

PP71/2019-1

29 Surf Avenue SKENES CREEK

Lot: 1 TP: 179333 V/F: 9144/434

Construction of a Double Storey dwelling

Kris Thomas Building Design & Drafting Services

Officer - Helen Evans

EXHIBITION FILE

This document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.

Submissions to this planning application will be accepted until a decision is made on the application.

If you would like to make a submission relating to a planning permit application, you must do so in writing to the Planning Department



60 Noel Street Apollo Bay, Victoria, 3233.

Ph: 0352377427 Email: kris@ktbuildingdesign.com.au
Fax: 0352377272 Web: www.ktbuildingdesign.com.au

1 April 2019

Planning Department
Colac Otway Shire
PO Box 283
COLAC, VIC 3250

Dear Relevant Planner,
Please find enclosed a planning permit application and supporting information for the proposed dwelling at 29 Surf Avenue, Skenes Creek.

Credit card payment form for the planning permit application fee of \$1358.30 enclosed.

I trust you will find the above information to your satisfaction but please do not hesitate to contact me on ☎ 52377427 if you require any additional information.

Yours sincerely

Kris Thomas

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'Information' to accompany the planning permit application for proposed dwelling.

PROPERTY: 29 Surf Avenue, Skenes Creek

1 ADDITIONAL INFORMATION CHECKLIST

Documents attached to support the application for planning permit include:

DOCUMENT NAME	DATE
Information (this document)	1/04/2019
Application for a planning permit form	1/04/2019
3 copies of set of 6 design drawings, prepared by Kris Thomas Building Design & Drafting Services comprising: 1. Neighbourhood and Site Description Plan - @ 1:200 2. Design Response Site Plan - @ 1:200 3. Lower Floor Plan - @ 1:100 4. Upper Floor Plan - @ 1:100 5. Elevations 1 - @ 1:100 6. Elevations 2 - @ 1:100	1/04/2019
Planning Property Report	1/05/2018
Certificate of Title, Lot 1 Plan of Subdivision 719333 Vol. 09144 Fol. 434	Search current as at 1/04/2019
Geotechnical Assessment Report by St Quentin	April 2019
Plan of Features and Levels Survey by Ah & LJ Jeavons Land surveyors	7/06/2018

2 APPLICATION

The Applicant for planning permit, is Kris Thomas of Kris Thomas Building Design & Drafting Services, 60 Noel Street, Apollo Bay 3233. (mob. 0455 865 402, email kris@ktbuildingdesign.com.au)

The owners of the land 29 Surf Avenue, Skenes Creek are Edward and Anne Moran of 42 Corhampton Road, Balwyn North 3104 Victoria.

Existing conditions

The 617 square meter site is vacant and is clear of significant vegetation. The site slopes downward from the front of the block to the rear, with views from the rear to the sea. Minor native garden vegetation is located to the front and rear of the property. The adjoining properties both contain existing dwellings.

Proposal

The proposed works consist of a new double storey dwelling with associated garage, deck and balcony.

No significant vegetation is to be removed to accommodate the proposed dwelling.

3 PLANNING CONTROLS

Zone: Township Zone

Overlays:

- Bushfire Management Overlay (Schedule 1)
- Design Development Overlay (Schedule 4)
- Erosion Management Overlay (Schedule 1)
- Neighbourhood Character Overlay (Schedule 1)
- Significant Landscape Overlay (Schedule 2)

Aboriginal Cultural Heitage Sensitivity

TOWNSHIP ZONE

The proposed dwelling is considered to be consistent with the purpose of the zone. The works are compliant with the objectives of Clause 54, refer to Design Response Site Plan and drawings for details.

OVERLAYS

BUSHFIRE MANAGEMENT OVERLAY

A permit is required to construct a building or carry out works, the dwelling is to be constructed to BAL-12.5, defensible space is to be provided around the dwelling to the property boundary, a static water supply and vehicle access is to be provided in accordance with the overlay requirements.

DESIGN AND DEVELOPMENT OVERLAY

A permit is not required to construct a building or carry out works.

EROSION MANAGEMENT OVERLAY

A permit is required to construct a building or carry out works, refer to the Geotechnical Assessment Report prepared for the site.

NEIGHBOURHOOD CHARACTER OVERLAY

The proposed dwelling is compliant with the objectives of the Neighbourhood Character Overlay and the objectives of Clause 54. The proposed works are also compliant with the modified Standards of Clause 54 apart from Standard A5 Site Coverage and Standard A10 Side and Rear Setbacks.

The proposed site coverage is 27.9% which is 2.9% greater than that prescribed. The side setbacks are 3.0m minimum on the south-western side and 3.18m on the north-eastern side, with an encroachment of 1.0m maximum (approx.) on the north eastern side at the lower extent of the site. The variations to the modified standards are considered reasonable given that the variations are relatively minor and there is expected to be minimal impact to the amenity of the adjoining properties, whilst maintaining a spacious open character consistent with the existing neighbourhood character. Refer to Design Response Site Plan and drawings for details.

SIGNIFICANT LANDSCAPE OVERLAY

No significant native vegetation is to be removed to accommodate the proposed dwelling. Existing site vegetation conditions are to remain unaltered.

ABORIGINAL CULTURAL HERITAGE SENSITIVITY

The development works are considered to be not of a high impact activity and to not require by the regulations a Cultural Heritage Management Plan.

CONCLUSION & RECOMMENDATION

The proposal is considered to have addressed the relevant Planning Scheme considerations. We therefore recommend favourable consideration of the proposed dwelling on the bases of the information provided within this report.

I trust you will find the above information to your satisfaction but please don't hesitate to contact me on 52377427 if you require any additional information.

Regards

Kris Thomas

SITE PHOTOGRAPHS



Photograph 1 Aerial image of subject site (Google Earth)



Photograph 2 View to subject site from street



Photograph 3 View to northeast adjoining property from street



Photograph 4 View to southwest adjoining property from street

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Photograph 5 View to rear from within subject site



Photograph 6 View to front from within subject site



Planning Enquiries
 Phone: (03) 5232 9400
 Email: inq@colacotway.vic.gov.au
 Web: www.colacotway.vic.gov.au

Clear Form

Office Use Only

VicSmart?

Specify class of VicSmart application:

Application No.:

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Date Lodged:

Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the back of this form.

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

⚠ Questions marked with an asterisk (*) must be completed.

⚠ If the space provided on the form is insufficient, attach a separate sheet.

i Click for further information.

Application Type

Is this a VicSmart application?*

No Yes

If yes, please specify which VicSmart class or classes:.....

⚠ If the application falls into one of the classes listed under Clause 92 or the schedule to Clause 94, it is a VicSmart application.

Pre-application Meeting

Has there been a pre-application meeting with a Council planning officer?

No Yes

If 'Yes', with whom?:

Date:

day / month / year

The Land **i**

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:

St. No.: 29

St. Name: Surf Avenue

Suburb/Locality: Skenes Creek

Postcode: 3233

Formal Land Description *

Complete either A or B.

⚠ This information can be found on the certificate of title

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A

Lot No.: 1

Lodged Plan

Title Plan

Plan of Subdivision

No.: 179333

OR

B

Crown Allotment No.:

Section No.:

Parish/Township Name:

The Proposal

⚠ You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

i For what use, development or other matter do you require a permit? *

Single dwelling

Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

i Estimated cost of any development for which the permit is required *

Cost \$750000

⚠ You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within **metropolitan Melbourne** (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy **must** be paid to the State Revenue Office and a current levy certificate **must** be submitted with the application. Visit www.sro.vic.gov.au for information.

Existing Conditions **i**

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Vacant site

Provide a plan of the existing conditions. Photos are also helpful.

Title Information **i**

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

Applicant and Owner Details i

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Name:		
Title: Mr	First Name: Kris	Surname: Thomas
Organisation (if applicable): Kris Thomas Building Design & Drafting Services		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.: 60	St. Name: Noel Street
Suburb/Locality: Apollo Bay	State: Vic	Postcode: 3233

Please provide at least one contact phone number *

Contact information for applicant OR contact person below	
Business phone: 52377427	Email: kris@ktbuildingdesign.com.au
Mobile phone: 0455 865 402	Fax:

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Contact person's details*		Same as applicant <input checked="" type="checkbox"/>
Name:		
Title:	First Name:	Surname:
Organisation (if applicable):		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.:	St. Name:
Suburb/Locality:	State:	Postcode:

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:		Same as applicant <input type="checkbox"/>
Title: Mr & Mrs	First Name: Edward & Anne	Surname: Moran
Organisation (if applicable):		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.: 42	St. Name: Corhampton Road
Suburb/Locality: Balwyn North	State: Vic	Postcode: 3104
Owner's Signature (Optional):	Date:	
	day / month / year	

Information requirements

Contact Council's planning department to discuss the specific requirements for his application and obtain a planning permit checklist.

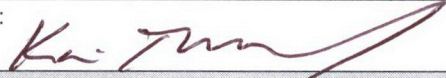
Is the required information provided?

Yes No

Declaration i


This form must be signed by the applicant *


⚠ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.	
Signature: 	Date: 1/04/2019
	day / month / year

Checklist

Have you:

<input checked="" type="checkbox"/>	Filled in the form completely?
<input checked="" type="checkbox"/>	Paid or included the application fee?
	Provided all necessary supporting information and documents? <ul style="list-style-type: none"> <input checked="" type="checkbox"/> A full, current copy of title information for each individual parcel of land forming the subject site. <input checked="" type="checkbox"/> A plan of existing conditions. <input checked="" type="checkbox"/> Plans showing the layout and details of the proposal. <input checked="" type="checkbox"/> Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist. <input type="checkbox"/> If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts) <input type="checkbox"/> If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void
<input checked="" type="checkbox"/>	Completed the relevant council planning permit checklist?
<input checked="" type="checkbox"/>	Signed the declaration above?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

Need help with the Application?

If you need help to complete this form, read More Information at the end of this form.

