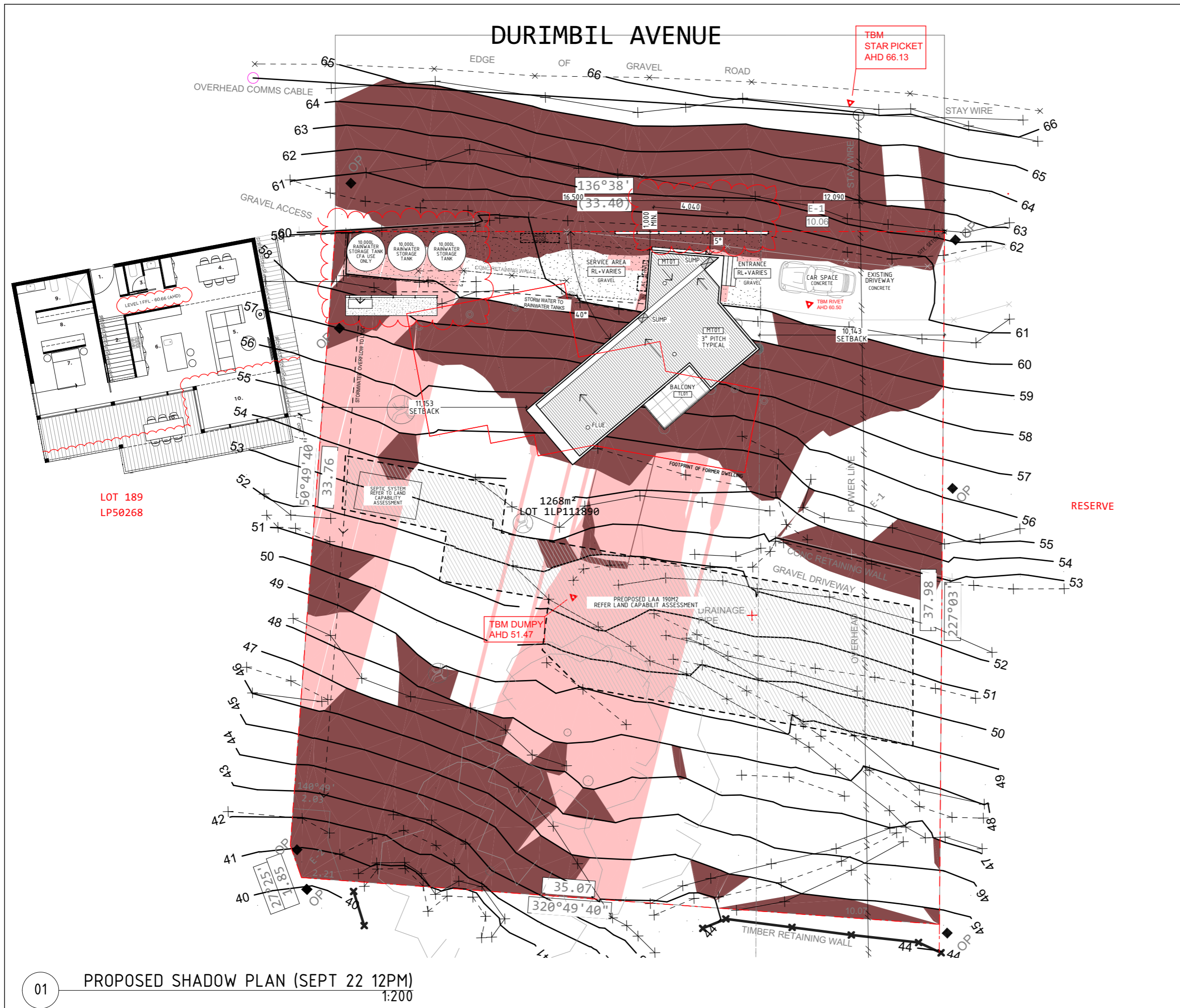
PROJECT **NEW RESIDENCE**  
**28 DURIMBIL AVE**  
**WYE RIVER, VIC, 3234**

PROJECT NORTH

TITLE **FINISHES**

DATE	SCALE	AS SHOWN @ A3
21/10/2019		
DESIGNED JR	JOB NUMBER	
DRAWN JR	DRAWING NO.	REV NO.
CHECKED -	<b>TP.A08</b>	

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**AREA SCHEDULE**

SITE AREA:	1268.00m <sup>2</sup>
BUILT ON:	71.25m <sup>2</sup> / 5.5%
PERMEABLE:	1156 / 94.5%
IMPERMEABLE:	109.82m <sup>2</sup> / 8.6%
GARDEN:	1156 / 94.5%
GROUND FLOOR:	58.5m <sup>2</sup>
BALCONY:	12.75m <sup>2</sup>
TOTAL:	71.25m <sup>2</sup> 7.7sq.

**BUSHFIRE NOTES:**  
CONSTRUCTION TO BE BAL40 COMPLIANT

**CFA NOTES:**  
FIRE FIGHTING SUPPLY PROVISION TO BE CONFIRMED BY CFA PRIOR TO CONSTRUCTION

- EXISTING SHADOW
- PROPOSED/NEW SHADOW

**FOR TENDER**  
NOT FOR CONSTRUCTION

DATE	N.O.	REVISION	BY	CHECKED

**DO NOT SCALE DRAWING**

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PROJECT: **NEW RESIDENCE**  
28 DURIMBIL AVE  
WYE RIVER, VIC, 3234

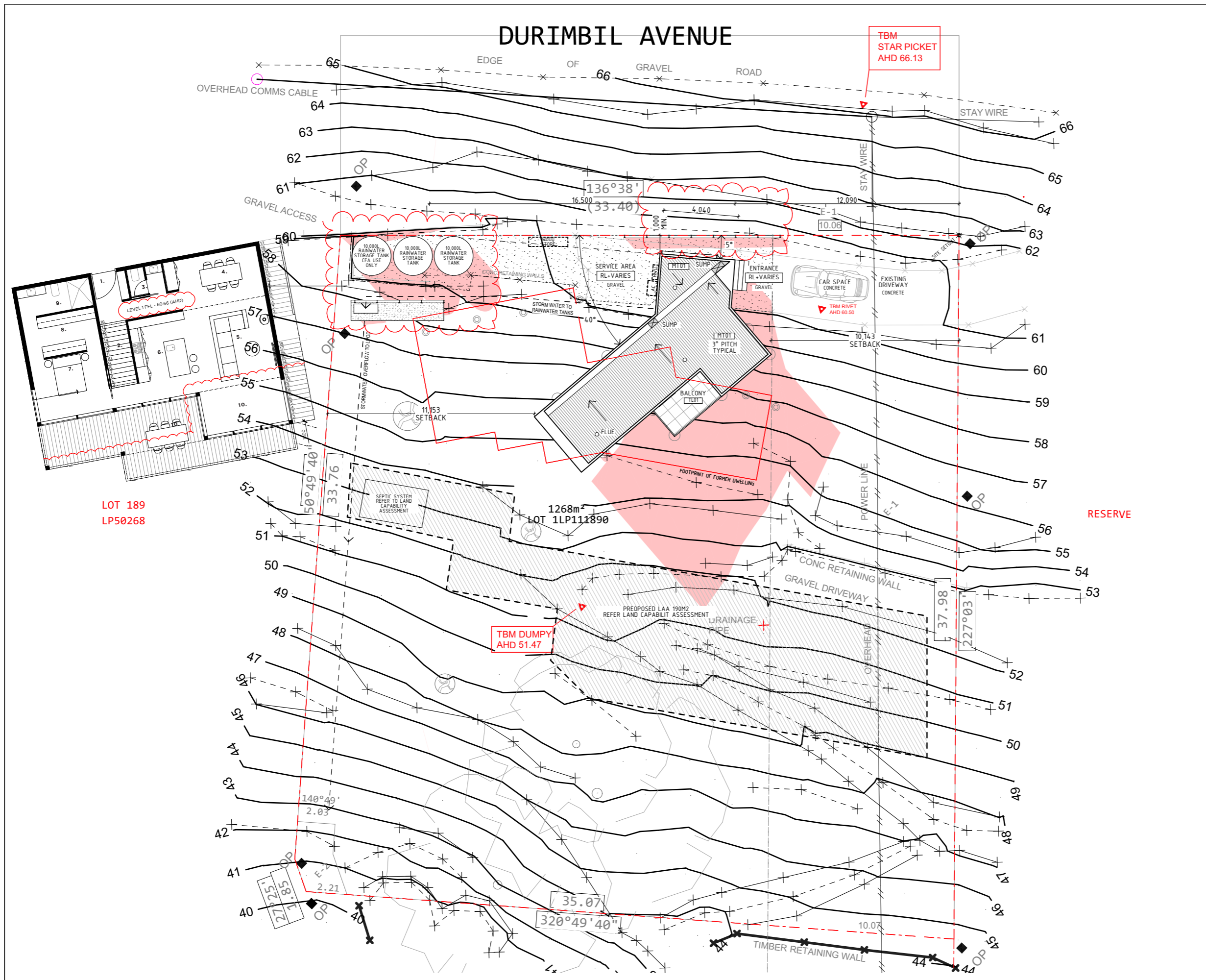
PROJECT NORTH

TITLE: **SHADOW DIAGRAM**

DATE	21/10/2019	SCALE	AS SHOWN @ A3
DESIGNED	JR	JOB NUMBER	N/A
DRAWN	JR	DRAWING NO.	REV NO.
CHECKED	-	<b>TP.A09</b>	

01 PROPOSED SHADOW PLAN (SEPT 22 12PM)  
1:200

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**AREA SCHEDULE**

SITE AREA:	1268.00m <sup>2</sup>
BUILT ON:	71.25m <sup>2</sup> / 5.5%
PERMEABLE:	1156 / 94.5%
IMPERMEABLE:	109.82m <sup>2</sup> / 8.6%
GARDEN:	1156 / 94.5%

GROUND FLOOR:	58.5m <sup>2</sup>
BALCONY:	12.75m <sup>2</sup>
<b>TOTAL:</b>	<b>71.25m<sup>2</sup></b>
	7.7sq.

**BUSHFIRE NOTES:**  
CONSTRUCTION TO BE BAL40 COMPLIANT

**CFA NOTES:**  
FIRE FIGHTING SUPPLY PROVISION TO BE CONFIRMED BY CFA PRIOR TO CONSTRUCTION

**EXISTING SHADOW** (Dark Brown)

**PROPOSED/NEW SHADOW** (Light Pink)

**FOR TENDER**  
NOT FOR CONSTRUCTION

DATE	N.O.	REVISION	BY	CHECKED

**DO NOT SCALE DRAWING**

ALL DIMENSIONS/LEVELS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION. ALL EXISTING LEVELS ARE INDICATIVE ONLY. SURVEY DRAWING TO TAKE PRECEDENCE OVER ARCHITECTURAL DRAWINGS WITH RELATION TO EXISTING LEVELS. DO NOT SCALE DRAWINGS. FIGURED DIMENSION TAKE PRECEDENCE OVER SCALE DIMENSIONS.

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PROJECT: **NEW RESIDENCE**  
28 DURIMBIL AVE  
WYE RIVER, VIC, 3234

PROJECT NORTH

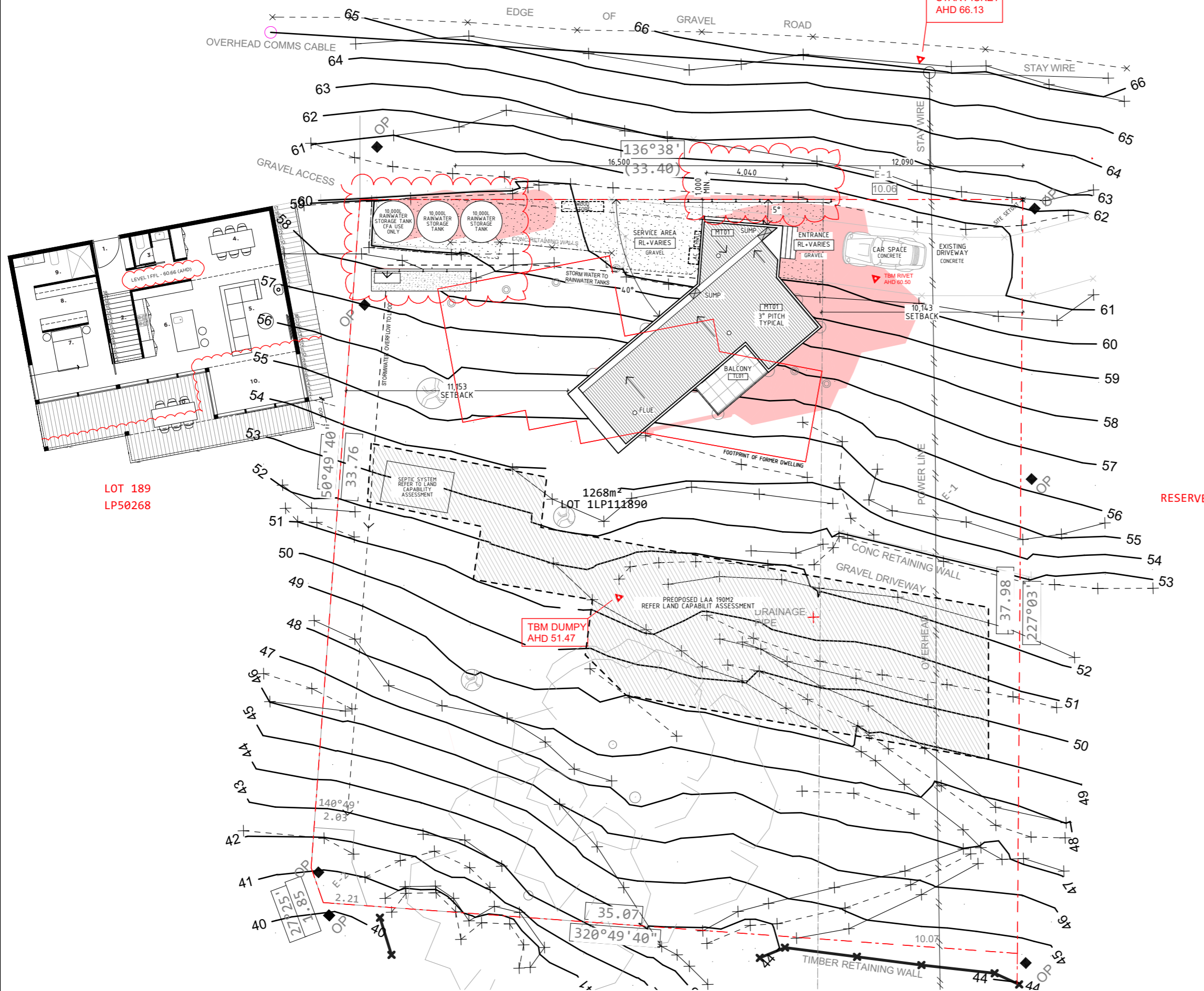
TITLE: **SHADOW DIAGRAMS**

DATE:	21/10/2019	SCALE:	AS SHOWN @ A3
DESIGNED:	JR	JOB NUMBER:	N/A
DRAWN:	JR	DRAWING NO.:	
CHECKED:	-	REV NO.:	

**TP.A10**

01 **PROPOSED SHADOW PLAN (SEPT 22 12PM)**  
1:200

# DURIMBIL AVENUE



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AREA SCHEDULE	
SITE AREA:	1268.00m <sup>2</sup>
BUILT ON:	71.25m <sup>2</sup> / 5.5%
PERMEABLE:	1156 / 94.5%
IMPERMEABLE:	109.82m <sup>2</sup> / 8.6%
GARDEN:	1156 / 94.5%
GROUND FLOOR:	58.5m <sup>2</sup>
BALCONY:	12.75m <sup>2</sup>
TOTAL:	71.25m <sup>2</sup> 7.7sq.

BUSHFIRE NOTES:  
CONSTRUCTION TO BE BAL40 COMPLIANT

CFA NOTES:  
FIRE FIGHTING SUPPLY PROVISION TO BE CONFIRMED BY CFA PRIOR TO CONSTRUCTION

- EXISTING SHADOW
- PROPOSED/NEW SHADOW

**FOR TENDER**  
NOT FOR CONSTRUCTION

DATE	N.O.	REVISION	BY	CHECKED

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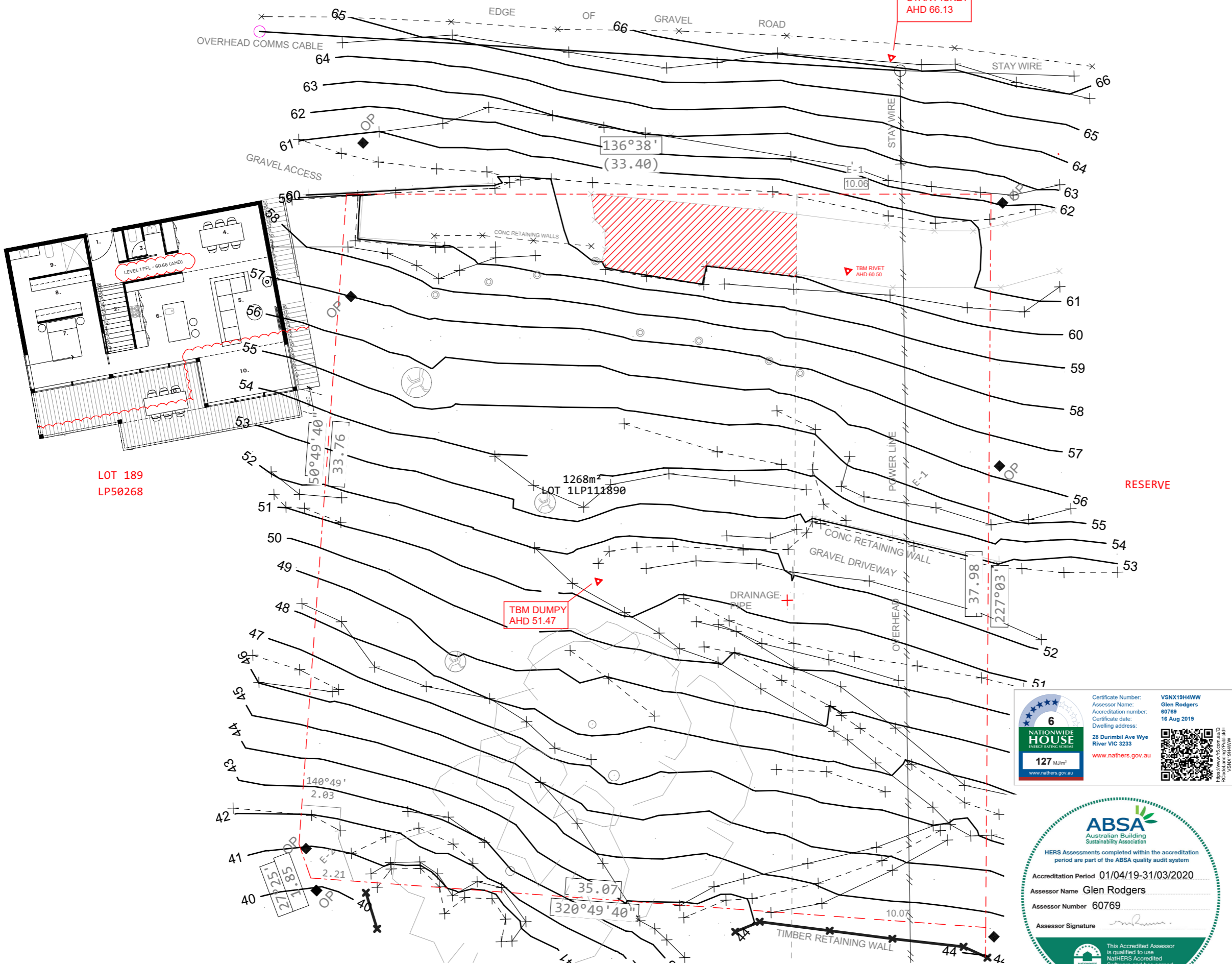
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PROJECT	NEW RESIDENCE	 PROJECT NORTH
	28 DURIMBIL AVE	
	WYE RIVER, VIC, 3234	
TITLE	<b>SHADOW DIAGRAM</b>	

DATE	21/10/2019	SCALE	AS SHOWN @ A3
DESIGNED	JR	JOB NUMBER	N/A
DRAWN	JR	DRAWING NO.	REV NO.
CHECKED	-	<b>TP.A11</b>	

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# DURIMBIL AVENUE



### AREA SCHEDULE

SITE AREA:	1268.00m <sup>2</sup>
BUILT ON:	0.0m <sup>2</sup> / 0%
PERMEABLE:	1200m <sup>2</sup> / 95%
IMPERMEABLE:	68m <sup>2</sup> / 5%
GARDEN:	1200m <sup>2</sup> / 95%
GROUND FLOOR:	00.00m <sup>2</sup>
BALCONY:	00.00m <sup>2</sup>
TOTAL:	00.00m <sup>2</sup> 0.0sq.

### DEMOLITION LEGEND:

	EXISTING BUILDING STRUCTURE TO BE DEMOLISHED INCL. FLOOR / WALLS / ROOF UNLESS OTHERWISE NOTED.
--	---

## FOR TENDER

NOT FOR CONSTRUCTION

05/08/19 T2 REPRICING

DATE	N.O.	REVISION	BY	CHECKED

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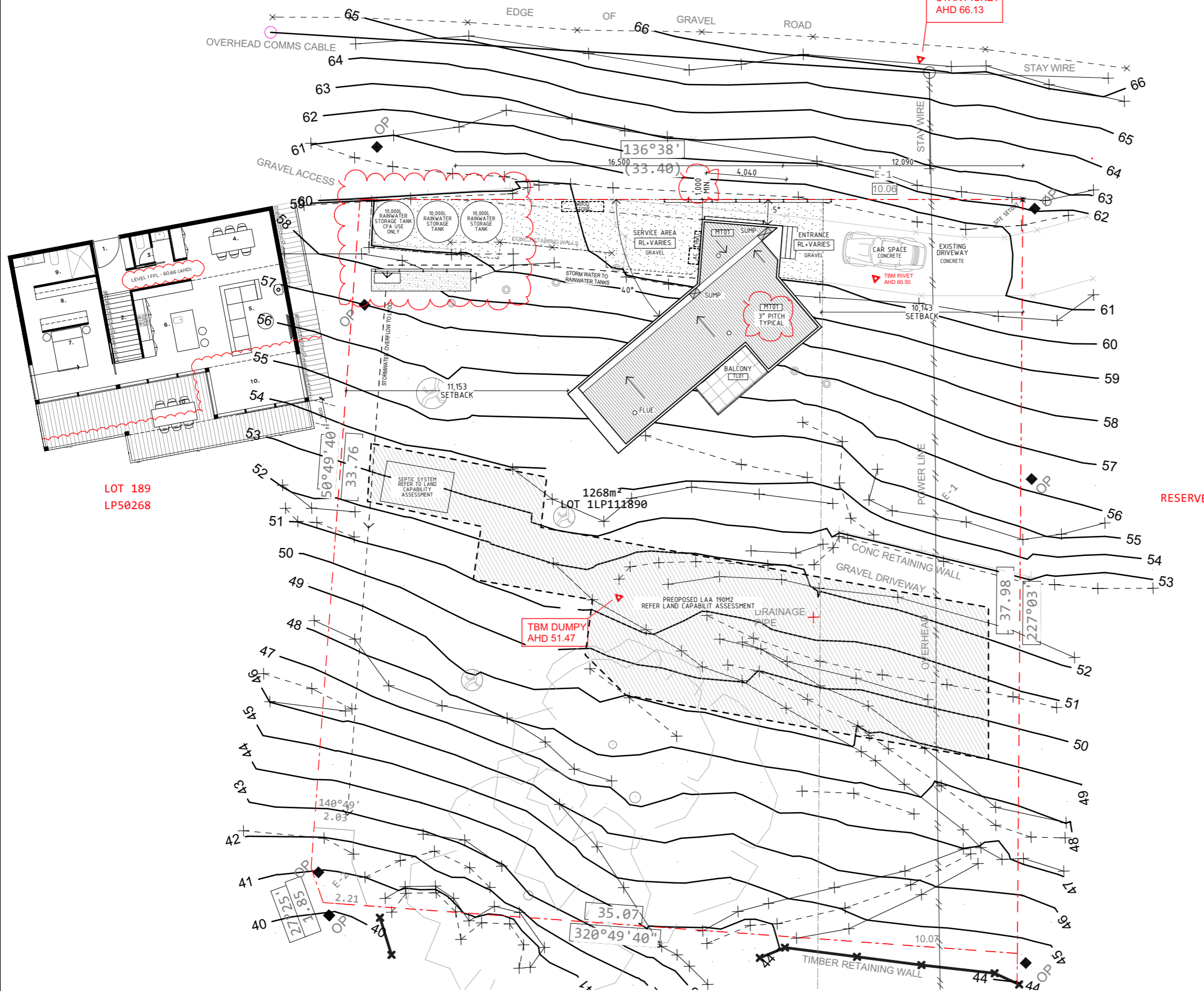
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PROJECT: NEW RESIDENCE  
 28 DURIMBIL AVE  
 WYE RIVER, VIC, 3234

TITLE: SITE PLAN - DEMOLITION

DATE:	16/08/2019	SCALE:	AS SHOWN @ A3
DESIGNED:	JR	JOB NUMBER:	N/A
DRAWN:	JR	DRAWING NO.:	
CHECKED:	-	REV NO.:	A03

# DURIMBIL AVENUE



LOT 189  
LP50268

1268m<sup>2</sup>  
LOT 1LP11890

RESERVE

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AREA SCHEDULE	
SITE AREA:	1268.00m <sup>2</sup>
BUILT ON:	61m <sup>2</sup> / 4.8%
PERMEABLE:	1166 / 92%
IMPERMEABLE:	102m <sup>2</sup> / 8.0%
GARDEN:	1166 / 92%
GROUND FLOOR:	55m <sup>2</sup>
BALCONY:	11m <sup>2</sup>
<b>TOTAL:</b>	<b>55m<sup>2</sup></b> <b>5.9sq.</b>