For help with a VicSmart application see Applicant's Guide to Lodging a VicSmart Application at www.planning.vic.gov.au

General information about the planning process is available at www.planning.vic.gov.au

Assistance can also be obtained from Council's planning department.

Lodgement

Lodge the completed and signed form, the fee and all documents with:

Colac Otway Shire
PO Box 283
Colac VIC 3250
2-6 Rae Street
Colac VIC 3250

Contact information

Phone: (03) 5232 9400
Email: inq@colacotway.vic.gov.au

Deliver application in person, by post or by electronic lodgement.



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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958 Page 1 of 1

VOLUME 09144 FOLIO 434

Security no : 124076815795Y
Produced 01/04/2019 12:27 PM

LAND DESCRIPTION

Lot 1 on Title Plan 179333H.
PARENT TITLE Volume 08760 Folio 111
Created by instrument F877909 30/09/1975

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors

EDWARD PATRICK AQUINAS MORAN
MARGARET ANNE MORAN both of 42 CORHAMPTON ROAD BALWYN NORTH VIC 3104
AR042812D 22/05/2018

ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT P791395K 21/11/2001

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP179333H FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 29 SURF AVENUE SKENES CREEK VIC 3233

DOCUMENT END



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Document Type	Plan
Document Identification	TP179333H
Number of Pages (excluding this cover sheet)	1
Document Assembled	01/04/2019 13:00

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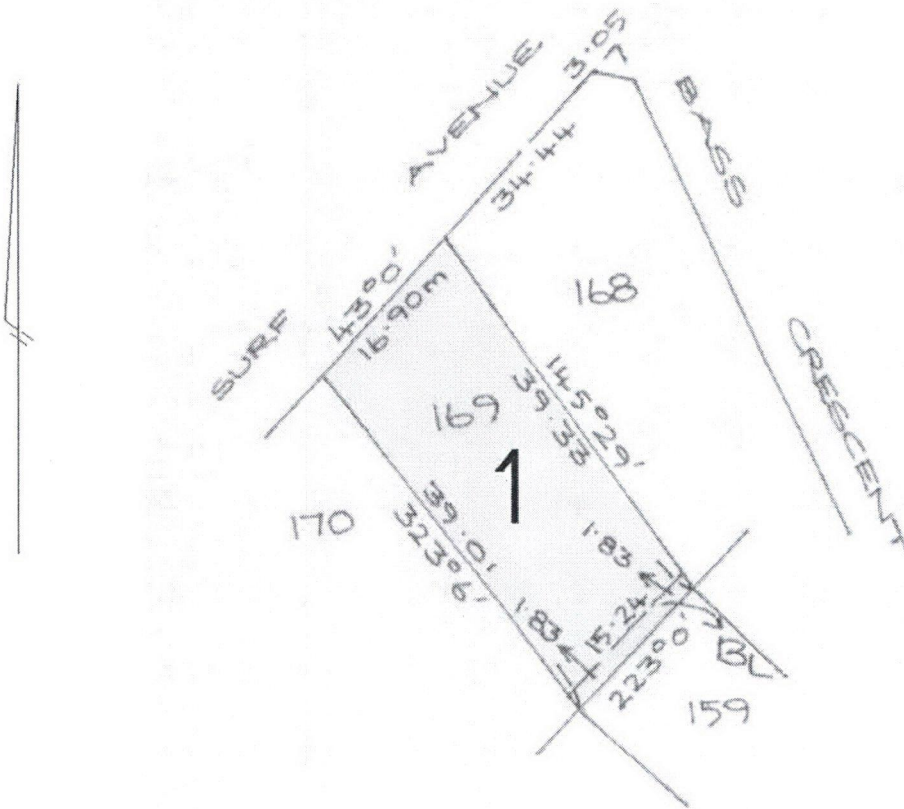
TITLE PLAN		EDITION 1	TP 179333H
Location of Land Parish: KRAMBRUK Township: Section: Crown Allotment: Crown Portion:		Notations ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN	
Last Plan Reference: LP 51921 Derived From: VOL 9144 FOL 434 Depth Limitation: NIL			

Description of Land / Easement Information

ENCUMBRANCES REFERRED TO

As to the land coloured blue - - - - -
THE EASEMENTS (if any) existing over the same by virtue of Section 98 of the - - -
 Transfer of Land Act - - - - -

THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT
 COMPILED: 07/10/1999
 VERIFIED: AA



COLOUR CODE
 BL = BLUE

TABLE OF PARCEL IDENTIFIERS
WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962
PARCEL 1 = LOT 169 ON LP 51921



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Document Type	Instrument
Document Identification	P791395K
Number of Pages (excluding this cover sheet)	3
Document Assembled	01/04/2019 13:00

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Titles Office Use Only

REGD

02/01/19 45 49 P791395K
P791395K

Lodged at the Titles Office by

G.S. BAKER

Code 0444K

VICTORIA

TRANSFER OF LAND

Subject to the encumbrances affecting the land including any created by dealings lodged for registration prior to the lodging of this instrument the transferor for the consideration expressed at the request and by the direction of the directing party (if any) transfers to the transferee the estate and the interest specified in the land described together with any easement hereby created and subject to any easement hereby reserved or restrictive covenant herein contained or covenant created pursuant to statute and included herein. (Notes 1-4)

Land (Note 5)

Certificate of Title Volume 9144 Folio 434

Consideration (Note 6)

FORTY NINE THOUSAND FIVE HUNDRED DOLLARS (\$49,500.00)

STAMP DUTY VICTORIA
WF01041 5#1 14054013 000,000.00 00.00
34123751 D544 \$961.00

Transferor (Note 7)

GRACE HELENA BUCHANAN

Transferee (Note 8)

JURIAN YARAK ROZYCKI and PAMELA CHERIE WEBSTER
both of 14 Skyline Drive, Keilor

Estate and Interest (Note 9)

All her estate and interest in the fee simple

Directing Party (Note 10)

not applicable

Creation (or Reservation) of Easement and/or Covenant (Notes 11-12)

see over.....

461
988
1
49500
Computer of Stamps Use Only

T2 Office Use Only



A memorandum of the within instrument has been entered in the Register Book



any open balcony which forms part of any dwelling erected on the said lot hereby transferred.

And this Covenant shall be endorsed on the Certificate of Title for the said Lot and run with the land

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Enlarged Reproduction of Instrument No: P791395K



Measurements are in meters
Moz To Scout.

Date 8.5.90 170

(Note 13)

Execution and Attestation

(Note 14)

SIGNED by the TRANSFEROR in Victoria in the presence of:

G.H. Buchanan

SIGNED by the TRANSFEREES in Victoria in the presence of:

E. Paternis
A. Paternis

Carol Ruysh
P. Webster

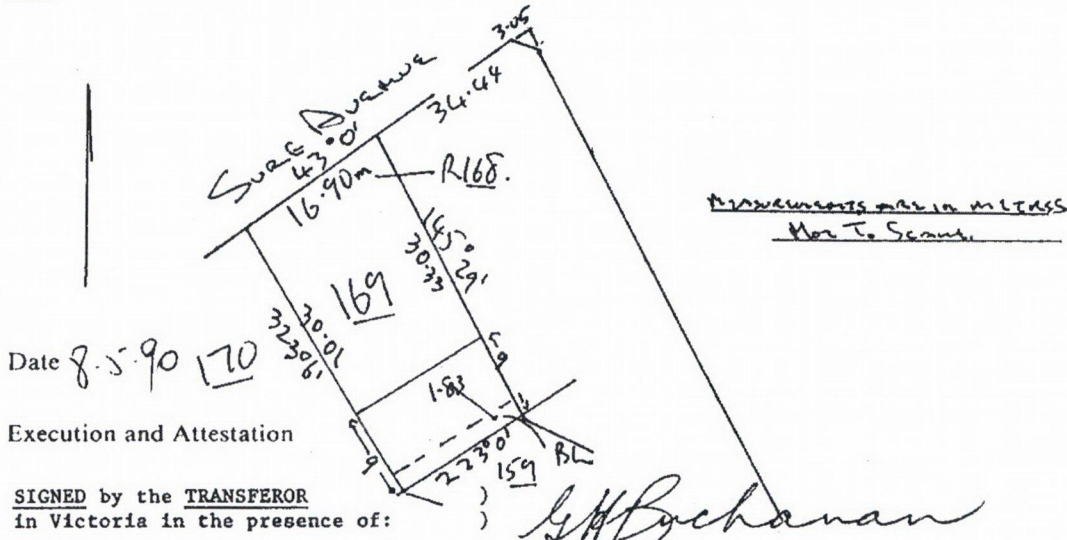
Dated the 6th of April 1990

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COVENANT

"and the said JURIAN YARAK ROZYCKI and PAMELA CHERIE WEBSTER with the intent that the benefit of this Covenant shall be attached to and run at law and in equity with Lot 168 on Plan of Subdivision No. 51921 Parish of Krambruck more particularly described in Certificate of Title Volume 8800 Folio 251 or any part thereof and that the burden of this Covenant shall be annexed to and run at law and in equity with Lot 169 on Plan of Subdivision No. 51921 Parish of Krambruck more particularly described in Certificate of Title Volume 9144 Folio 434 DO HEREBY for themselves, their transferees, executors, administrators and assigns and as separate covenants COVENANT with the said Transferor and her transferees successors and assigns or other the registered proprietor or proprietors for the time being of the said Lot 168 that the said transferees their transferees executors, administrators and assigns shall not erect any building on that portion of the said Lot 169 and delineated and coloured red and blue on the plan endorsed hereon save and except any open balcony which forms part of any dwelling erected on the said Lot hereby transferred.

And this Covenant shall be endorsed on the Certificate of Title for the said Lot and run with the land



Date 8.5.90 170

(Note 13)

Execution and Attestation

(Note 14)

SIGNED by the TRANSFEROR
in Victoria in the presence of:

G.H. Buchanan

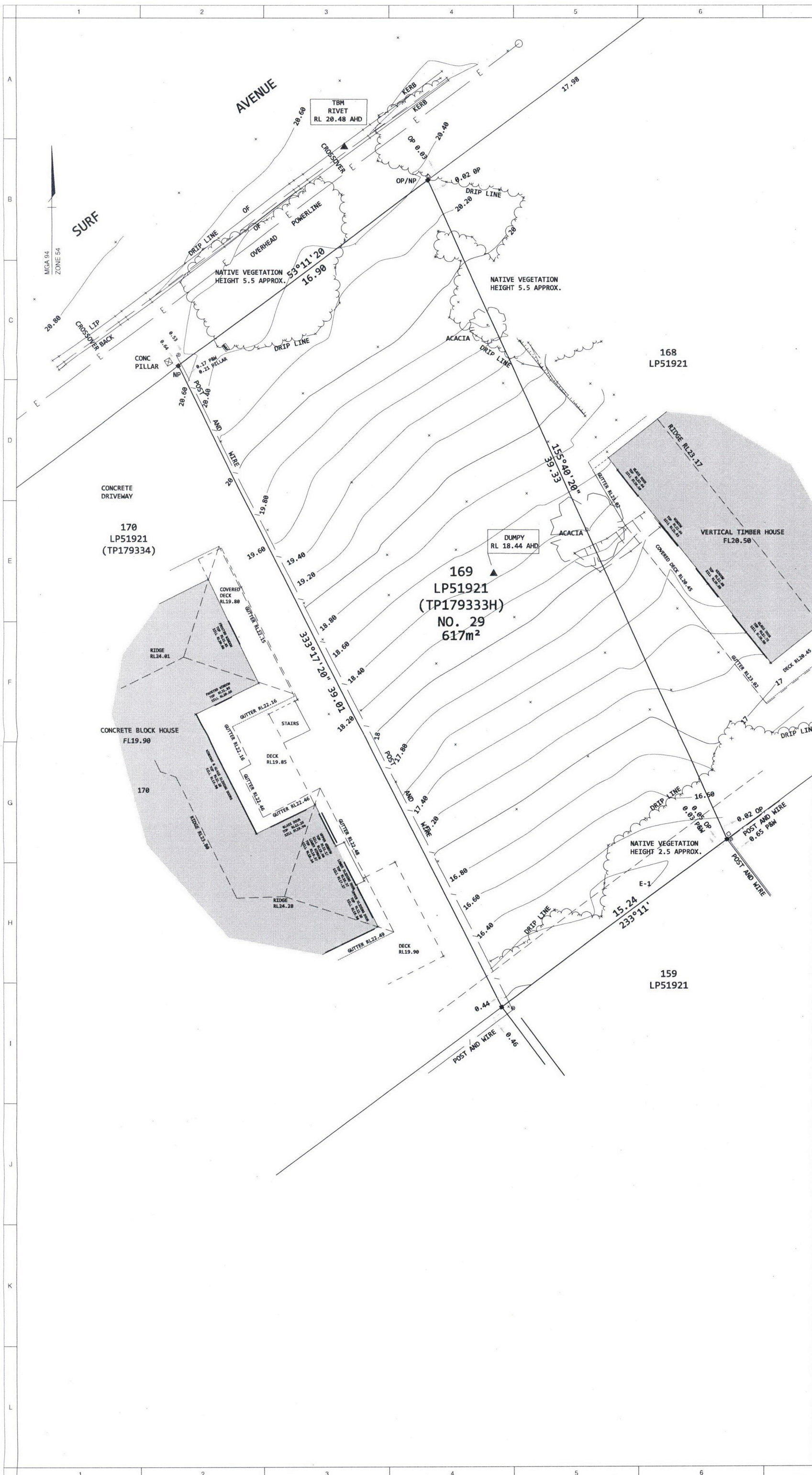
SIGNED by the TRANSFEREES
in Victoria in the presence of:

E. Paterson
: *A. Paterson*

Carol Ryepl.
Webster

Dated the 6th of April 1990

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LEGEND

○	GENERAL		TOP OF BANK
○	WATTLE	----	TOE OF BANK
○	FERN	----	CHG OF GRADE
○	EUCALYPT	----	TREES
○	BLACKWOOD	----	SHRUBS
○	STUMP	----	OH ELEC
○	FRUIT	----	UG ELEC
○	CYPRESS	----	OH TELCO
○	PINE	----	UG TELCO
○	FENCE	----	FENCE
□	GRATED PIT		
○	SEWER PIT		
○	WATER MAIN		
○	FIRE HYDRANT		
○	OP		OLD PEG
○	NP		NEW PEG
○	WS		WINDOW SILL
○	FL		FLOOR LEVEL
○	IL		INVERT LEVEL

14/06/2018	CREATED	01	TJ
DATE		V	CH

DRAWING HISTORY & AMENDMENTS

NOTATIONS
LAND SUBJECT TO EASEMENT: E-1 DRAINAGE & SEWERAGE 1.83 WIDE WIDE LPS1921 DATUM FOR LEVELS IS IN TBM RIVET IN KERB WITH AN AHD LEVEL VALUE OF 20.48 VIA GPS CONNECTION TO THE VIGOR GEOD DATUM
BOUNDARIES ARE NOT FENCED UNLESS STATED OTHERWISE
BOUNDARY POSITION IS THE RESULT OF THIS SURVEY
CONTOUR INTERVAL IS 0.20 METRES

DISCLAIMER
THIS SURVEY PLAN HAS BEEN PREPARED FOR THE PURPOSE OF EXCLUSIVE USE OF PRIVATE WORKS. ANY OTHER PERSONS WHO USE OR CLIP IT IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF AH & LJ JEAVONS LAND SURVEYORS GROUP IS AT THEIR OWN RISK. THE ACCURACY OF THIS SURVEY PLAN IS GUARANTEED TO THE BEST OF OUR KNOWLEDGE AND BELIEF. WE DO NOT WARRANT THE ACCURACY OF THIS SURVEY PLAN FOR ANY OTHER PURPOSES. THE USER OF THIS SURVEY PLAN IS RESPONSIBLE FOR OBTAINING NECESSARY SERVICES AND INFORMATION FROM OTHER SOURCES. THE USER OF THIS SURVEY PLAN IS RESPONSIBLE FOR OBTAINING NECESSARY SERVICES AND INFORMATION FROM OTHER SOURCES. THE USER OF THIS SURVEY PLAN IS RESPONSIBLE FOR OBTAINING NECESSARY SERVICES AND INFORMATION FROM OTHER SOURCES.

SURVEYOR	AHJ	PLAN REFERENCE
SURVEY DATE	07/06/0018	1120FSV01-1

AH & LJ JEAVONS LAND SURVEYORS
South West Survey Group
m. 0430 401 954 f. 0261 2971 e. 0261 3881
14 Ocean Boulevard, Jan Jans, VIC 3228
lunj@jeavons.com.au www.jeavons.com.au

PLAN OF FEATURE & LEVEL SURVEY

COUNTY: POLWARTH
PARISH: KRAMBRUK
SECTION: 3
CROWN ALLOTMENT: 7 (PART)
ADDRESS: 29 SURF AVENUE, SKENES CREEK VIC. 3233

SCALE	ORIGINAL	SURVEYORS REFERENCE
1:100	SHEET SIZE	1120FS
LENGTHS ARE IN METRES	A1	SHEET 1 OF 1

Planning Property Report

from www.planning.vic.gov.au on 01 May 2018 09:33 AM

Address: 29 SURF AVENUE SKENES CREEK 3233

Lot and Plan Number: Lot 1 TP179333

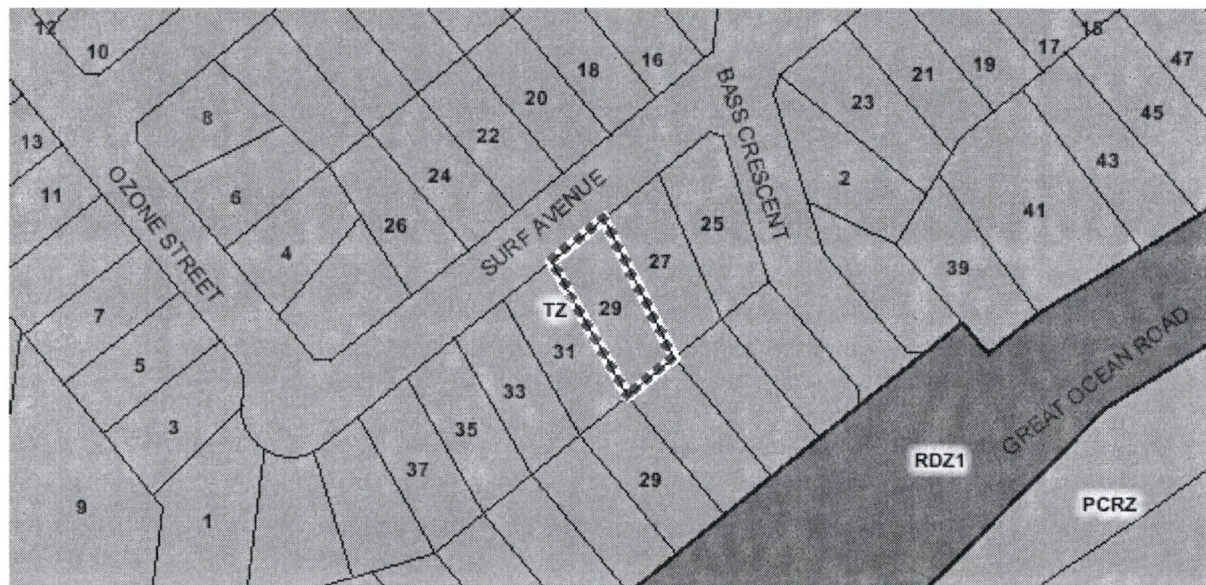
Local Government (Council): COLAC OTWAY Council Property Number: 20222

Directory Reference: VicRoads 519 N11

Planning Zone

TOWNSHIP ZONE (TZ)