**NATIONWIDE HOUSE**  
ENERGY RATING SCHEMATA  
127 MJ/m<sup>2</sup>  
www.nathers.gov.au

Certificate Number: VSNX19H4HW  
Assessor Name: Glen Rodgers  
Accreditation number: 60769  
Certificate date: 16 Aug 2019  
Dwelling address: 28 Durimbil Ave Wye River VIC 3233  
www.nathers.gov.au

**ABSA**  
Australian Building Sustainability Association

HERS Assessments completed within the accreditation period are part of the ABSA quality audit system

Accreditation Period: 01/04/19-31/03/2020  
Assessor Name: Glen Rodgers  
Assessor Number: 60769

Assessor Signature: *[Signature]*

This Accredited Assessor is qualified to use NatHERS Accredited Software and has agreed to follow the ABSA Code of Practice

**FOR TENDER**  
NOT FOR CONSTRUCTION

05/08/19 T2 REPRICING

DATE	N.O.	REVISION	BY	CHECKED

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PROJECT: NEW RESIDENCE  
28 DURIMBIL AVE  
WYE RIVER, VIC, 3234

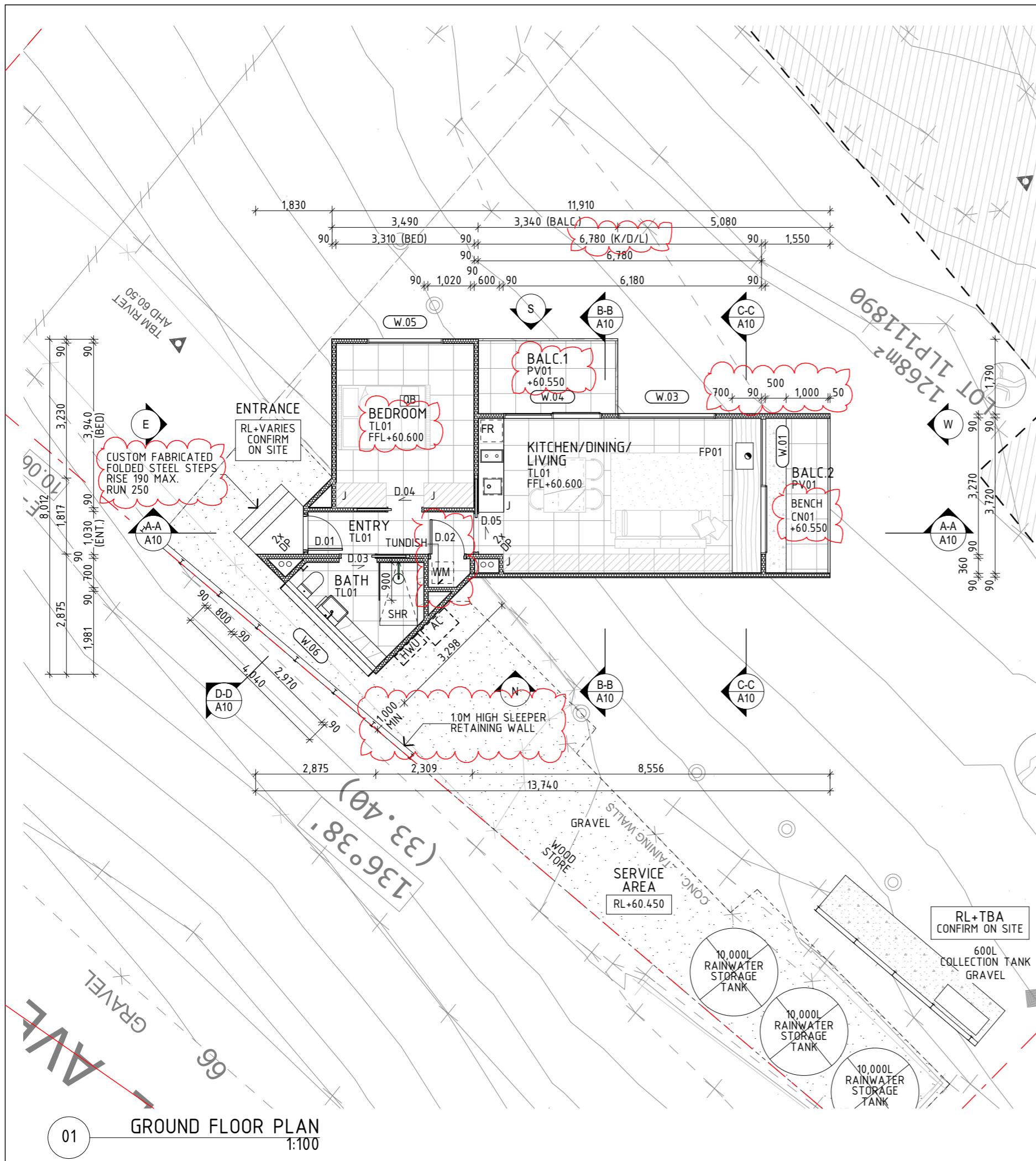
PROJECT NORTH

TITLE: **SITE PLAN - PROPOSED**

DATE:	16/08/2019	SCALE:	AS SHOWN @ A3
DESIGNED:	JR	JOB NUMBER:	N/A
DRAWN:	JR	DRAWING NO.:	
CHECKED:	-	REV NO.:	

01 PROPOSED SITE PLAN  
1:200

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**CONSTRUCTION FINISHES**  
REFER TO FINISHES SCHEDULE & GENERAL NOTES

GL00	GLASS FINISH
LF00	LAMINATE FINISH
MT00	METAL FINISH
PB	PLASTERBOARD (w/ PAINT FINISH)
PF00	PAINT FINISH
PV00	PAVING FINISH
RF00	ROOF FINISH
ST00	STONE FINISH
TF00	TIMBER FLOOR
TL00	TILE FINISH

**CONSTRUCTION MATERIALS**  
SEE A08 FOR TYPICAL WALL TYPES & DETAILS

	FENCE - EXISTING
	FENCE - NEW REFER DETAIL
	110MM BRICKWORK
	90MM INSULATED STUDWORK
	CONCRETE
	BRICKWORK TO SCHEDULE
	PAVING TO SCHEDULE
	TIMBER FLOORING TO SCHEDULE
	METAL SHEET ROOFING TO SCHEDULE
	JOINERY - FULL HEIGHT (2100 MM)
	JOINERY - BENCH HEIGHT (STONE, TIMBER, METAL)

**LEGEND**

A	ARTICULATION POINT
AC	AIR CONDITIONING CONDENSOR UNIT
BE	BENCH REFER WITH BALDY GUARD
BIR	BUILT IN ROBE
CC	CONCEALED CISTERN - REFER SCHEDULE
CL	CEILING LEVEL ABOVE FFL
DP	DOWNPIPE (90Ø)
EXH	EXHAUST
F	FRIDGE SPACE
FFL	FINISHED FLOOR LEVEL
FW	FLOOR WASTE - TO SCHEDULE
GD	GRADED (250x250 NOM.)
GT	GARDEN TAP
HWU	HOT WATER UNIT (ELEC. INSTANTANEOUS)
IO	INSPECTION OPENING
J	JOINERY (REFER JOINERY DRAWINGS)
L	LINEN
MB	METER BOX
P	PANTRY
PIT	DRAINAGE PIT
RL	REDUCED LEVEL
SB	SWITCH BOARD
SC	SIPHON COVER - REFER SCHEDULE
HWU	HOT WATER UNIT
SK00	SKYLIGHT - REFER SCHEDULE
TBM	TEMPORARY BENCH MARK (REFER FEATURE SURVEY)
WL	WASHING LINE - TO SCHEDULE
WM	WASHING MACHINE SPACE

**FOR TENDER**  
NOT FOR CONSTRUCTION

05/08/19 T2 REPRICING

DATE	N.O.	REVISION	BY	CHECKED

**NATIONWIDE HOUSE ENERGY RATING SCHEME**  
127 Mj/m<sup>2</sup>  
www.nathers.gov.au

Certificate Number: VSNX19H4WW  
Assessor Name: Glen Rodgers 60769  
Certification date: 16 Aug 2019  
Dwelling address: 28 Durimbil Ave Wye River VIC 3233  
www.nathers.gov.au

**ABSA**  
Australian Building Sustainability Association  
HERS Assessments completed within the accreditation period are part of the ABSA quality audit system  
Accreditation Period: 01/04/19-31/03/2020  
Assessor Name: Glen Rodgers  
Assessor Number: 60769  
Assessor Signature: *[Signature]*  
This Accredited Assessor is qualified to use Nathers Accredited Software and has agreed to follow the ABSA Code of Practice

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PROJECT: NEW RESIDENCE  
28 DURIMBIL AVE  
WYE RIVER, VIC, 3234  
PROJECT NORTH

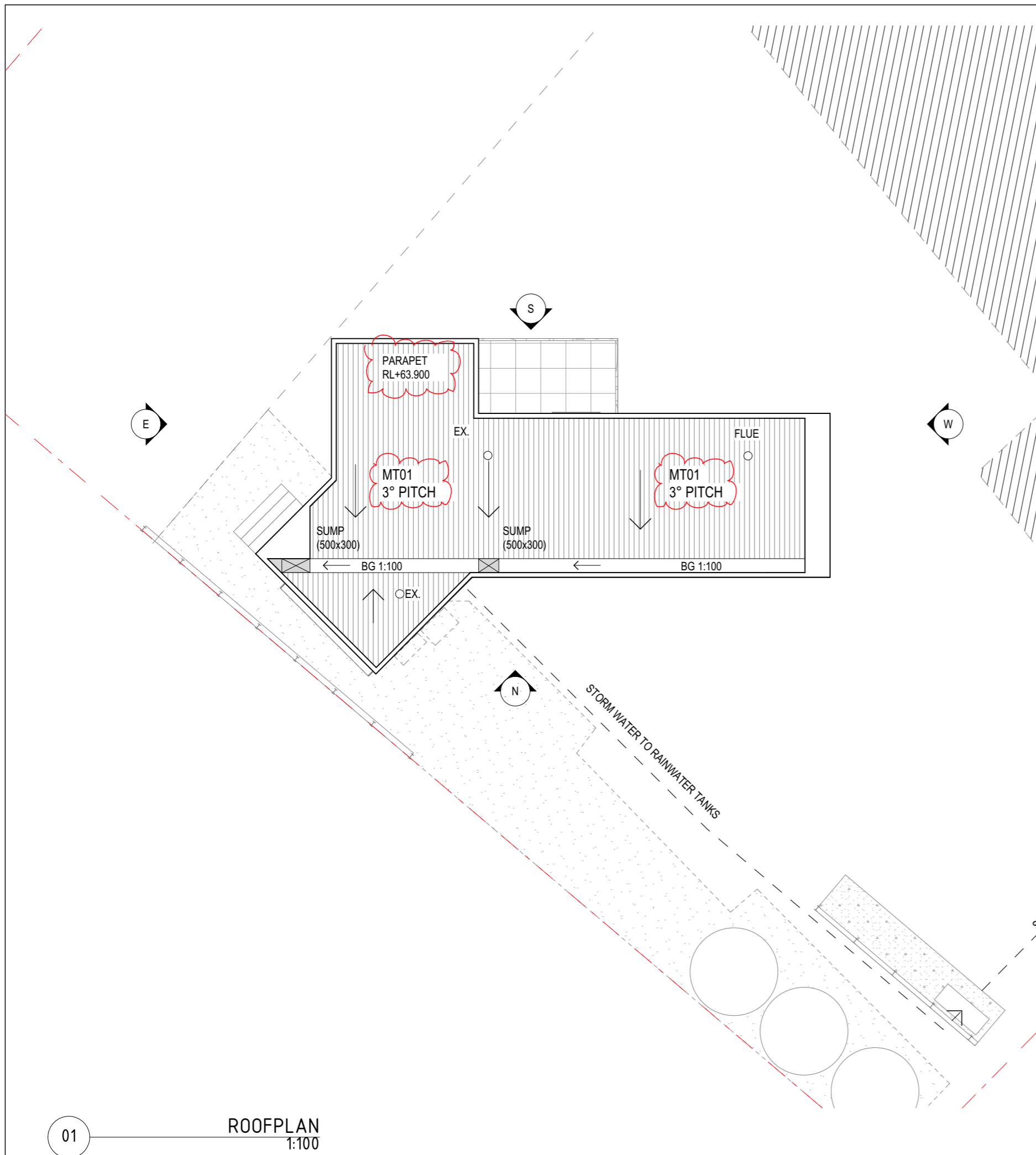
TITLE: GROUND FLOOR PLAN

DATE	16/08/2019	SCALE	AS SHOWN @ A3
DESIGNED	JR	JOB NUMBER	N/A
DRAWN	JR	DRAWING NO.	
CHECKED	-	REV NO.	A05

01 GROUND FLOOR PLAN 1:100



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**CONSTRUCTION FINISHES**

- REFER TO FINISHES SCHEDULE & GENERAL NOTES
- GL00 GLASS FINISH
  - LF00 LAMINATE FINISH
  - MT00 METAL FINISH
  - PB PLASTERBOARD (w/ PAINT FINISH)
  - PF00 PAINT FINISH
  - PV00 PAVING FINISH
  - RF00 ROOF FINISH
  - ST00 STONE FINISH
  - TF00 TIMBER FLOOR
  - TL00 TILE FINISH