SCHEDULE TO THE TOWNSHIP ZONE (TZ)



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0 60m

Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

Zones Legend

ACZ - Activity Centre	IN1Z - Industrial 1	R1Z - General Residential
B1Z - Commercial 1	IN2Z - Industrial 2	R2Z - General Residential
B2Z - Commercial 1	IN3Z - Industrial 3	R3Z - General Residential
B3Z - Commercial 2	LDRZ - Low Density Residential	RAZ - Rural Activity
B4Z - Commercial 2	MUZ - Mixed Use	RCZ - Rural Conservation
B5Z - Commercial 1	NRZ - Neighbourhood Residential	RDZ1 - Road - Category 1
C1Z - Commercial 1	PCRZ - Public Conservation & Resource	RDZ2 - Road - Category 2
C2Z - Commercial 2	PDZ - Priority Development	RGZ - Residential Growth
CA - Commonwealth Land	PPRZ - Public Park & Recreation	RLZ - Rural Living
CCZ - Capital City	PUZ1 - Public Use - Service & Utility	RUZ - Rural
CDZ - Comprehensive Development	PUZ2 - Public Use - Education	SUZ - Special Use
DZ - Dockland	PUZ3 - Public Use - Health Community	TZ - Township
ERZ - Environmental Rural	PUZ4 - Public Use - Transport	UFZ - Urban Floodway
FZ - Farming	PUZ5 - Public Use - Cemetery/Crematorium	UGZ - Urban Growth
GRZ - General Residential	PUZ6 - Public Use - Local Government	-- Urban Growth Boundary
GWAZ - Green Wedge A	PUZ7 - Public Use - Other Public Use	
GWZ - Green Wedge	PZ - Port	

Railway	Tram	River, stream	Lake, waterbody
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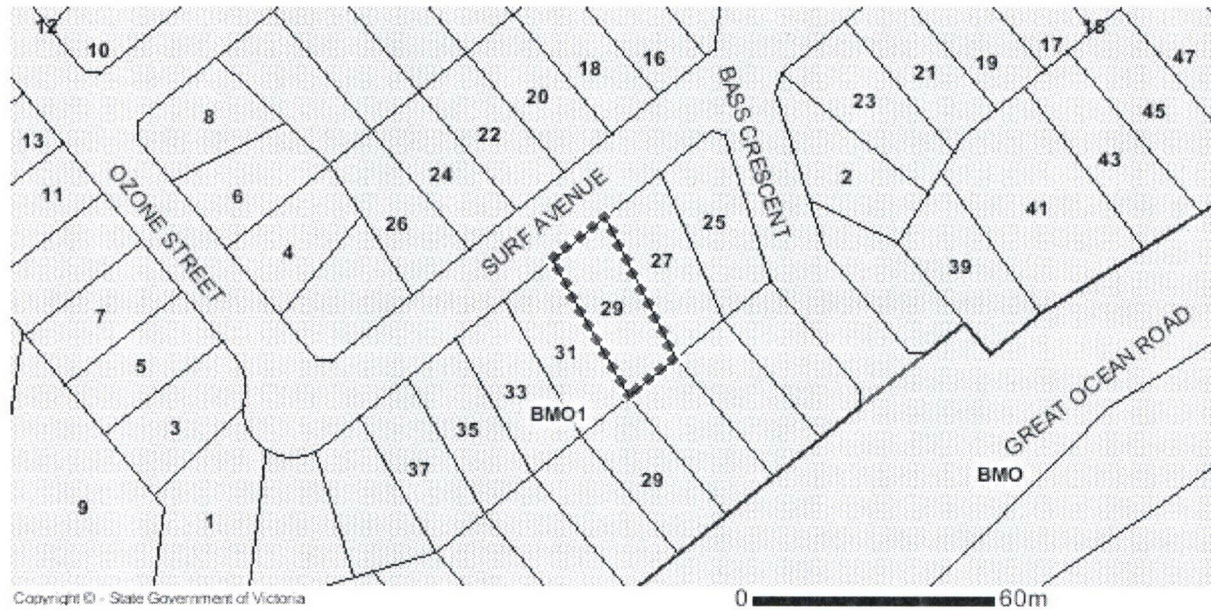
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Planning Overlays

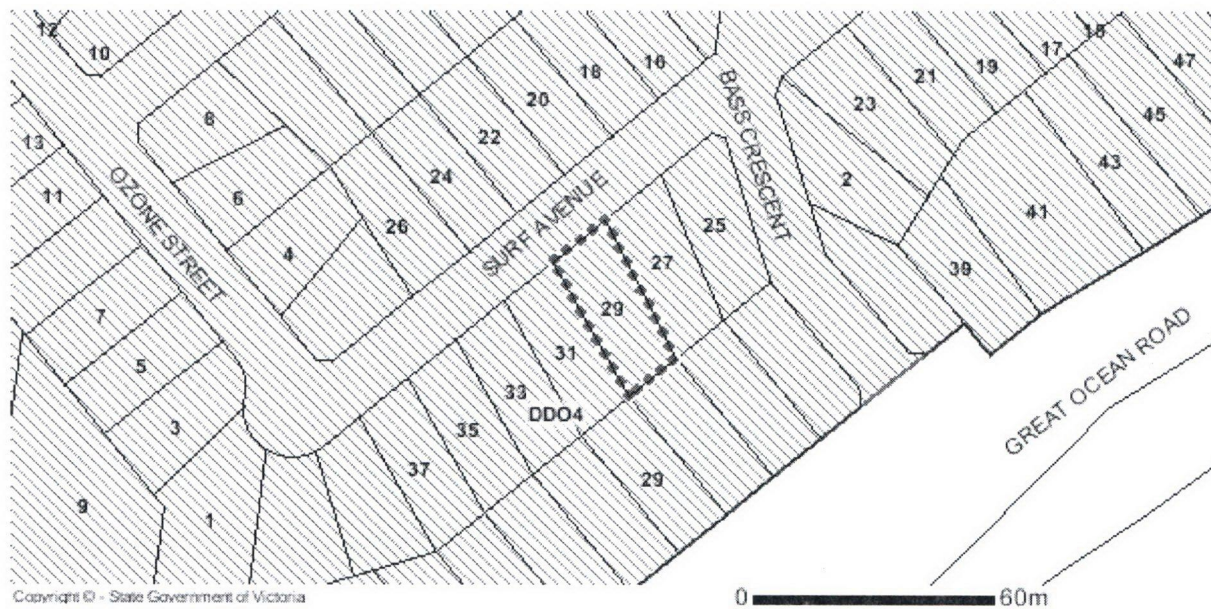
BUSHFIRE MANAGEMENT OVERLAY (BMO)

BUSHFIRE MANAGEMENT OVERLAY - SCHEDULE 1 (BMO1)



DESIGN AND DEVELOPMENT OVERLAY (DDO)

DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 4 (DDO4)



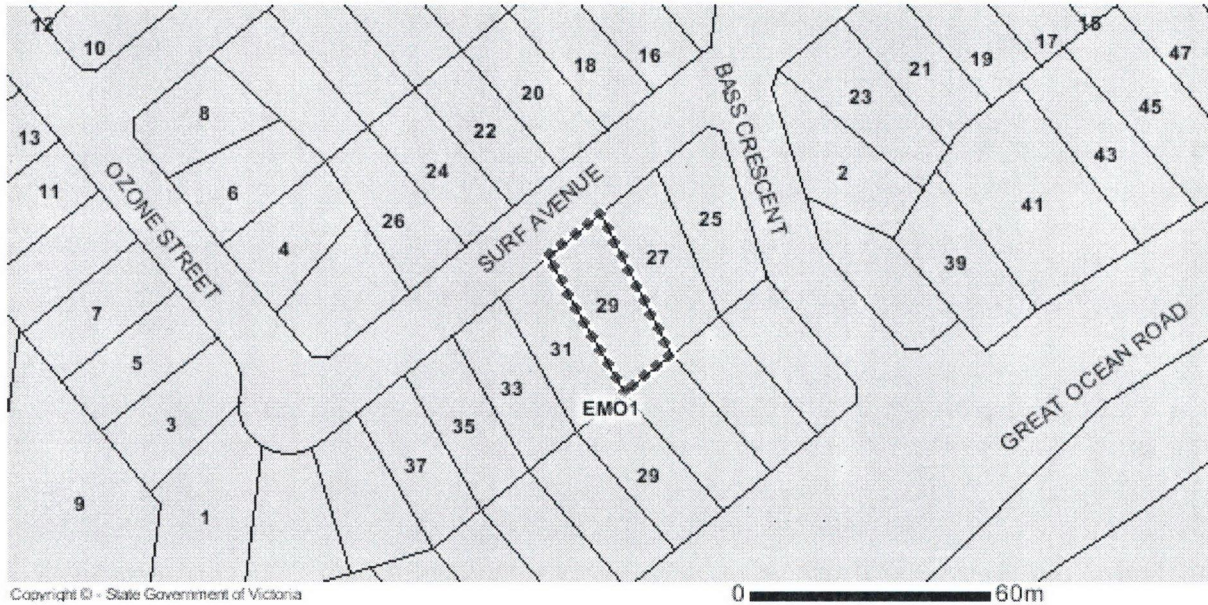
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Planning Overlays

EROSION MANAGEMENT OVERLAY (EMO)

EROSION MANAGEMENT OVERLAY - SCHEDULE 1 (EMO1)



NEIGHBOURHOOD CHARACTER OVERLAY (NCO)

NEIGHBOURHOOD CHARACTER OVERLAY - SCHEDULE 1 (NCO1)