**CONSTRUCTION MATERIALS**

- SEE A08 FOR TYPICAL WALL TYPES & DETAILS
- FENCE - EXISTING
  - FENCE - NEW REFER DETAIL
  - 110MM BRICKWORK
  - 90MM INSULATED STUDWORK
  - CONCRETE
  - BRICKWORK TO SCHEDULE
  - PAVING TO SCHEDULE
  - TIMBER FLOORING TO SCHEDULE
  - METAL SHEET ROOFING TO SCHEDULE
  - JOINERY - FULL HEIGHT (2100 MM)
  - JOINERY - BENCH HEIGHT (STONE, TIMBER, METAL)

**LEGEND**

- A- ARTICULATION POINT
- AC AIR CONDITIONING CONDENSOR UNIT
- BE BOX BEYOND WITH BALDY LEAF GUARD
- BIR BUILT IN ROBE
- CC CONCEALED CISTERN - REFER SCHEDULE
- CL CEILING LEVEL ABOVE FFL
- DP DOWNPIPE (90Ø)
- EXH EXHAUST
- F FRIDGE SPACE
- FFL FINISHED FLOOR LEVEL
- FW FLOOR WASTE - TO SCHEDULE
- GD GRATED (250x250 NOM.)
- GT GARDEN TAP
- HWU HOT WATER UNIT (ELEC. INSTANTANEOUS)
- IO INSPECTION OPENING
- J JOINERY (REFER JOINERY DRAWINGS)
- L LINEN
- MB METER BOX
- P PANTRY
- PIT DRAINAGE PIT
- RL REDUCED LEVEL
- SB SWITCH BOARD
- SC SIPHON COVER - REFER SCHEDULE
- HWU HOT WATER UNIT
- SK00 SKYLIGHT - REFER SCHEDULE
- TBM TEMPORARY BENCH MARK (REFER FEATURE SURVEY)
- WL WASHING LINE - TO SCHEDULE
- WM WASHING MACHINE SPACE

**FOR TENDER**  
NOT FOR CONSTRUCTION

05/08/19 T2 REPRICING

DATE	N.O.	REVISION	BY	CHECKED



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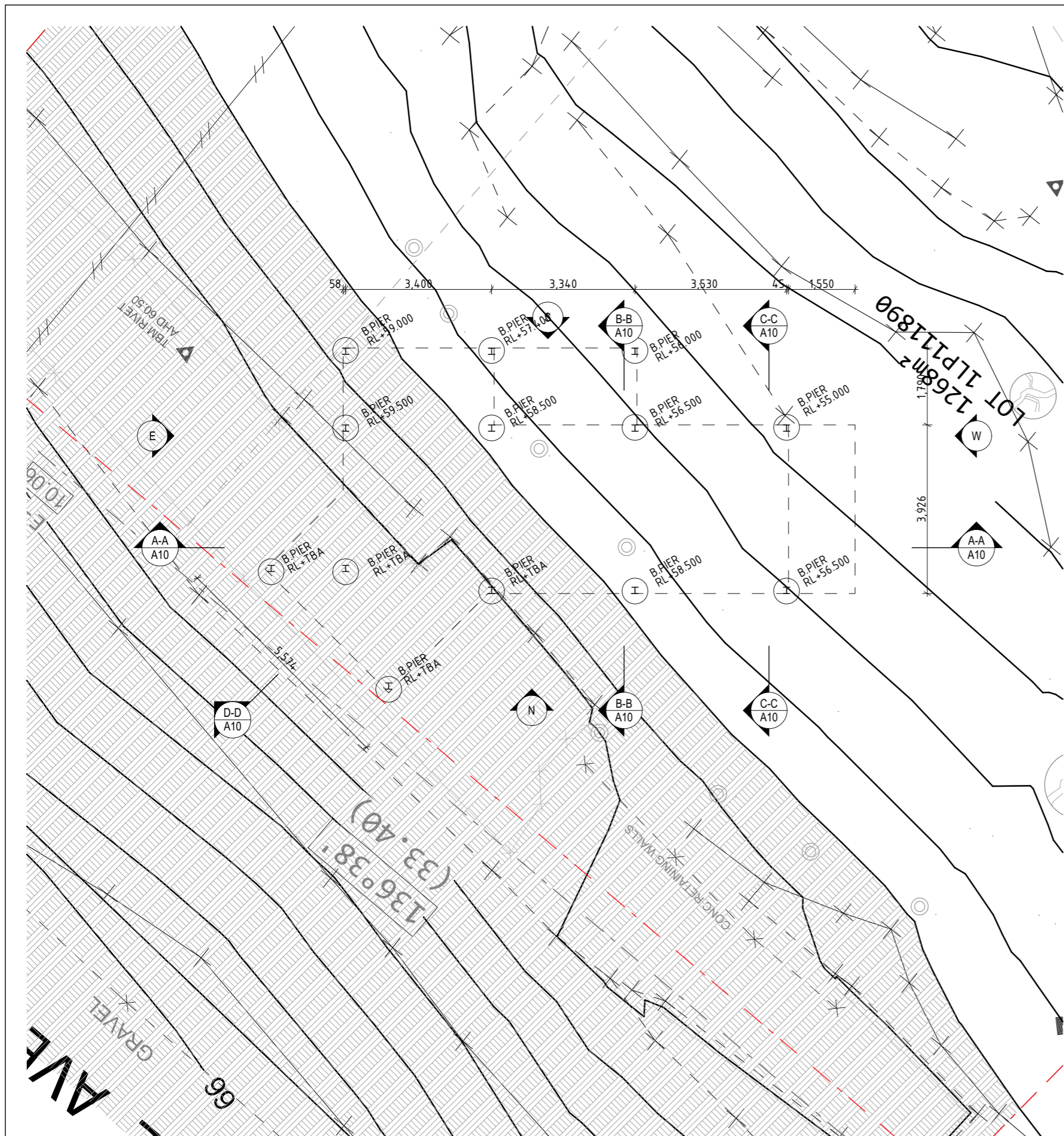
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PROJECT NEW RESIDENCE  
28 DURIMBIL AVE  
WYE RIVER, VIC, 3234  
PROJECT NORTH

TITLE **ROOF PLAN**

DATE	SCALE	AS SHOWN @ A3
16/08/2019	AS SHOWN @ A3	AS SHOWN @ A3
DESIGNED JR	JOB NUMBER N/A	REV NO.
DRAWN JR	DRAWING NO.	REV NO.
CHECKED -	<b>A06</b>	

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MT00	METAL FINISH
PB	PLASTERBOARD (w/ PAINT FINISH)
PF00	PAINT FINISH
PV00	PAVING FINISH
RF00	ROOF FINISH
ST00	STONE FINISH
TF00	TIMBER FLOOR
TL00	TILE FINISH

**CONSTRUCTION MATERIALS**  
SEE A08 FOR TYPICAL WALL TYPES & DETAILS

	FENCE - EXISTING
	FENCE - NEW REFER DETAIL
	110MM BRICKWORK
	90MM INSULATED STUDWORK
	CONCRETE
	BRICKWORK TO SCHEDULE
	PAVING TO SCHEDULE
	TIMBER FLOORING TO SCHEDULE
	METAL SHEET ROOFING TO SCHEDULE
	JOINERY - FULL HEIGHT (2100 MM)
	JOINERY - BENCH HEIGHT (STONE, TIMBER, METAL)

**LEGEND**

A	ARTICULATION POINT
AC	AIR CONDITIONING CONDENSOR UNIT
BE	BENCH MARK WITH GALVANIZED GUARD
BIR	BUILT IN ROBE
CC	CONCEALED CISTERN - REFER SCHEDULE
CL	CEILING LEVEL ABOVE FFL
DP	DOWNPIPE (90Ø)
EXH	EXHAUST
F	FRIDGE SPACE
FFL	FINISHED FLOOR LEVEL
FW	FLOOR WASTE - TO SCHEDULE
GD	GRADED (250x250 NOM.)
GT	GARDEN TAP
HWU	HOT WATER UNIT (ELEC. INSTANTANEOUS)
IO	INSPECTION OPENING
J	JOINERY (REFER JOINERY DRAWINGS)
L	LINEN
MB	METER BOX
P	PANTRY
PIT	DRAINAGE PIT
RL	REDUCED LEVEL
SB	SWITCH BOARD
SC	SIPHON COVER - REFER SCHEDULE
HWU	HOT WATER UNIT
SK00	SKYLIGHT - REFER SCHEDULE
TBM	TEMPORARY BENCH MARK (REFER FEATURE SURVEY)
WL	WASHING LINE - TO SCHEDULE
WM	WASHING MACHINE SPACE

**FOR TENDER**  
NOT FOR CONSTRUCTION

05/08/19 T2 REPRICING

DATE	N.O.	REVISION	BY	CHECKED

**NATIONWIDE HOUSE ENERGY RATING SCHEME**  
6  
127 MJ/m<sup>2</sup>  
www.nathers.gov.au

Certificate Number: VSNX19H4WW  
Assessor Name: Glen Rodgers  
Accreditation number: 60769  
Certificate date: 16 Aug 2019  
Dwelling address: 28 Durimbil Ave Wye River VIC 3233  
www.nathers.gov.au

**ABSA**  
Australian Building Sustainability Association  
HERS Assessments completed within the accreditation period are part of the ABSA quality audit system  
Accreditation Period: 01/04/19-31/03/2020  
Assessor Name: Glen Rodgers  
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Assessor Signature:

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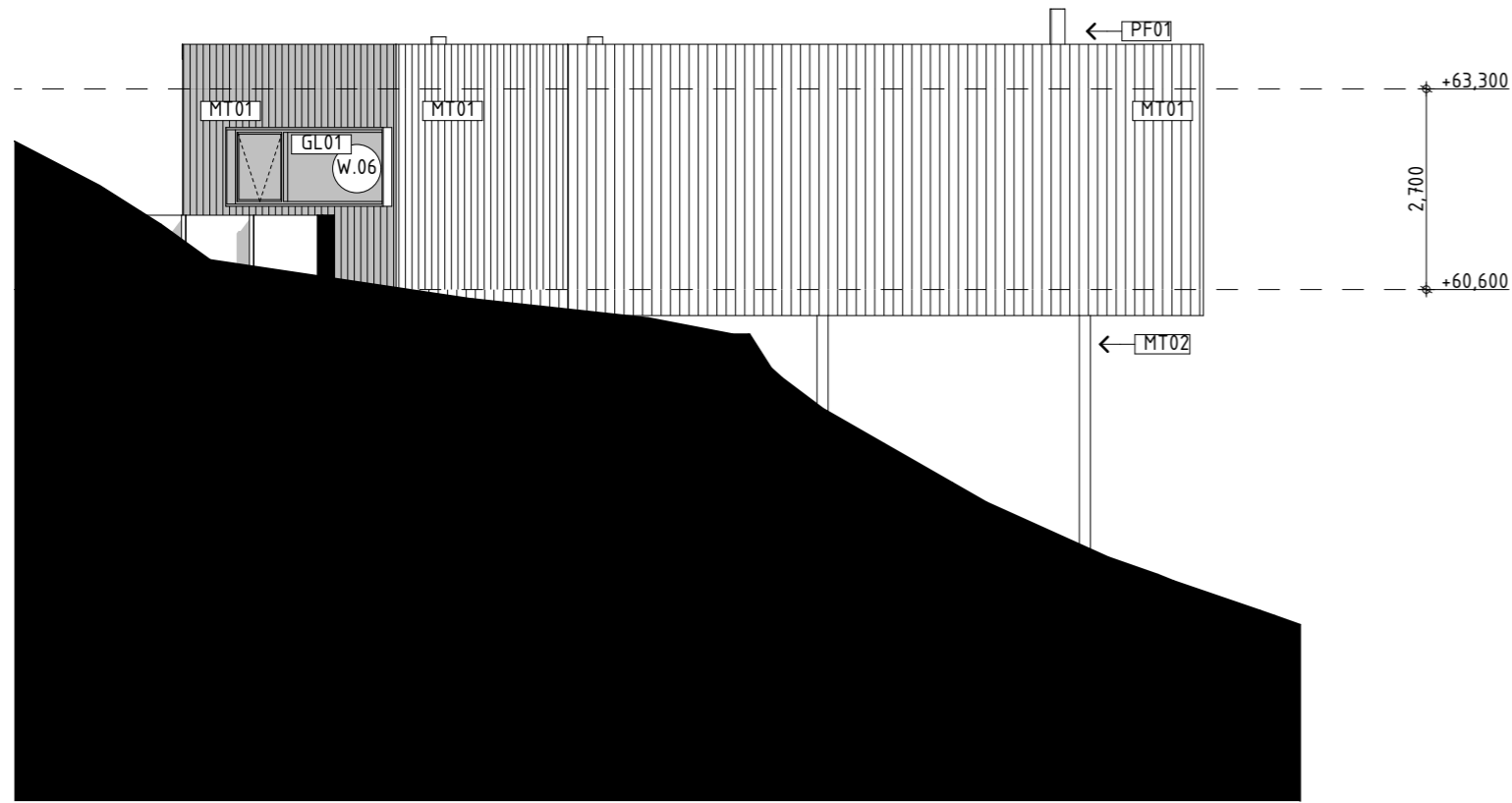
PROJECT: NEW RESIDENCE  
28 DURIMBIL AVE  
WYE RIVER, VIC, 3234  
PROJECT NORTH

TITLE: **SUBFLOOR LAYOUT PLAN**

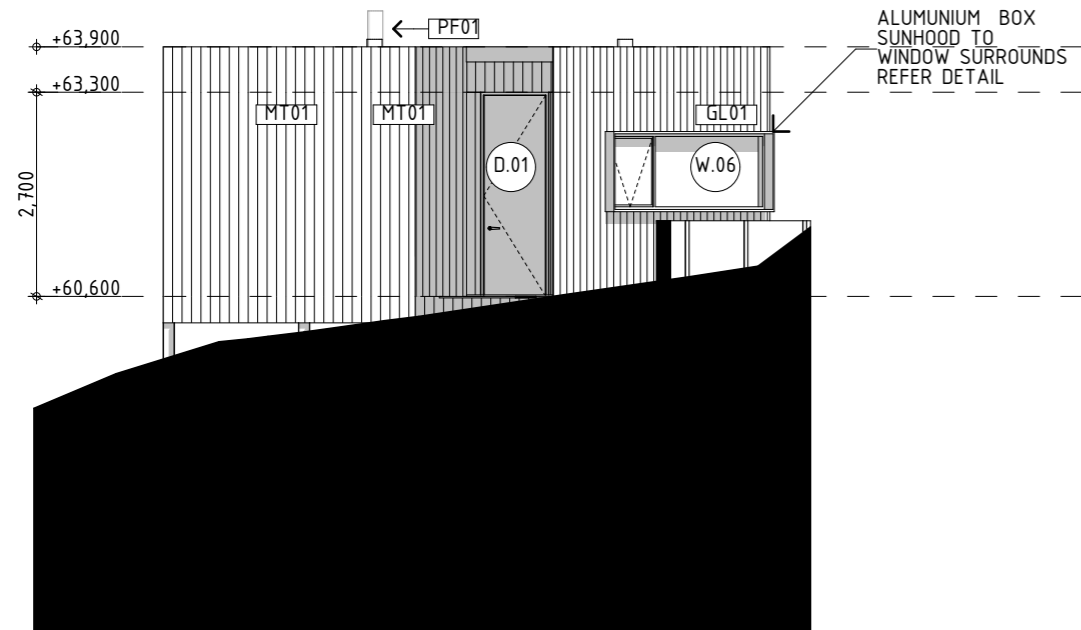
DATE	16/08/2019	SCALE	AS SHOWN @ A3
DESIGNED	JR	JOB NUMBER	N/A
DRAWN	JR	DRAWING NO.	
CHECKED	-	REV NO.	A07

01 FOOTING PLAN 1:100

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01 NORTH ELEVATION  
1:100



02 EAST ELEVATION  
1:100

**CONSTRUCTION FINISHES**

REFER TO FINISHES SCHEDULE & GENERAL NOTES

- GL00 GLASS FINISH
- LF00 LAMINATE FINISH
- MT00 METAL FINISH
- PB PLASTERBOARD (w/ PAINT FINISH)
- PF00 PAINT FINISH
- PV00 PAVING FINISH
- RF00 ROOF FINISH
- ST00 STONE FINISH
- TF00 TIMBER FLOOR
- TL00 TILE FINISH

- AJ ARTICULATION JOINT
- AC AIR CONDITIONING CONDENSOR UNIT
- BG BOX GUTTER WITH GALV. LEAF GUARD
- BIR BUILT IN ROBE
- CC CONCEALED CISTERN - REFER SCHEDULE
- CL CEILING LEVEL ABOVE FFL
- DP DOWNPIPE (90Ø)
- EXH EXHAUST
- F FRIDGE SPACE
- FFL FINISHED FLOOR LEVEL
- FW FLOOR WASTE - TO SCHEDULE
- GD GRATED (250x250 NOM.)
- GT GARDEN TAP
- HWU HOT WATER UNIT (ELEC. INSTANTANEOUS)
- IO INSPECTION OPENING
- J JOINERY (REFER JOINERY DRAWINGS)
- L LINEN
- MB METER BOX
- P PANTRY
- PIT DRAINAGE PIT
- RL REDUCED LEVEL
- SB SWITCH BOARD
- SC SIPHON COVER - REFER SCHEDULE
- HWU HOT WATER UNIT
- SK00 SKYLIGHT - REFER SCHEDULE
- TBM TEMPORARY BENCH MARK (REFER FEATURE SURVEY)
- WL WASHING LINE - TO SCHEDULE
- WM WASHING MACHINE SPACE

**FOR TENDER**  
NOT FOR CONSTRUCTION

DATE	N.O.	REVISION	BY	CHECKED

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PROJECT NEW RESIDENCE  
28 DURIMBIL AVE  
WYE RIVER, VIC, 3234  
PROJECT NORTH

TITLE ELEVATION - NORTH & EAST

DATE	SCALE	AS SHOWN @ A3
16/08/2019		
DESIGNED	JOB NUMBER	N/A
JR		
DRAWN	DRAWING NO.	REV NO.
JR		
CHECKED	A08	
-		

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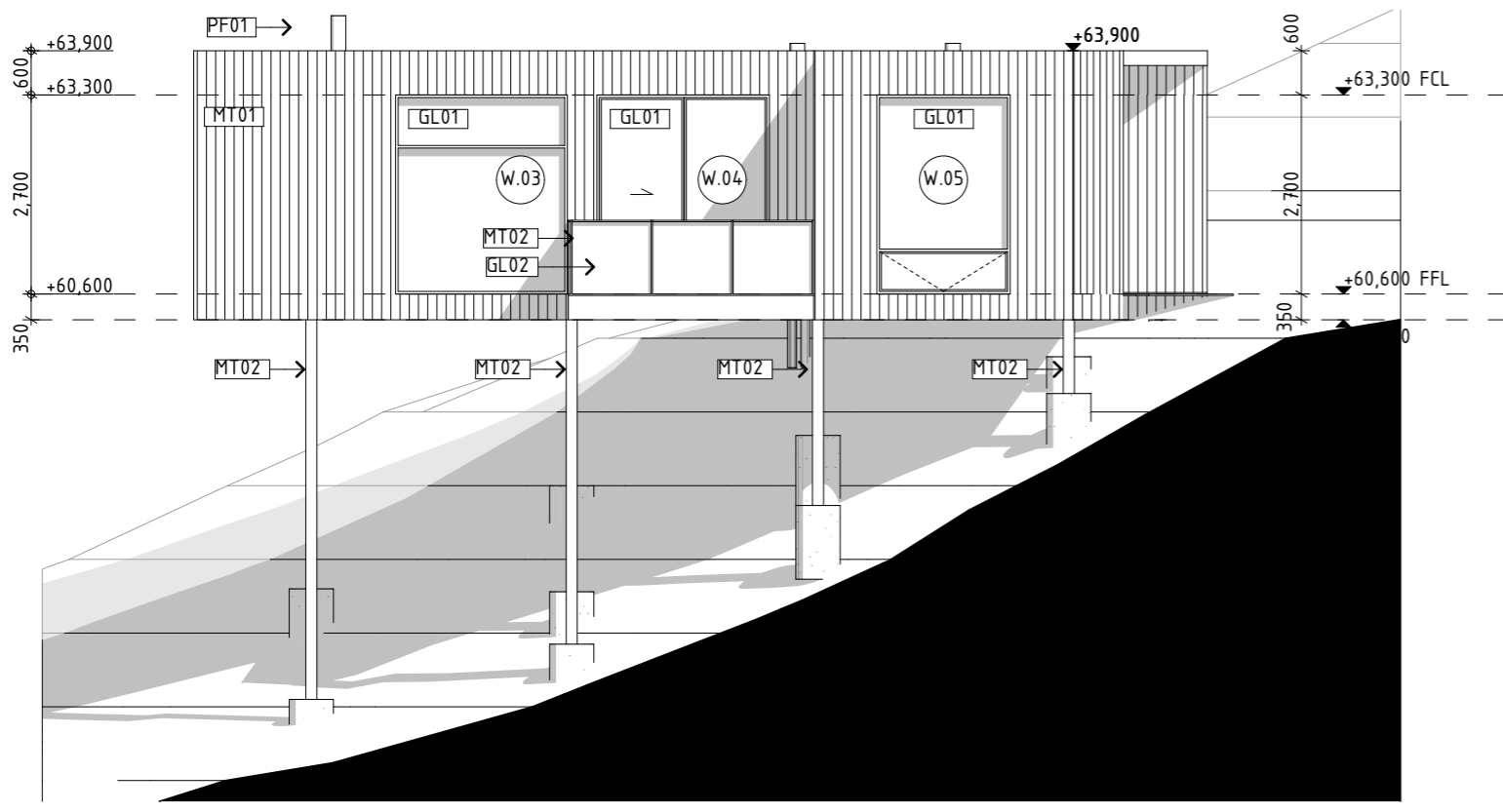
**CONSTRUCTION FINISHES**

REFER TO FINISHES SCHEDULE & GENERAL NOTES

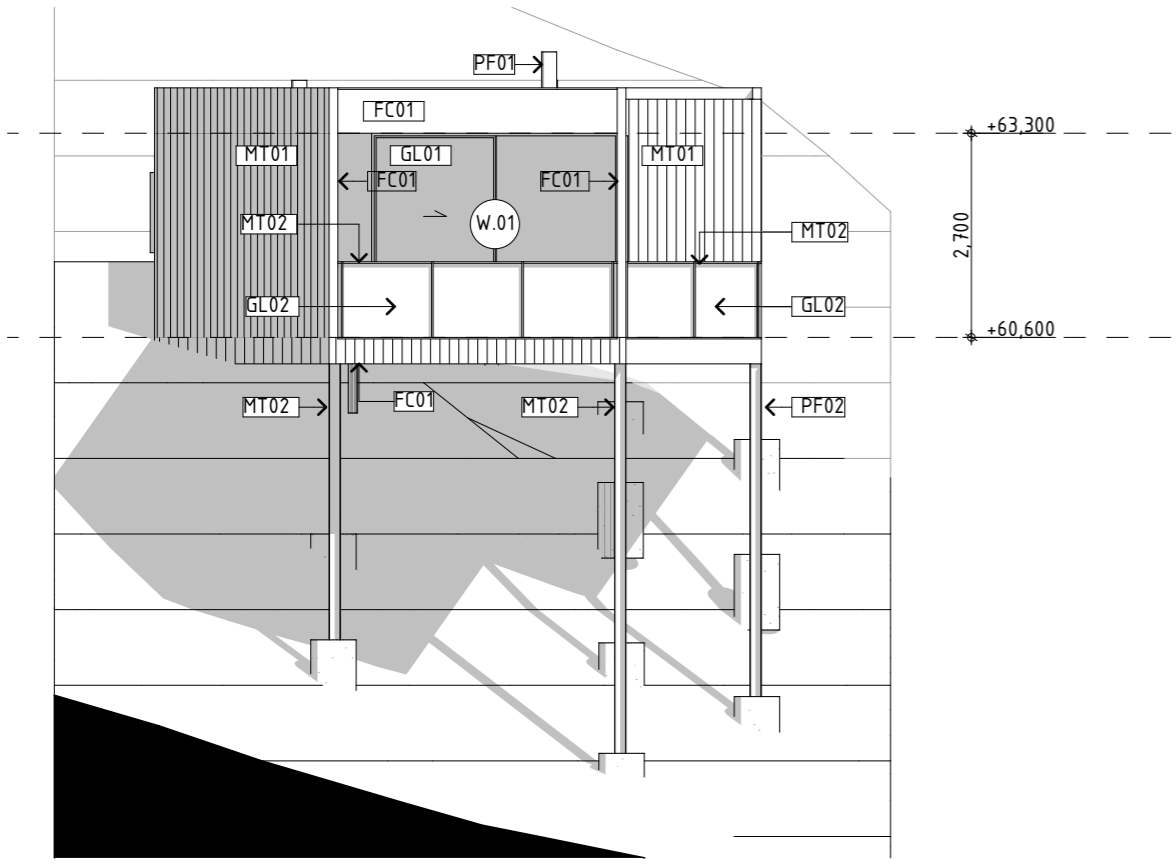
- GL00 GLASS FINISH
- LF00 LAMINATE FINISH
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- PB PLASTERBOARD (w/ PAINT FINISH)
- PF00 PAINT FINISH
- PV00 PAVING FINISH
- RF00 ROOF FINISH
- ST00 STONE FINISH
- TF00 TIMBER FLOOR
- TL00 TILE FINISH

**LEGEND**

- A-J ARTICULATION JOINT
- A-C AIR CONDITIONING CONDENSOR UNIT
- B-G BOX GUTTER WITH BAL 60 LEAF GUARD
- BIR BUILT IN ROBE
- CC CONCEALED CISTERN - REFER SCHEDULE
- CL CEILING LEVEL ABOVE FFL
- DP DOWNPIPE (90°)
- EXH EXHAUST
- F FRIDGE SPACE
- FFL FINISHED FLOOR LEVEL
- FW FLOOR WASTE - TO SCHEDULE
- GD GRATED (250x250 NOM.)
- GT GARDEN TAP
- HWU HOT WATER UNIT (ELEC. INSTANTANEOUS)
- IO INSPECTION OPENING
- J JOINERY (REFER JOINERY DRAWINGS)
- L LINEN
- MB METER BOX
- P PANTRY
- PIT DRAINAGE PIT
- RL REDUCED LEVEL
- SB SWITCH BOARD
- SC SIPHON COVER - REFER SCHEDULE
- HWU HOT WATER UNIT
- SK00 SKYLIGHT - REFER SCHEDULE
- TBM TEMPORARY BENCH MARK (REFER FEATURE SURVEY)
- WL WASHING LINE - TO SCHEDULE
- WM WASHING MACHINE SPACE



01 SOUTH ELEVATION  
1:100



02 WEST ELEVATION  
1:100

Certificate Number: VSNX19H4WW  
Assessor Name: Glen Rodgers  
Accreditation number: 60769  
Certification date: 16 Aug 2019  
Dwelling address: 28 Durimbil Ave Wye River VIC 3233  
www.nathers.gov.au

Accreditation Period: 01/04/19-31/03/2020  
Assessor Name: Glen Rodgers  
Assessor Number: 60769  
Assessor Signature: *[Signature]*

This Accredited Assessor is qualified to use NatHERS Accredited Software and has agreed to follow the ABSA Code of Practice.