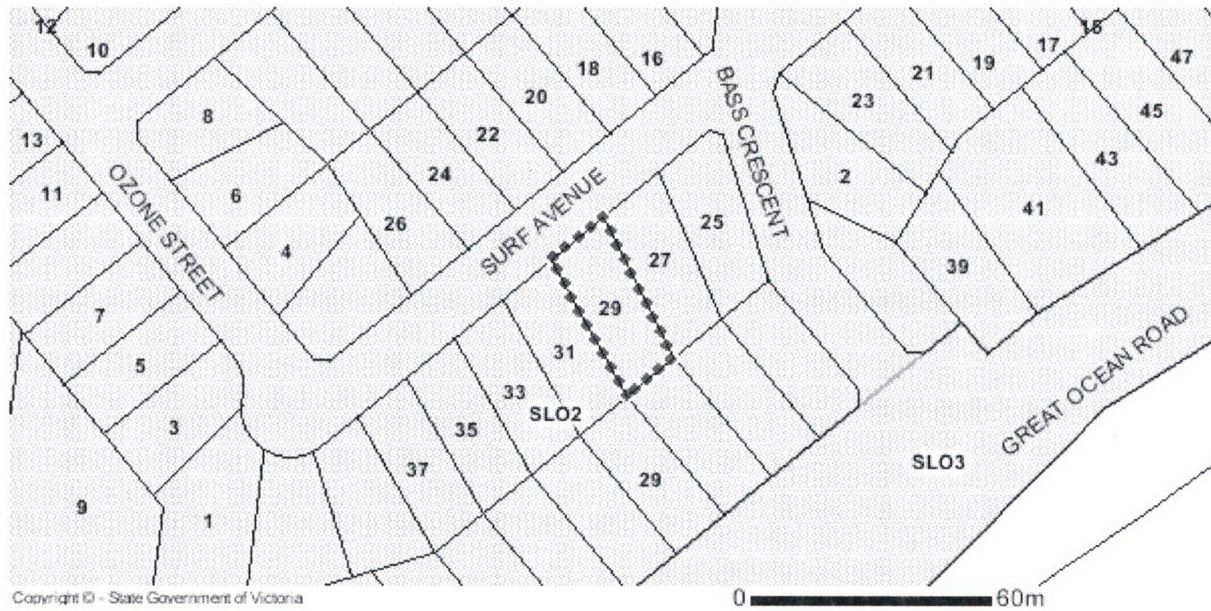
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Planning Overlays

SIGNIFICANT LANDSCAPE OVERLAY (SLO)

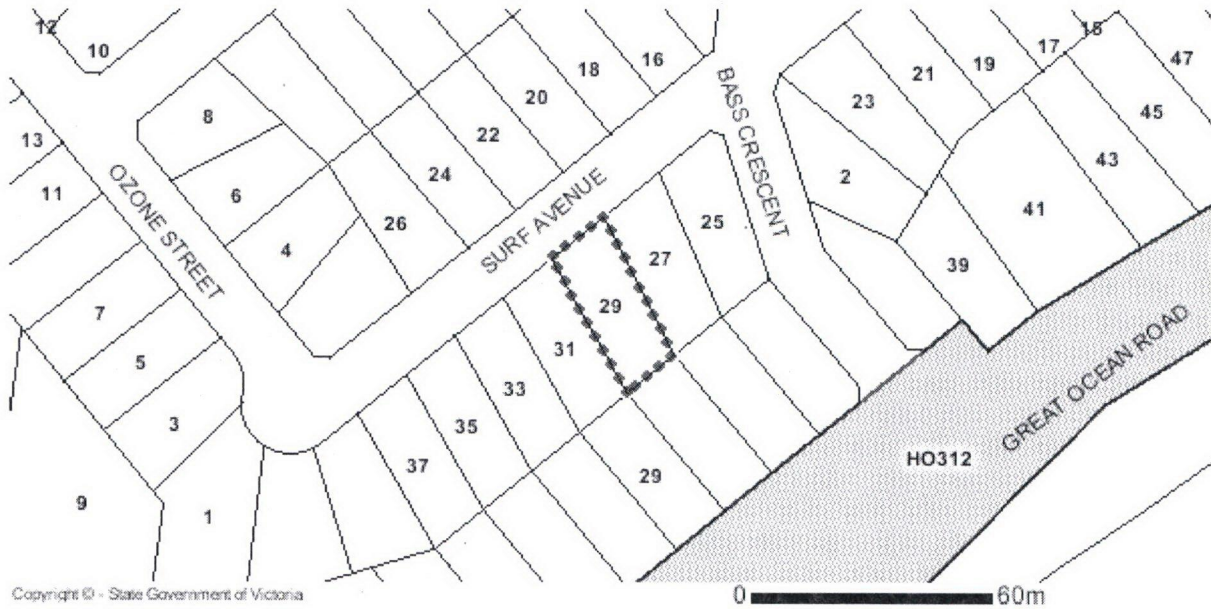
SIGNIFICANT LANDSCAPE OVERLAY - SCHEDULE 2 (SLO2)



OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

HERITAGE OVERLAY (HO)



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Planning Overlays Legend

Overlays Legend

	AEO - Airport Environs		IPO - Incorporated Plan
	BMO - Bushfire Management		LSIO - Land Subject to Inundation
	CLPO - City Link Project		MAEO1 - Melbourne Airport Environs 1
	DCPO - Development Contributions Plan		MAEO2 - Melbourne Airport Environs 2
	DDO - Design & Development		NCO - Neighbourhood Character
	DDOPT - Design & Development Part		PO - Parking
	DPO - Development Plan		PAO - Public Acquisition
	EAO - Environmental Audit		RO - Restructure
	EMO - Erosion Management		RCO - Road Closure
	ESO - Environmental Significance		SBO - Special Building
	FO - Floodway		SLO - Significant Landscape
	HO - Heritage		SMD - Salinity Management
	ICPO - Infrastructure Contributions Plan		SRO - State Resource
	Railway		VPO - Vegetation Protection
	Tram		River, stream
	Lake, waterbody		

Note: due to overlaps some colours on the maps may not match those in the legend.

Areas of Aboriginal Cultural Heritage Sensitivity

All or part of this property is an 'area of cultural heritage sensitivity'.

'Areas of cultural heritage sensitivity' are defined under the Aboriginal Heritage Regulations 2007, and include registered Aboriginal cultural heritage places and land form types that are generally regarded as more likely to contain Aboriginal cultural heritage.

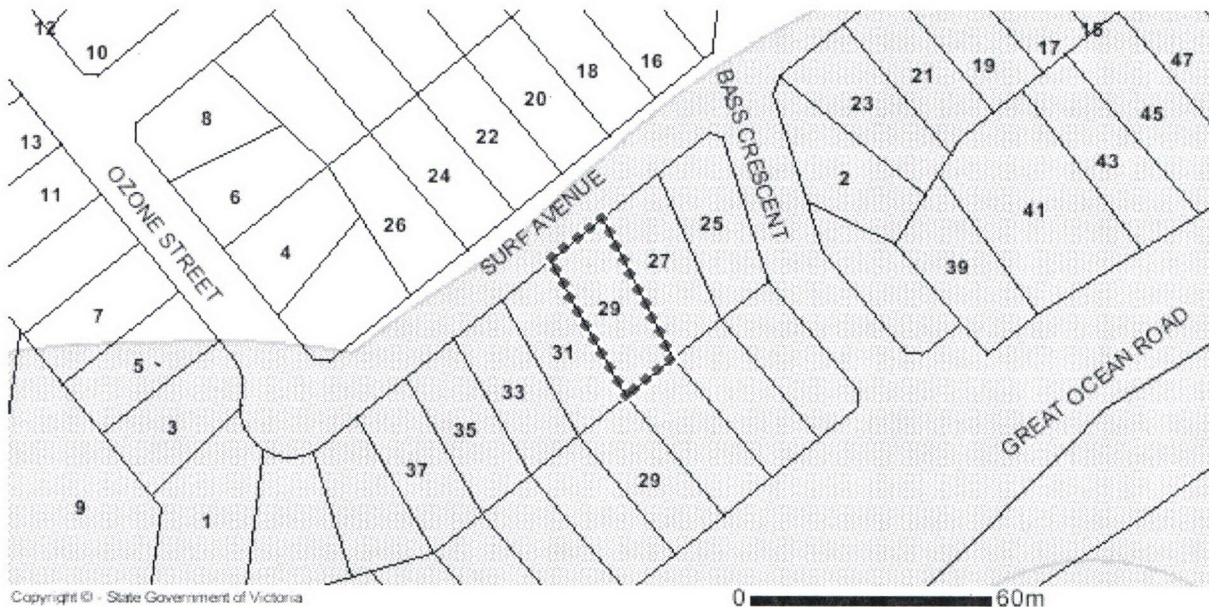
Under the Aboriginal Heritage Regulations 2007, 'areas of cultural heritage sensitivity' are one part of a two part trigger which require a 'cultural heritage management plan' be prepared where a listed 'high impact activity' is proposed.

If a significant land use change is proposed (for example, a subdivision into 3 or more lots), a cultural heritage management plan may be triggered. One or two dwellings, works ancillary to a dwelling, services to a dwelling, alteration of buildings and minor works are examples of works exempt from this requirement.

Under the Aboriginal Heritage Act 2006, where a cultural heritage management plan is required, planning permits, licences and work authorities cannot be issued unless the cultural heritage management plan has been approved for the activity.

For further information about whether a Cultural Heritage Management Plan is required go to <http://www.aav.nrms.net.au/aavQuestion1.aspx>

More information, including links to both the Aboriginal Heritage Act 2006 and the Aboriginal Heritage Regulations 2007, can also be found here - <https://www.vic.gov.au/aboriginalvictoria/heritage/planning-and-heritage-management-processes.html>



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Further Planning Information

Planning scheme data last updated on 24 April 2018.

A **planning scheme** sets out policies and requirements for the use, development and protection of land.

This report provides information about the zone and overlay provisions that apply to the selected land.

Information about the State, local, particular and general provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting [Planning Schemes Online](#)

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the Planning & Environment Act 1987.

It does not include information about exhibited planning scheme amendments, or zonings that may apply to the land.