**FOR TENDER**  
NOT FOR CONSTRUCTION

DATE	N.O.	REVISION	BY	CHECKED

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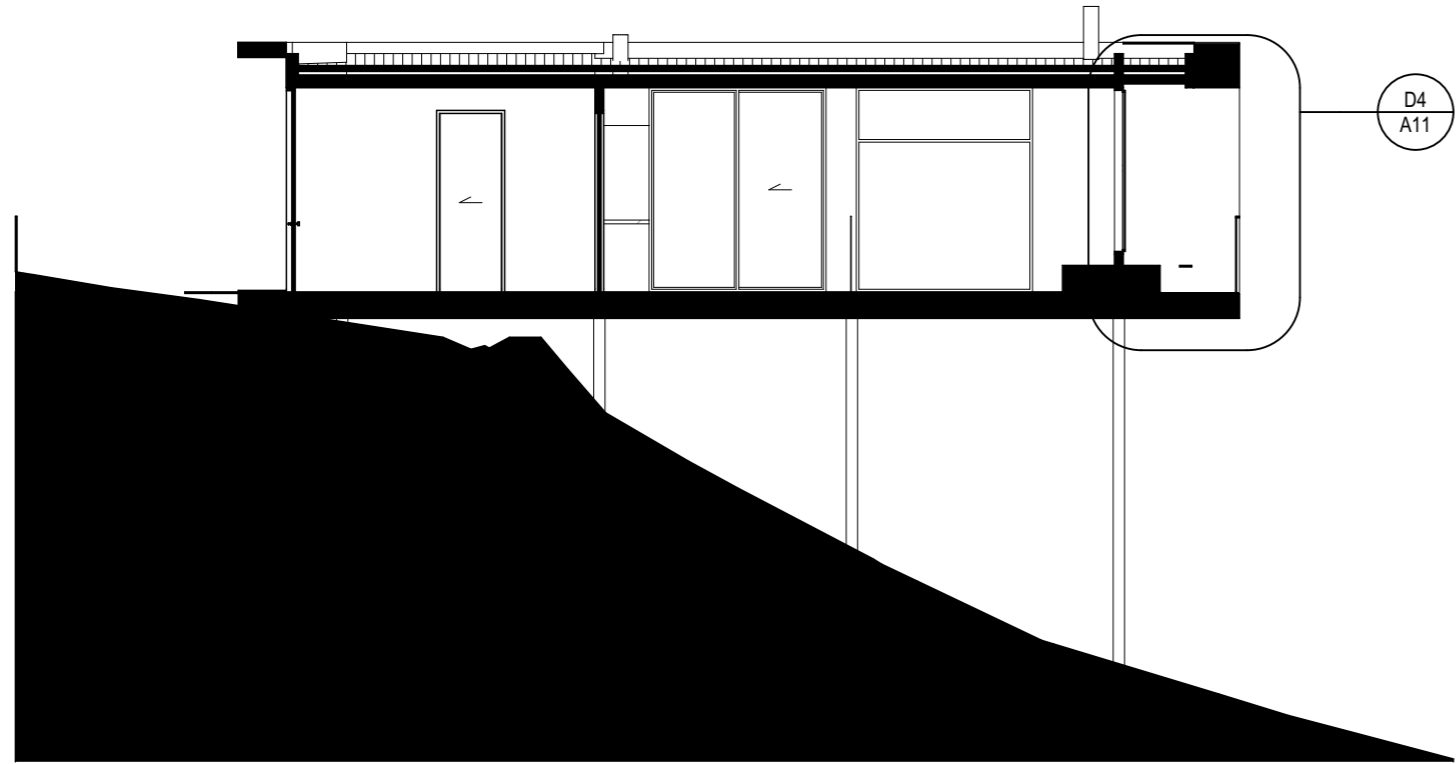
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PROJECT NEW RESIDENCE  
28 DURIMBIL AVE  
WYE RIVER, VIC, 3234

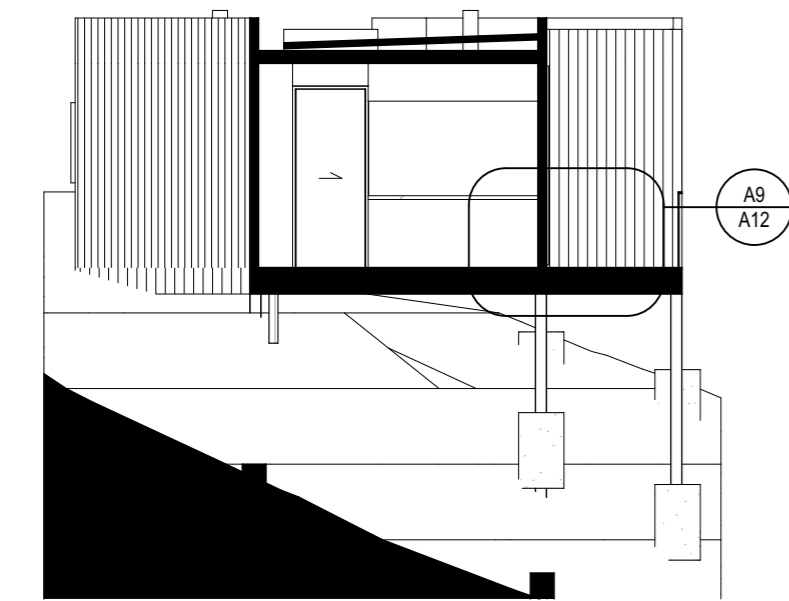
TITLE ELEVATIONS - SOUTH & WEST

DATE	SCALE	AS SHOWN @ A3
16/08/2019		
DESIGNED JR	JOB NUMBER N/A	
DRAWN JR	DRAWING NO.	REV NO.
CHECKED -	<b>A09</b>	

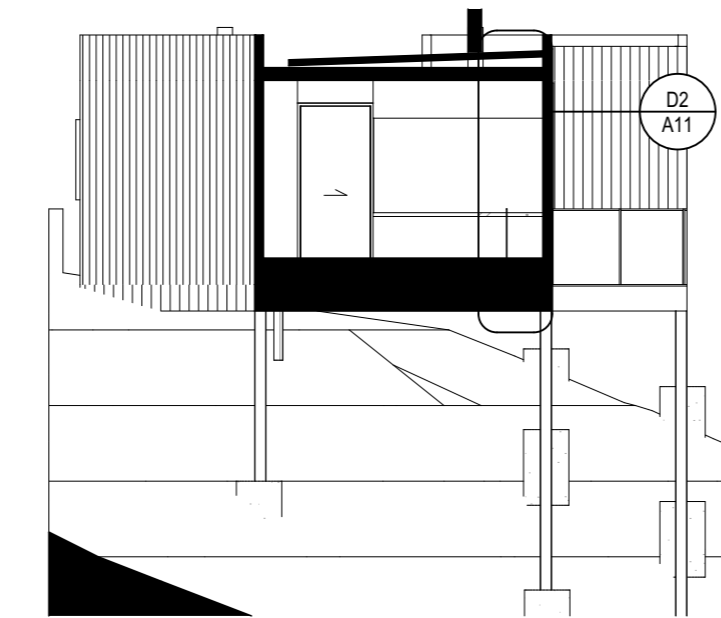
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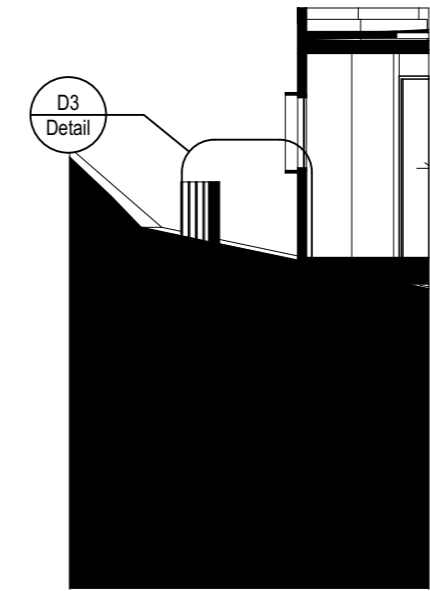
A-A SECTION A-A  
1:100



B-B SECTION B-B  
1:100



C-C SECTION C-C  
1:100



D-D SECTION D-D  
1:100



**FOR TENDER**  
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DATE	N.O.	REVISION	BY	CHECKED

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PROJECT NEW RESIDENCE  
28 DURIMBIL AVE  
WYE RIVER, VIC, 3234  
PROJECT NORTH  
TITLE SECTIONS & TYPICAL DETAILS

DATE	SCALE	AS SHOWN @ A3
16/08/2019	AS SHOWN @ A3	AS SHOWN @ A3
DESIGNED JR	JOB NUMBER N/A	JOB NUMBER N/A
DRAWN JR	DRAWING NO.	REV NO.
CHECKED -	A10	A10