To obtain a Planning Certificate go to [Titles and Property Certificates](#)

For details of surrounding properties, use this service to get the Reports for properties of interest

To view planning zones, overlay and heritage information in an interactive format visit [Planning Maps Online](#)

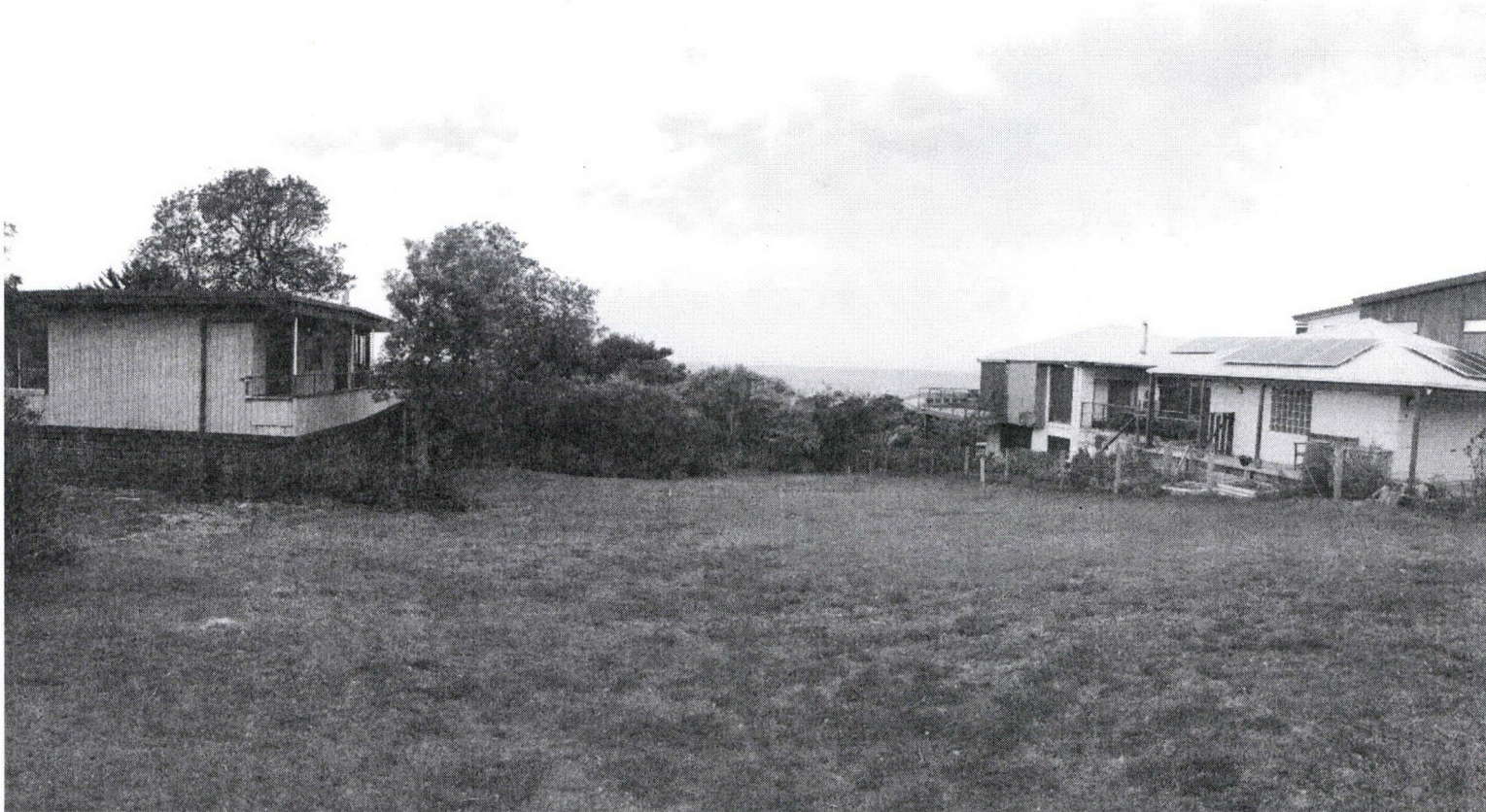
For other information about planning in Victoria visit www.planning.vic.gov.au

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GEOTECHNICAL ASSESSMENT REPORT

29 Surf Avenue, Skenes Creek

**Prepared for:
Anne & Eamonn Moran**

**Report No:
15967G-LRA**

April 2019

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EXECUTIVE SUMMARY

We have been commissioned by the client Anne & Eamonn Moran to investigate the site conditions at the address shown provide a geotechnical assessment report to meet the requirements of the Colac Otway Shire Planning Scheme Amendment C68: Schedule 1 to the Erosion Management Overlay (EMO).

Our geotechnical landslide risk assessment has found there are possible landslide events in the area, common to many sites in Otway region. However, subject to our recommendations and assessment of the risks, we conclude that there are no geotechnical reasons to prevent the issue of a permit to build the proposed residence on this site.

Following our geotechnical assessment for the proposed development and at the nominated location on this site, we have judged the landslide risk is "low" and that a landslide risk assessment in accordance with guidelines published by the Australian Geomechanics Society (AGS) journal Volume 42 No 1 of March 2007, entitled "Landslide Risk Management", is not required.

1.0 INTRODUCTION

Colac Otway Shire have developed an erosion management overlay (EMO1) for certain geological areas where potential risk of erosion or landslide have been identified.

Landslides, erosion and other forms of earth / rock movements are common throughout the Otway Ranges and are a continual natural process of geomorphological shaping of the land. Developments of sites in geologically active areas are potentially at risk of damage from natural soil or rock movements.

Whilst the risks due to soil movement can usually be identified and steps often be taken to mitigate or reduce the risks to acceptable levels, it is not always feasible to entirely eliminate the risks of damage or personal injury entirely.

2.0 SCOPE OF THE REPORT

St. Quentin Consulting was commissioned by the client Anne & Eamonn Moran to provide a geotechnical assessment on the property to meet the requirements of the Colac Otway Shire: EMO1.

The purpose of the assessment is to identify possible landslide hazards on the subject site near the proposed development location and to provide guidance and options for possible risk mitigation.

3.0 DEVELOPMENT DESCRIPTION

The proposed development is the construction of a residential dwelling, with approximate footprint dimensions of about 23m x 10m. We have provided recommendations for a clad frame two storey residence with slab footings or strip/pad footings. Elevations indicate the site will have a maximum site cut of about 1.0m.

Plans and elevations prepared by the designer are considered to be an accurate representation of the proposed works. Refer to the proposed plans (referenced in our geotechnical declaration) and our attached photos.

NOTE: If the building type is changed this report may be inappropriate.

4.0 TESTING PROGRAM AND FINDINGS

4.1 Data gathering – desk top studies and previous investigations

There have been many of private and published landslide risk assessment reports conducted in the Otway Ranges (refer references). These reports suggest that landslide hazards are evident in particular areas and that inappropriate development can result in and contribute to slope failure.

In preparation of our field investigation of the site, preliminary data was gathered from the following sources:

- Colac Otway Shire – landslide details and website information: inventory of known major landslides within the Shire developed by A.S. Miner Geotechnical and Dahlhaus Environmental Geology Pty Ltd.
- Corangamite Catchment Management Authority – ‘CCMA’ published landslide details, susceptibility mapping, field guide and information on its website.
- Department of Primary Industries – GeoVic website: details on geological features and mapping and the Victorian Resources Online website: information about soil properties.
- Federation University – UB Spatial: digital database of landslide, erosion features.
- Aerial photos and maps published by Nearmap.com & Googlemaps.com.
- Previous investigations and reports by us and other consultants, published and unpublished.
- Plans and elevations prepared by the designer.
- Previous site classification report prepared by others.

4.2 Field Investigation

4.2.1 Site inspection and mapping

A thorough geomorphological appraisal of the site was conducted, identifying the main features of the site and the surrounding area to identify evidence of slope instability and past slope failures. Slope angles were measured with an inclinometer.

A plan showing the approximate borehole location and plan showing main geomorphic features is presented in Appendix A

4.2.2 Site description and geomorphology

The proposed development site is currently a vacant lot. The subject site is on the south-east side of Surf Avenue on a waxing divergent hillside, sloping to the south-east. The overall natural slope of the land is relatively uniform over the development area at an angle of about 7°.

4.2.3 Sub-surface conditions

Two (2) boreholes were drilled to a maximum depth of 1.80m at the locations nominated on the site plan. Disturbed soil samples were collected, logged and hand classified by an experienced and qualified geologist or geotechnical engineer. A description of the soil types observed in the boreholes is shown in Appendix B.

Our investigation has revealed that the soil profile comprises mainly “colluvial” silts and clays predominately derived from prolonged sheetwash and related creep and weathering of Cretaceous age sediments known as Wiridjil Gravel. Minor imported fill was noted on the site. Site geology mapping is presented in Figure 1.