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**RCP LEGEND**

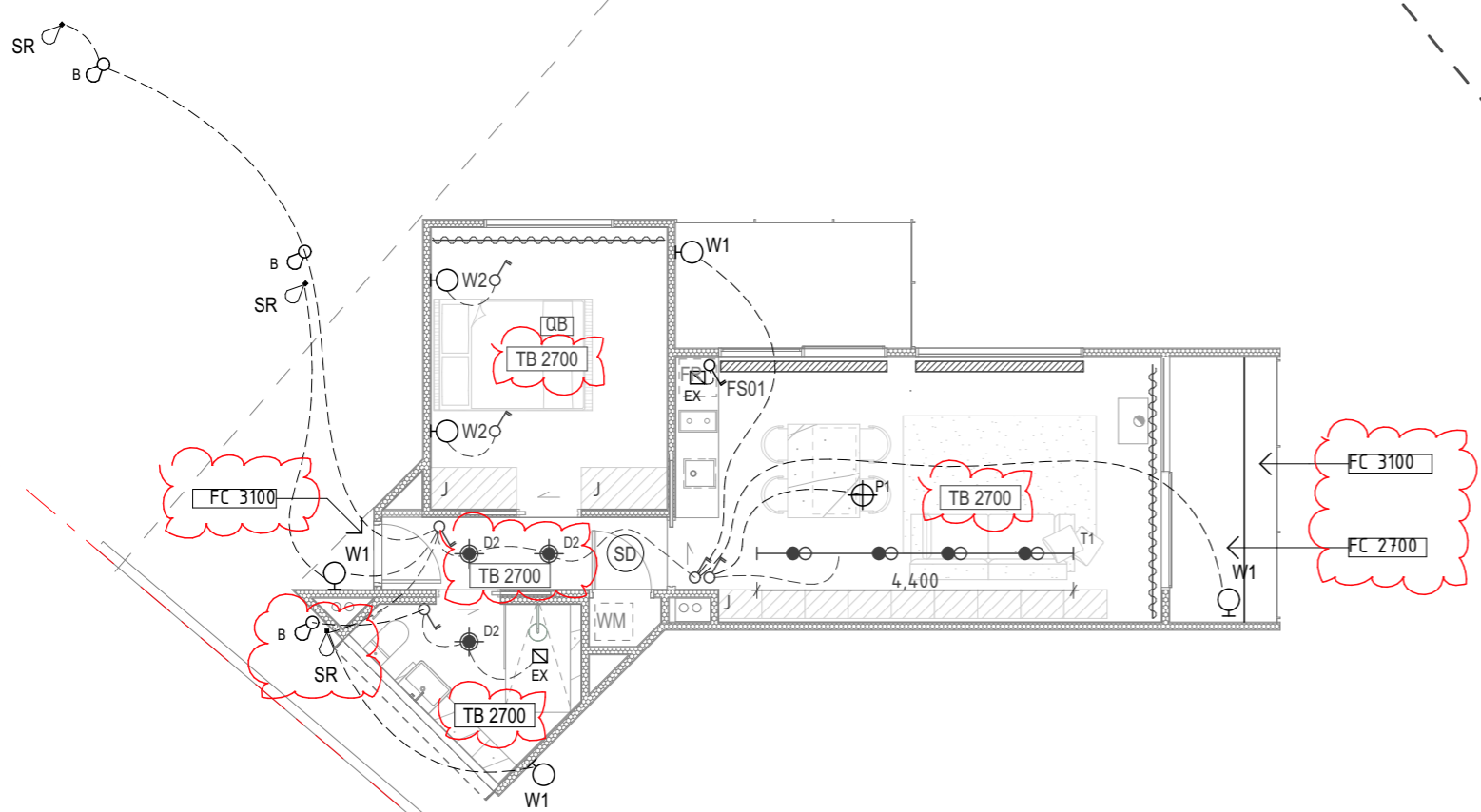
REFER LIGHTING SCHEDULE FOR FURTHER INFORMATION

	P1 PENDANT LIGHT FITTING - 6.5 WATTS	
	D1 DOWNLIGHT RECESSED LED	
	D2 DOWNLIGHT RECESSED LED - IP RATED	
	W/EXT WALL MOUNTED LIGHT FITTING	
	L1 LED STRIP LIGHTING - 2 WATTS	
	EX/RH EX EXHAUST FAN/RANGE HOOD	
	Light switch - 2 POLES. REFER TYPICAL SETOUT DETAIL & INTERIORS DOCUMENTATION	
	Light switch WITH DIMMER - 2 POLES. REFER TYPICAL SETOUT DETAIL & INTERIORS DOCUMENTATION	
	<b>CIRCUIT</b>	
	<b>CIRCUIT with DIMMER SWITCH:</b> NOTE: ARROW POINTS TO LOCATION OF DIMMER	
	SENSOR - CONNECT TO LIGHT FITTING AS INDICATED ON PLANS	
	PIR PASSIVE INFRA-RED SENSOR, CONNECT TO LIGHTING & EXHAUST SYSTEM AS NOTED ON PLANS. INCLUDE CUTOFF TIMER	
	SD SURFACE MOUNTED SMOKE ALARM, HARDWIRED, WITH BATTERY BACKUP	
	CF CEILING FAN TO OWNERS SELECTION	
	--- CENTRELINES	
	RB ROLLER BLIND TO WINDOW / DOOR REVEAL BY OWNER	
	--- CURTAIN - BY OWNER	
	FS FLYSCREEN	
	FS01 FLYSCREEN RETRACTABLE FREEDOM 'ZL2' MODEL	

**NOTE ON ENERGY USAGE**  
ALL LIGHTING MUST NOT EXCEED  
- 5W/m2 INTERNALLY  
- 4W/m2 TO BALCONIES, VERANDAHS & TERRACE  
- 3W/m2 TO GARAGE

**NOTE**  
ALL SMOKE ALARMS TO BE HARDWIRED IN ACCORDANCE WITH AS3786, AND INTERCONNECTED. ALL SMOKE ALARMS TO HAVE BATTERY BACKUP.

**NOTE: HOME AUTOMATION & ELECTRICAL CONTRACTOR TO CONFIRM**  
- SUITABLE WATTAGES & BEAM ANGLES BASED ON FITTING & PROPOSED LOCATION WITH ARCHITECT, PRIOR TO PURCHASE  
- DIMMABLE TRANSFORMER & HOME-AUTOMATION COMPATABILITY OF FITTING  
- ALL LIGHTS TO BE TESTED ON SITE, PRIOR TO FINAL ORDER FOR APPROVAL



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05/08/19 T2 REPRICING

DATE	N.O.	REVISION	BY	CHECKED

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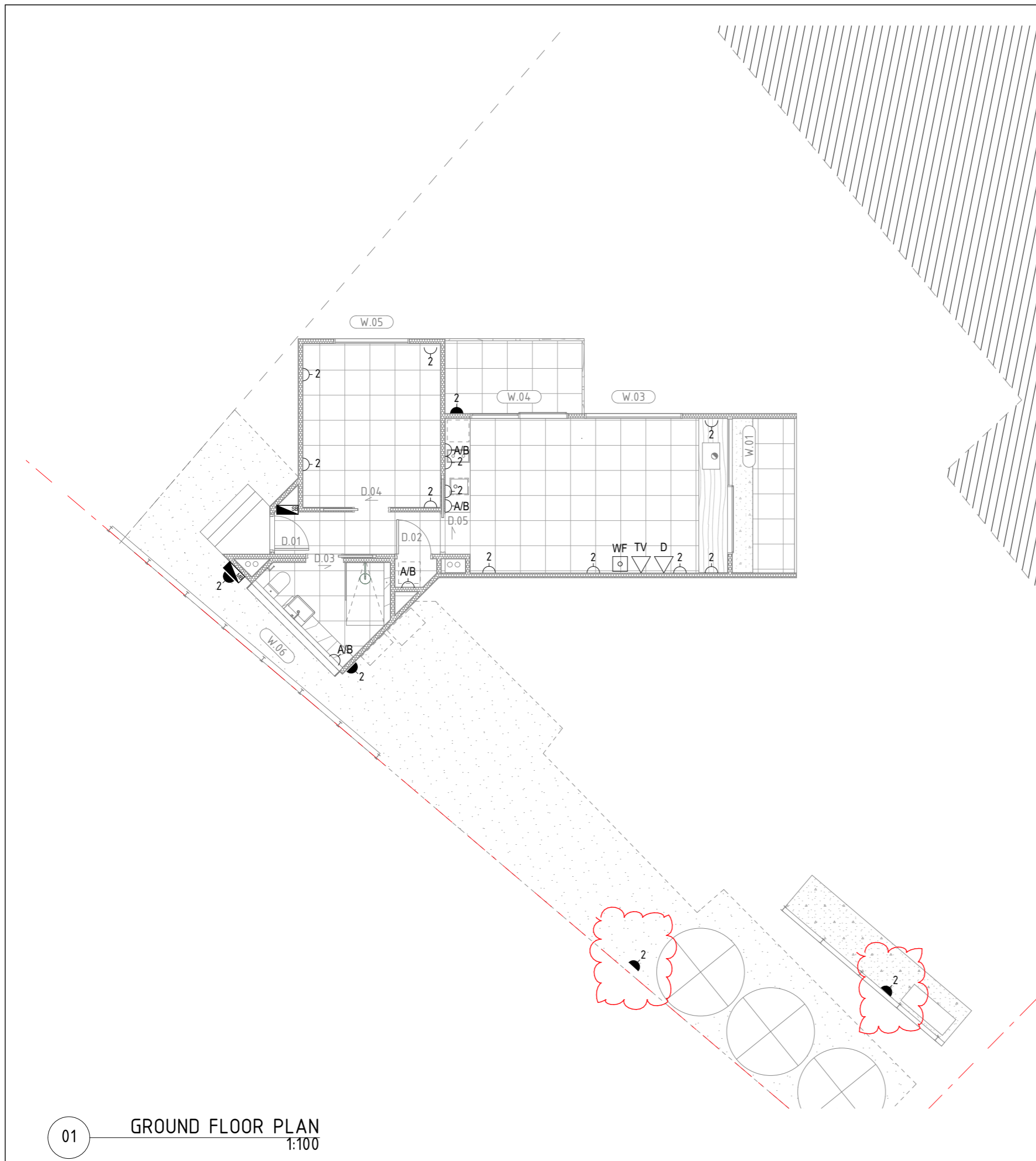
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PROJECT NEW RESIDENCE  
28 DURIMBIL AVE  
WYE RIVER, VIC, 3234  
PROJECT NORTH

TITLE REFLECTED CEILING PLAN











DATE	SCALE	AS SHOWN @ A3
16/08/2019		
DESIGNED JR	JOB NUMBER N/A	
DRAWN JR	DRAWING NO.	REV NO.
CHECKED -	<b>A13</b>	

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**POWER & DATA LEGEND**

REFER ELECTRICAL SCHEDULE FOR FURTHER INFORMATION

-  (800) 2 GANG GPO AS SPEC;  
TO CENTRE OF PLATE: 200mm AFFL - U.N.O. e.g. (xxx).  
**COORDINATE WITH INTERIORS DOCUMENTATION**
-  2 GANG GPO AS SPEC -  
A/B 100mm ABOVE BENCH; U/B 100mm BELOW BENCH U.N.O.  
**REFER INTERIORS DOCUMENTATION**
-  JOIN. 2 GANG GPO AS SPEC - WITHIN JOINERY UNIT.  
**REFER INTERIORS DOCUMENTATION**
-  APPLIANCE DEDICATED GPO FOR NOTED APPLIANCE OR SERVICE.  
HARD-WIRED AS REQUIRED. REFER TO ARCH'S SPECIFICATION & INTERIORS APPLIANCE SCHEDULE
-  EXTERNAL 2 GANG GPO AS SPEC (TO BOTTOM OF PLATE, 200mm AFFL and 100mm ABOVE BENCH TOPS - UNLESS NOTED OTHERWISE.
-  TV POINT
-  DATA / TELEPHONE POINT
-  SWITCHBOARD, SUB-BOARD OR ELECTRICAL INVERTER (FOR PV ARRAY)
-  ELECTRIC UNDERTILE FLOOR HEAT, SWITCHED BACK TO LIGHT SWITCH WITHIN ROOM. REFER ARCHITECT'S SPEC.
-  FB RECESSED FLOORBOX, REFER TO ARCH'S SPECIFICATION; FINISH TO COVER TO BE BRUSHED S/STEEL TO CONC FLOOR, & AS PER FLOOR FINISH FOR ALL OTHER FLOORS



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05/08/19 T2 REPRICING

DATE	N.O.	REVISION	BY	CHECKED

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PROJECT **NEW RESIDENCE**  
**28 DURIMBIL AVE**  
**WYE RIVER, VIC, 3234**

TITLE **ELECTRICAL/DATA PLAN**

DATE	SCALE	AS SHOWN @ A3
16/08/2019	AS SHOWN @ A3	AS SHOWN @ A3
DESIGNED JR	JOB NUMBER N/A	
DRAWN JR	DRAWING NO.	REV NO.
CHECKED -	<b>A14</b>	

01 GROUND FLOOR PLAN 1:100

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DOOR SCHEDULE					
Elevation					
Door ID	D.01	D.02	D.03	D.04	D.05
Frame Type	Aluminium	Timber	Pine/MDF	Pine/MDF	Pine/MDF
Frame Finish	Paint - PF03	Paint - PF03	Paint - PF03	Paint - PF03	Paint - PF03
Leaf Type	Solid Core	Hollow Core (Comp.)	Hollow Core (Comp.)	Hollow Core (Comp.)	Hollow Core (Comp.)
Leaf Finish	Aluminium Sheet (Ext) Paint - PF03 (Int.)	Aluminium Sheet (Ext) Paint - PF03 (Int.)	Paint - PF03	Paint - PF03	Paint - PF00
Glass	N/A	N/A	N/A	N/A	N/A
Hardware	Hinges By Builder Furniture Owner Select	Hinges By Builder Furniture Owner Select	Hardware By Builder Furniture Owner Select	Hardware By Builder Furniture Owner Select	Refer PC Schedule
Hinges	By Builder	Builder Select	Builder Select	Builder Select	Builder Select
Flywire	N/A	N/A	N/A	N/A	
Shutter	N/A	N/A	N/A		N/A
Notes					



WINDOW SCHEDULE						
Elevation						
Window ID	W.01	W.02	W.03	W.04	W.05	W.06
Frame Type	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium
Frame Suite	AWS Thermal Heart DGU	Capral Futureline 440 DGU	AWS Thermal Heart DGU	AWS Thermal Heart DGU	AWS Thermal Heart DGU	AWS Thermal Heart DGU
Frame Finish	Paint - PF01	Paint - PF01	Paint - PF01	Paint - PF01	Paint - PF01	Paint - PF01
Hardware	N/A	By Supplier	By Supplier	By Supplier	By Supplier	By Supplier
Furnishings	Yes - Supply by Owner.	Yes - Supply by Owner.	Yes - Supply by Owner.	Yes - Supply by Owner.	Yes - Supply by Owner.	Yes - Supply by Owner.
Flywire	Yes - By Supplier	N/A	N/A	Yes - By Supplier	Yes - By Supplier	Yes - By Supplier
Shutter	N/A	N/A	N/A	N/A	N/A	N/A
Glass	DGU - Clear Tough	DGU - Clear Tough	DGU - Clear Tough	DGU - Clear Tough	DGU - Clear Tough	DGU - Clear Tough

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05/08/19 T2 REPRICING

DATE NO. REVISION BY CHECKED

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PROJECT NEW RESIDENCE  
28 DURIMBIL AVE  
WYE RIVER, VIC, 3234  
PROJECT NORTH

TITLE WINDOW & DOOR SCHEDULE

DATE 16/08/2019 SCALE AS SHOWN @ A3  
DESIGNED JR JOB NUMBER N/A  
DRAWN JR DRAWING NO. REV NO.  
CHECKED - A15



# RE: FORM

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RESPONSE TO COUNCIL RFI (JUNE 19, 2019)  
RESCODE ASSESSMENT REPORT

**TO:**  
BERNADETTE MCGOVAN  
CONTRACT STATUTORY PLANNER  
COLAC OTWAY SHIRE

**DATE:**  
21 OCTOBER 2019

**DRAWINGS:**

TP.A00 – TITLE PAGE  
TP.A01 – DEMOLITION SITE PLAN  
TP.A02 – PROPOSED SITE PLAN  
TP.A03 – GROUND FLOOR PLAN  
TP.A04 – ROOF PLAN  
TP.A05 – SUBFLOOR PLAN  
TP.A06 – ELEVATIONS NORTH & EAST  
TP.A07 – ELEVATIONS SOUTH & WEST  
TP.A08 – FINISHES  
TP.A09 – SHADOW PLAN 0900 (SEPT 22)  
TP.A09 – SHADOW PLAN 1200 (SEPT 22)  
TP.A09 – SHADOW PLAN 1500 (SEPT 22)

**PROJECT:**  
PROPOSED SINGLE STOREY DWELLING AT  
28 DURIMBIL AVE, WYE RIVER  
FOR MR + MRS Z LUDOWYK & C VAN KORVEN

**FOR FURTHER INFORMATION:**

Jose M. Rodriguez  
M: +61 408 507 397  
E: jose@reformdesignlab.com.au

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**RESPONSE TO RFI: REV A**

**INTRODUCTION**

The proposal is for the construction of **one (1), Single-Storey Dwelling** at **28 Durimbil Avenue, Wye River**.

The property is located within a **Township Zone (TZ), Bushfire Management Overlay (BMO) Design and Development Overlay (DDO), Erosion Management Overlay (EMO), Neighbourhood Character Overlay (NCO) and Significant Landscape Overlay (SLO)**; the total site area is **1244m<sup>2</sup>**.

The property is in a **Designated Bushfire Prone** area.

The site is currently vacant with very sparse vegetation and features an existing concrete driveway.

The design response satisfies the State and Municipal policy frameworks, the purpose of the zone, and provides a design response suitable for the size, shape and context of the lot.

Please see attached plans, site and neighbourhood descriptions below, and the remainder of this Clause 54 Assessment.



***Site Photo/Existing Conditions*** at 28 Durimbil Ave. Wye River Looking South from Existing Driveway.

## NEIGHBORHOOD CHARACTER OVERLAY SITE RESPONSE

The proposed development site is located at 28 Durimbil Avenue, Wye River; the site is currently vacant.

Up until recently, the lot held a planning permit for the construction of one double-storey dwelling (PP64/2017-1).

The site is located within walking distance of the Great Ocean Road, and the Wye River Beach and commercial area.

The lot is rectangular in shape and slopes steeply from north west to south east, downwards into the valley, located beyond the rear of the site. The area is characterised as having mid-sized allotments typically 700m<sup>2</sup> to 1200m<sup>2</sup> in size. The neighbourhood character of the area is best described as emerging, as rebuilding occurs after the 2015 fires. The existing development on surrounding lots predominantly consists of detached, 2 storey single dwellings, of minimal material/bulk articulation

The existing building styles on neighbouring lots appears to be responding to the steep gradient of the land. Building materials present, typically consist of panelling, timber and Colorbond® materials. Most buildings are modern designs, with older dwellings that survived the fire scattered throughout. The neighbouring lots are generally well vegetated, with both well-established and emerging native varieties, interspersed with areas of vegetation removal due to building work and the recent bushfires.

Front setbacks in the surrounding area range between 4 to 20 metres. Roof forms in the neighbourhood predominantly consist of low pitching, constructed out of sheet metal materials. No front, side or rear fences are proposed. The lot boundaries feature sparse amounts of vegetation. The proposed dwelling will provide building materials that align with the existing character, using materials such as, Colorbond® wall cladding and clear glass that will be featured on balcony areas.

The design response shows that the development site can accommodate one small dwelling, with **a considerable reduction to the built-form, scale and footprint of the former planning permit (Refer below)**. The proposed design response balances and satisfies the desired coastal/holiday neighbourhood character, the restrictive site constraints/opportunities and the needs/comfort of future occupants.



**Former Planning Permit** (Elevations) for 28 Durinbil Ave. Wye River (pp64/2017-1 Images ©Greg Jones Partners.

## RESCODE – CLAUSE 54 REPORT

This summary relates to the standards listed in Clause 54 of ResCode and is to be read in conjunction with the listed drawings. A Planning Permit is triggered by Schedule 1 to the Neighbourhood Character Overlay.

### NEIGHBORHOOD CHARACTER:

#### 54.02-1 NEIGHBOURHOOD CHARACTER OBJECTIVE

See aforementioned.

A township brochure has not been developed for Wye River, however the **SCHEDULE 01 to THE NEIGHBOURHOOD CHARACTER OVERLAY** provide the following **Statement of Neighbourhood Character**:

*The existing and preferred character of the townships is characterized by buildings nestled within the often steep topography and the indigenous and native vegetation. The buildings sit below the tree canopy height, and there is sufficient space around them to accommodate substantial vegetation, as well as clearances required for wildfire management. The buildings are of varying low scale designs, but contain elements that respond to the coastal location including a predominance of non-masonry materials, metal roofing, balconies and transparent balustrades. Buildings typically have flat or single pitch roofs, and while often being two storey or split level, they do not dominate their surrounds. A lack of or transparent styles of fencing enables the vegetation to flow across boundaries and between the public and private domains, and roads with unmade edges add to the informal feel of the townships.*

The proposed design response is single storey, and of is of a considerably smaller footprint than many recently completed nearby homes. It's reduced setback, as per 26 Durimbil Ave, also improves the 'nestled' qualities which are sought after whilst the material finishes accord with the preferred material palette (non-masonry). The roof form is set at a low pitch to minimise bulk; the metal sheet roof is the preferred roof finish.

The general size, form and articulation of the proposed dwelling is respectful of the landscape, terrain and accords with the emerging local neighbourhood character (scale & form) and will make for an interesting contribution to the existing streetscape.



26 Durimbil Ave. Wye River (Web Source ArchDaily ©Paul Hermes)



28 Karingal Drive. Wye River (Web Source ArchDaily ©Tony Gorsevski)

#### 54.02-1 NEIGHBOURHOOD CHARACTER OBJECTIVE

See aforementioned.

The proposal complies with Standard A1.

#### 54.02-1 INTEGRATION WITH THE STREET OBJECTIVE

Material selection and built form, and is positioned 2m below the road level reducing the bulk and 'nestles' best into the steep terrain. The existing driveway (via the Road Reserve) provides clear, safe and practical site access.

The design response sympathetically integrates with properties in the surrounding neighbourhood and is harmonious with the existing streetscape; it can be said that the proposal is modest in scale and character and respectful of the landscape and street.

The dwelling is oriented towards the existing driveway, for clear vehicular and pedestrian access, and towards the South (the prominent sea views)

**The proposal complies with Standard A2.**

#### SITE LAYOUT AND BUILDING MASSING:

#### 54.03-1 STREET SETBACK OBJECTIVE

The proposed street setback for the new proposed dwelling is 1.0m (See **GROUND FLOOR PLAN**).

The dwelling layout varies the setback distances required of 7.0m (under NC01) and the previously approved planning permit and former dwelling. However, the setback is consistent with the recently built home at 26 Durimbil Ave (which features zero street setback). As site access will remain via the Existing Driveway (East), and the dwelling sited below the street level, the building will not be an imposition on the streetscape.

Should the setback be increased, it would significantly increase the building bulk and solar access to the hillside below.

Given the allotment shape and terrain, as well as the direction of the existing concrete driveway it is considered that this setback is both appropriate and consistent with the preferred neighbourhood character.

**The proposal seeks a variation to Standard A3.**

#### 54.03-2 BUILDING HEIGHT OBJECTIVE

The proposed dwelling is single-storey and considerably low in built form/scale than previously endorsed permits.

The maximum height of the design response is **9.1m** above natural ground level (Roof Ridge); this is approximately **1.7m** less than the approved planning permit but approximately **1.1m** above the requirement in the NC01 (8.0m Max. Height)

The proposed building height is compatible with the existing scale and character of adjoining dwellings and respects the prevailing neighbourhood character. It is also important to note that greater portion of the dwelling is under the 8.0m height limit despite the steep terrain.

**The proposal seeks a variation to Standard A4.**

#### 54.03-3 SITE COVERAGE OBJECTIVE

Please refer to **PROPOSED SITE CONDITIONS** and accompanying analysis for greater detail of calculations.

The subject site has an area of **1268m<sup>2</sup>** with a total proposed built coverage of **61m<sup>2</sup>** or **4.8%**; this is below the **permissible 20%**. The proposal is also a **reduction** from the formerly approved planning permit of **127.98m<sup>2</sup>** (**11.6%**).

**The proposal complies with standard A5.**

#### 54.03-4 PERMEABILITY OBJECTIVE

Please refer to **LANDSCAPE PLAN** and accompanying analysis for greater detail of calculations.

The proposed permeable surface is **1166m<sup>2</sup>** (**92%**) – **this is above the 20% minimum requirement.**

Impermeable paving/concrete has been used in areas requiring safe access/egress without compromising stormwater infiltration and landscaping opportunities.

**The proposal complies with standard A6.**

#### 54.03-5 ENERGY EFFICIENCY OBJECTIVES

The development site has a East-West axis. The proposed dwelling has been designed with consideration to natural daylight access, solar energy, prevailing winds (cross-ventilation) with potential for rainwater catchment/retention.

The design response maximises natural daylight to internal living spaces. The design response does not reduce the energy efficiency potential of adjoining properties.

The design response has achieved a 6 Star Energy Assessment (supplied) in accordance with Building Code requirement for new dwellings to ensure that mandatory Energy Efficient objectives can be met.

**The proposal complies with Standard A7.**

**54.03-6 SIGNIFICANT TREES OBJECTIVE**

No proposed changes to existing Trees are proposed.

**The proposal complies with Standard A8.**

**AMENITY IMPACTS:**

**54.04-1 SIDE AND REAR SETBACKS OBJECTIVES**

The design proposal is set back more than 3.0m from Side Boundaries

The design proposal is set back more than 5.0m from Rear Boundary

The design proposal is setback from the side or rear boundary a minimum of 3 or 5 metres as required above, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.

**The proposal complies with Standard A10.**

**54.04-2 WALLS ON BOUNDARIES OBJECTIVE**

No walls-on-boundaries are proposed.

**The proposal complies with Standard A11.**

**54.04-3 DAYLIGHT TO EXISTING WINDOW OBJECTIVE**

Daylight to all existing windows will be maintained.

**The proposal complies with Standard A12.**

**54.04-4 NORTH-FACING WINDOWS OBJECTIVE**

There will be no change to the amount of sunlight received by the north facing windows of the adjoining dwellings.

**The proposal complies with Standard A13.**

**54.04-5 OVERSHADOWING OPEN SPACE OBJECTIVE**

Please refer to **SHADOW STUDY** for greater detail of the overshadowing effects of the development on neighbouring open space. The diagrammatic study indicates that the proposal will not cause detrimental overshadowing effects on any of the adjacent dwellings *private open space* or *habitable rooms*.

**The proposal complies with Standard A14.**

**54.04-6 OVERLOOKING OBJECTIVE**

No windows with potential for overlooking are proposed (Habitable Windows/Rooms are located 9.0m+ from Side Setback)

**The proposal complies with standard A15.**

**ON-SITE AMENITY AND FACILITIES:**

**54.05-1 DAYLIGHT TO NEW WINDOWS OBJECTIVE**

All new habitable rooms are provided with windows that have access to more than the minimum of clear sky area prescribed in objective A16.

**The proposal complies with Standard A16**

**54.05-2 PRIVATE OPEN SPACE OBJECTIVE**

Approximately 1166m<sup>2</sup> of land that is available as secluded private open space.

**The proposal complies with Standard A17**

**54.05-3 SOLAR ACCESS TO OPEN SPACE OBJECTIVE**

Please refer to **SHADOW DIAGRAM** for the detailed analysis of solar access to the open spaces at various times throughout the day. The proposed open spaces are located to the North, East and West; the dwelling will receive uninterrupted north sunlight to the proposed *Private Open Space*.

**The proposal complies with Standard A18.**

#### **DETAILED DESIGN:**

##### **54.06-1 DESIGN DETAIL OBJECTIVE**

The design of the proposed dwelling includes the following design details that are consistent with the preferred and existing neighbourhood character:

- Minimal Façade articulation (consistent with majority of existing homes); a combination of lightweight timber cladding.
- Window and door proportions consistent with preferred neighbourhood character.
- Gable Building Form (23), consistent with newer and dwellings and appropriate for the proposed dwelling size.
- Corrugated Roof at Low Roof Pitch (12° and).

Please refer to **ELEVATIONS** for greater sense of design detail.

**The proposal complies with Standard A19.**

##### **54.06-2 FRONT FENCES OBJECTIVE**

No front fence is proposed.

**Standard A20 is inapplicable**

#### **CONCLUSION/RECOMMENDATION**

The design response shows that the proposed development site has the ability to support a single -storey dwelling without detrimental effect to the amenity of the neighbourhood character or adjoining properties.

The proposal meets all of the relevant objectives of Clause 54 and Schedule to NCO with minimal variation to the standards, given the site constraints.

**The design response is a suitable development proposal which balances the desired neighbourhood character, the site constraints & opportunities and the needs & comfort of future occupants.**



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