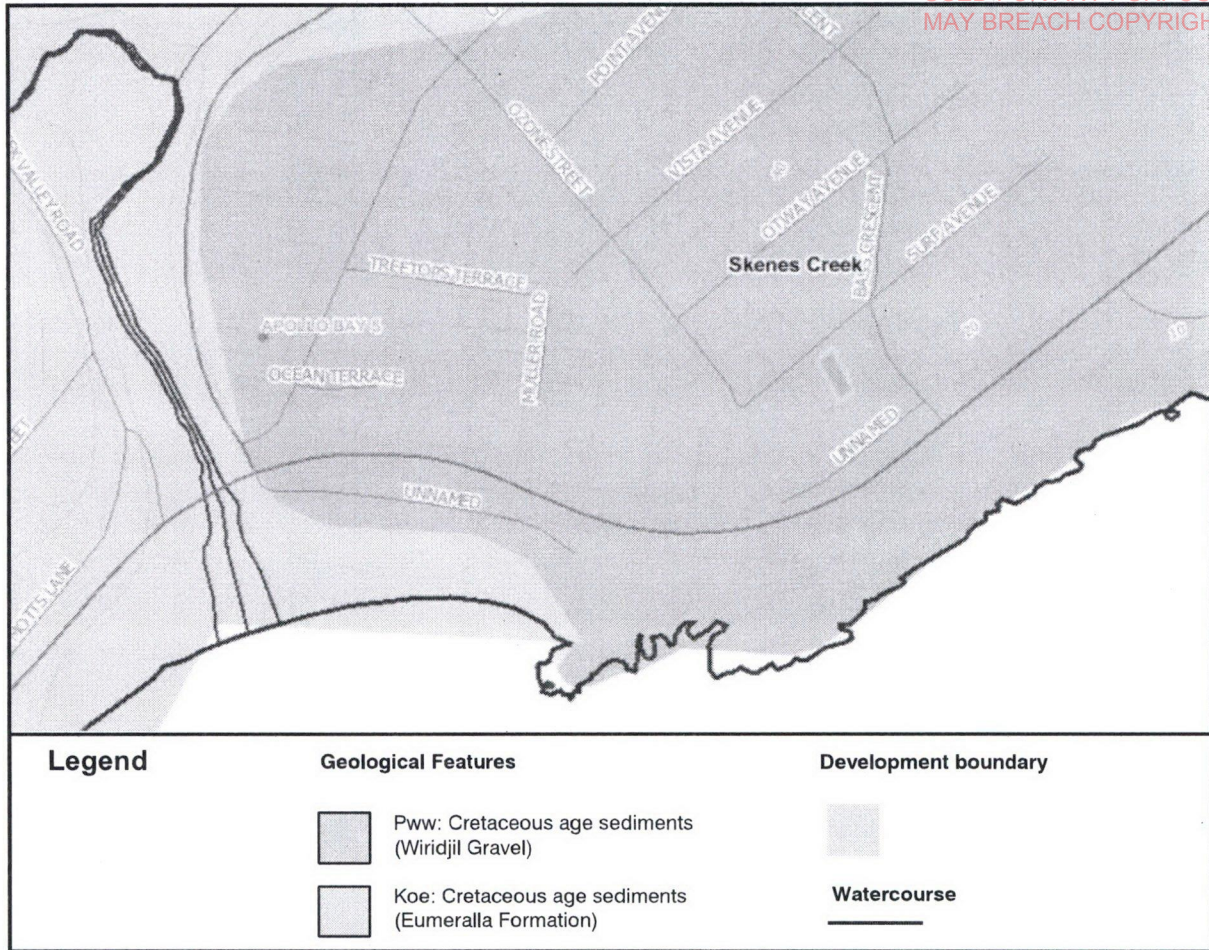


Figure 1: Site geology, source: geovic.vic.gov.au

4.2.4 Groundwater conditions

There is limited published bore data available on permanent / transient water table for this area of Skenes Creek. No permanent or perched water table was encountered during testing however a transient perched water table may develop in very wet conditions above the clay layer. Such a perched water table may prove problematic if construction is commenced after wet periods and deep excavations may collapse without warning.

4.3 Previous landslide movements

There are several large landslide features in the Skenes Creek locality, however no significant landslide features were identified on the subject site. Inventory Mapping (collated by A.S. Miner Geotechnical and Dahlhaus Environmental Geology Pty Ltd), refer Figure 2, suggests there is a large landslide feature (Roberts (2006-2004) encompassing the site that is inferred to emanate from an adjacent gully and continues as a flow 'fan' laterally near the property boundary.

It is unclear whether the edge of the landslide movement has occurred however we have judged that the site may have been impacted near the building envelope. It is also likely that slope movements are attributed to gradual creep. We are aware of creep that has occurred within the Skenes Creek township that has affected open excavations and existing dwellings, resulting in building movement and minor structural damage. We have also observed possible evidence of this in an adjacent site building, where a distressed wall was observed. Refer Appendix C for photographs.

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Larger failures have previously been identified on the Skenes Creek Colac Otway Shire Landslide Inventory Mapping (identified and collated by A.S. Miner Geotechnical and Dahlhaus Environmental Geology Pty Ltd), and presented in Figure 2.

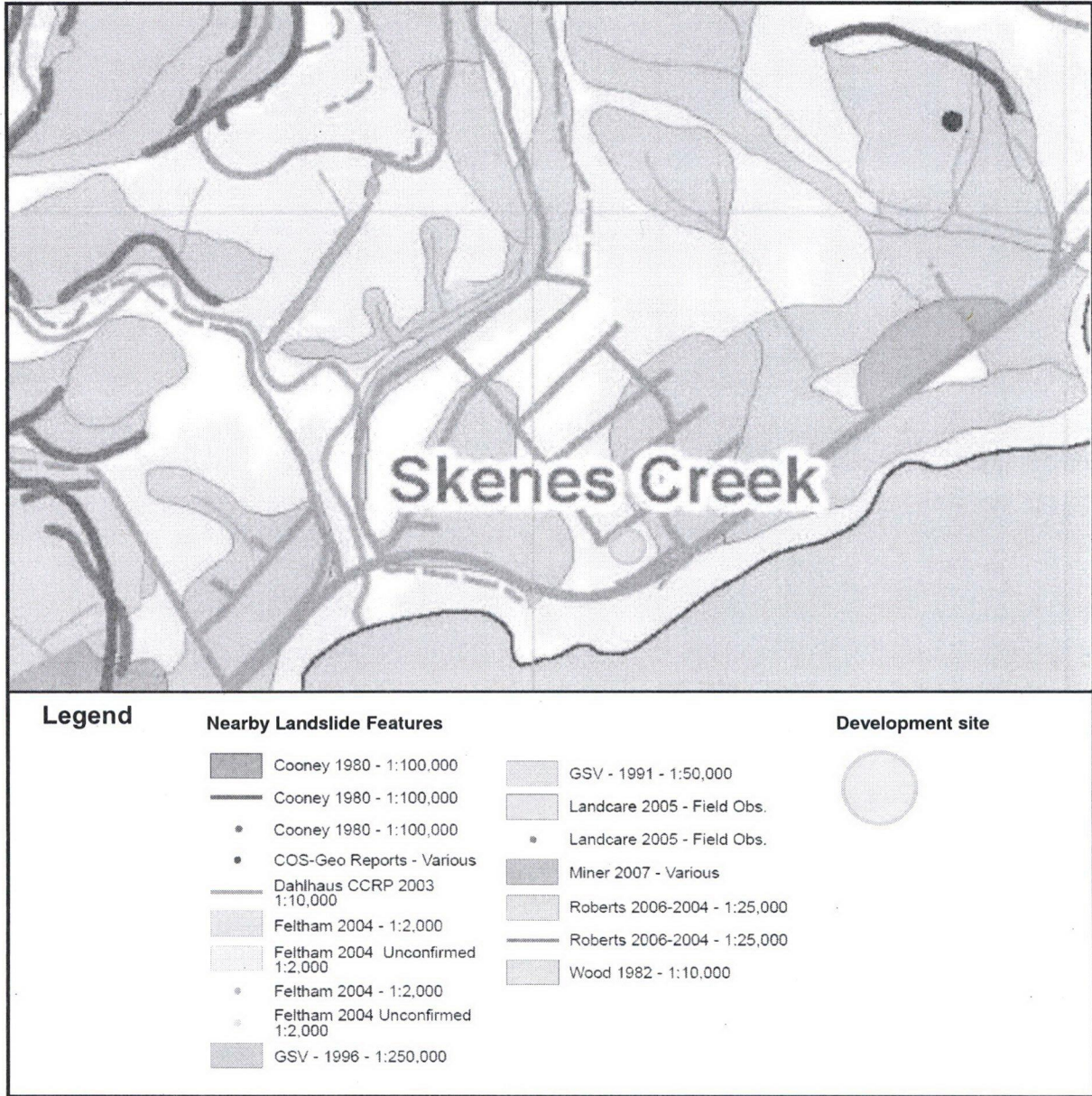


Figure 2: Department of Primary Industries Skenes Creek Colac-Otway Shire Landslide Inventory Mapping (A.S. Miner Geotechnical and Dahlhaus Environmental Geology Pty Ltd)

5.0 GEOTECHNICAL STATEMENT REQUIRED BY EMO SCHEDULE 1

In accordance with Colac Otway Shire Planning Scheme, Erosion Management Overlay (EMO)_44.01 we provide the following information.

5.1 Practitioner details

is Cameron Farrar who is a professional geotechnical engineer with a Bachelor of Engineering degree and registered member of Engineers Australia and Australian Geomechanics Society. The author has more than 20 years of experience in geotechnical engineering and management of slope instability issues and landslip risk management.

5.2 Currency

This report is based on field measurements made less than 12 months ago.

5.3 Site description

Refer to section 4.2.2.

5.4 Site assessment plans

Appendix A show slope details of the development site area.

5.5 Sub-surface conditions

Borehole logs presented in Appendix B and section 4.2.3 describe the site's subsurface features.

5.6 Natural slope failure

Past failures were identified on and near the site. Refer to section 4.3.

5.7 Site investigations

A site investigation was conducted to examine and sample the soil profile in order to assess the geotechnical/geological model. Details of the soil conditions revealed are included in this report (Appendix B) and are described in item 4.2.3 above.

5.8 Sub-surface investigation

Geological soil and rock samples were recovered from test boreholes for examination by a professional geotechnical engineer.

5.9 Landslide risk

The risks for slope instability hazards identified are of an acceptable risk level and will remain so over the design life of the proposed development (as presented in development plans).

5.10 Development suitability

The subject lot is suitable for the proposed development and the proposed development can meet the acceptable risk criteria, as defined in the EMO schedule.

In our opinion the development can be carried out in a manner which will not adversely increase the landslide risk to life or property affecting the subject lot or adjoining or nearby land.

The subject lot is suitable for the proposed development and the proposed development can meet the tolerable risk criteria, as defined in the EMO schedule.

5.11 Special conditions and inspections

In our opinion and subject to our recommendations, no other special geotechnical conditions are required for approval of the development and a program of periodic inspections is not required.

5.12 Time frame

If the proposed works are not completed within 12 months of the date of this report this report may need to be re-evaluated.

6.0 SUMMARY OF RISKS AND CONCLUSION

Our geotechnical assessment has not identified significant risks of loss of life and damage to property on the site. We have determined the risks associated with building on the proposed site are "low" and that a landslide risk assessment is not warranted for the proposed development.

7.0 RECOMMENDATIONS

7.1 Site recommendations

We have no geotechnical objections to the construction of an appropriately designed development. The proposed development is considered appropriate for the site.

Note that an increase in slope failure and erosion can be expected if an inappropriate development is undertaken or if site maintenance is neglected. Maintaining the site drainage and monitoring the site and buildings for any evidence of soil or slope movement are very important aspects of the ongoing site maintenance requirements.

7.2 Drainage management

Particular care must be taken to slope the soil surface away from the building and to install adequate and effective site drains, both surface and sub-surface to prevent excessive soil moisture variations. Upslope cut-off drains should be installed upslope from the dwelling and positioned and constructed with sufficient fall to discharge completely to prevent water from accumulating in the soil anywhere near the buildings. Any blockages must be cleared and repaired promptly.

Note that moisture inundation at the building edge is known to cause foundation movement and can affect the long-term serviceability of the structure. Careful attention to drainage is also essential to reduce the slope failure and erosion.

Care must also be taken to ensure that all levelled areas (vehicle parking bays, recreation areas etc.) have a slight fall ($\geq 2^\circ$) to prevent surface water from ponding or seeping into the ground and diverted away from the buildings.

7.3 Site vegetation

Suitable vegetation significantly improves the stability of a site by reducing the soil moisture content, minimising soil erosion and binding the soil structure together. Large trees should be retained wherever possible. Where large tree removal is necessary to accommodate the proposed building, they should be cut off at ground level with the root structures left intact.

On reactive sites care must be taken to ensure adequate drainage and sufficient offset to trees to ensure low and constant moisture content is achieved around the building perimeter. The owner is reminded to pay close attention to site drainage. Moisture ingress into the footing area is known to cause edge heave (lifting) or settlement depending on the footing type.

7.4 Site excavations and fill batters

Cut areas must have a slight fall ($\geq 2^\circ$) away from cut interface to prevent surface water from ponding or seeping into the near the base of any site cut.

The construction of appropriately designed walls or battered slopes will reduce the risk of soil movement and the collapse of any proposed site excavations.

7.5 Site classification

Australian Standard AS2870-2011 provides the following system of site classification for residential footing designs:

Table 1: Site Classification Classes

Site Classification	Foundation Type
A	Most sand and rock sites with negligible ground movement from moisture change
S	Slightly reactive clay sites subject to slight ground movement from moisture change
M	Moderately reactive clay sites subject to moderate ground movement from moisture change
H1/H2	Highly reactive
E	Extremely reactive
P	Sites with environmental factors that may affect the performance of the building including trees, deep fill, recently removed building, abnormal moisture conditions, soft soils, landslide risk or erosion.

NOTE 1: AS2870-2011 recommends a site inspection during excavation to confirm the soil profile.

NOTE 2: The above classification is made assuming that the site will not change significantly before construction of the proposed building. Site cuts greater than 500mm or the placement of addition uncontrolled fill is considered a significant change and the site may need to be re-classified.

The site has been classified **P** in accordance with Section 2 of AS2870-2011 due to trees, proposed site cut and site potentially subject to creep movements. In the absence of abnormal conditions the site would be classified **M** in accordance with Section 2 of AS2870-2011 which suggests moderately reactive soil conditions.

We estimate the characteristic surface movement to range between 20-40mm, for climate category 1, where depth of suction change (Hs) is 1.5m notwithstanding additional surface movement in the vicinity of trees.

7.6 Strip/pad footing recommendations

The use of engineer designed strip/pad footings for a Class **M** classification is considered appropriate. The footings should be designed according to the principles of AS 2870-2011 Section 4 and constructed in accordance with Sections 5 & 6 of AS2870-2011.

During our investigation a suitable founding depth for engineer designed strip/pad footings was found as follows:

Table 2: Minimum founding depths for engineer designed strip/pad footing systems

Borehole	Minimum Founding Depth	Founding Stratum	Minimum Allowable Bearing Capacity
1	1,500 mm	Stiff Silty Clay	150 kPa
2	1,500 mm	Stiff Silty Clay	150 kPa

NOTE: The above quoted depths were determined from surface level at the time of testing and may vary across the site or if the site is cut and/or filled. We recommend the footings penetrate the recommended "Founding Material" by at least 100mm.

We recommend footings are founded at the recommended level to assist in possible shallow creep, which we anticipate may occur over the lifetime of the property. Having all footings appropriately designed and founded will reduce the risk of damage due to soil movement or slope failures.

7.7 In-fill floor recommendations

In-fill type floor slabs for garages, verandahs, etc., be separated from walls and footings by a compressible strip and contain regular saw cuts or groove joints to control cracking. Such slabs are not considered to be a structural part of the building and minor cracking or movement may occur.

7.8 Differential movements

Please note that significant differential heave is expected from significant site cuts or placing of reactive clay fill as part of the preparation works. Where site cuts over 500 mm are proposed, the cracked zone of the soil is effectively removed and exposed soils are highly susceptible to moisture variations and therefore potential for heave on these areas. Filling of reactive clay sites can potentially result in surface movements due to cracks in the natural soils being filled resulting in vertical movements.

7.9 General recommendations

The satisfactory performance of buildings on this site depends on good engineering and building practice. This includes:

- a) Design of an appropriate development for the site;
- b) Use of flexible construction materials whenever possible which are "movement tolerant" (e.g. clad frame is preferable to brick and articulated brick or stone walls are preferable to non-articulated);
- c) Minimisation of site excavations wherever possible and the provision of adequate retaining structures and drainage for cut faces (or batter at an appropriate angle);
- d) A re-vegetation program including planting suitable trees and shrubs (preferably indigenous) at an appropriate distance from the buildings to help support the soil and minimise erosion;
- e) Appropriate site drainage to ensure surface water, excess roof water and household effluent (where relevant) does not pond or seep into the ground near building envelope;
- f) Diversion on uncontained water around the building envelope area and be widely dispersed laterally well below the house site;
- g) regular maintenance by the owner, including clearing of surface drains, sub-surface drains, repair of leaking plumbing, monitoring the site and buildings for any evidence of soil or slope movement and seeking immediate advice should any building distress become apparent.

Refer also to the attached Appendices for more general advice.

Prepared by:



C. Farrar B.Eng, MIE Aust (Reg No 4367740)
Geotechnical Manager
St. Quentin Consulting Pty Ltd

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- Wood, P.D. (1982) Wild Dog Creek, Parish of Krambruk, Landslide Study. Geological Survey of Victoria, Unpublished Report No. 1982/85.

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Appendix A

Borehole Location Plan

Site Plan



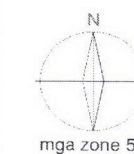
ST. QUENTIN
 Surveyors • Town Planners • Engineers
 51 LITTLE FYANS STREET,
 P.O. BOX 919, GEELONG 3220
 TELEPHONE (03) 5201 1811 FAX (03) 5229 2909
 stqc.com.au

- Legend:**
- Borehole Locations
 - Development Area
 - Site slope
 - Site cut - top
 - Site cut - bottom
 - Retaining wall
 - Break in slope
 - Rock outcrop
 - Scarp
 - Ridgeline
 - Watercourse

Site Plan
 Location: 29 Surf Avenue
 Skenes Creek, Victoria
 Source: Nearmap.com - Jan-2005

Project No: 15967G-LRA
 Inv. date: 3/04/2019
 Drawing No: 1
 Scale: NOT TO SCALE

Drawn by: O.R.
 Date: 5/04/2019
 Approved by: C.F.
 Date: 8/04/2019








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Appendix B

Borehole Logs

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BOREHOLE LOG				 ST. QUENTIN <small>Surveyors • Town Planners • Engineers</small>					
Client: Anne & Eamonn Moran		Project No.: 15967G-LRA		Sheet: 1 of 1					
Location: 29 Surf Avenue Skenes Creek, Victoria		Borehole No.: BH 1		Logged by: C.F.					
		Inv. Date: 3/04/2019		Checked by: O.R					
Depth (metres)	Graphic Log	Material Description <small>Type, Plasticity, Colour, Particle characteristics</small>	Soil Classification	Consistency / Density	Moisture	Degree of Weathering	Sample / Test	Test Results	Geology and additional observations
0.2		Clayey Silt FILL Brown Medium plasticity Soft to firm, moist	FILL	S	M				
0.25									
0.4		Clayey SILT Brown Low plasticity Firm, moist	ML	F	SM	RS			Geology: Cretaceous age sediments Wiridjil Gravel (Pww)
0.50									
0.6		Silty CLAY Orange mottled brown Medium plasticity Stiff, slightly moist	CI	St	SM	RS			
0.8									
0.80		Becoming grey mottled orange with depth							
1.0									
1.2									
1.4									
1.6									
1.8									
1.80		Borehole 1 terminated at 1.8m							
2.0									
2.2									
moisture:		Degree of Weathering		Consistency/density:			Method:		
D	Dry	RS	Residual Soil	VS	Very Soft	Fb	Friable	<input checked="" type="checkbox"/>	Hand Auger
SM	Slightly Moist	XW	Extremely Weathered Rock	S	Soft	VL	Very Loose	<input type="checkbox"/>	Auger Drilling
M	Moist	HW	Highly Weathered Rock	F	Firm	L	Loose	<input type="checkbox"/>	Roller/Tricone
W	Wet	MW	Moderately Weathered Rock	St	Stiff	MD	Medium Dense	<input type="checkbox"/>	Washbore
Sat	Saturated	SW	Slightly Weathered Rock	VSt	Very Stiff	D	Dense	<input type="checkbox"/>	Non Destructive Digging
		FR	Fresh Rock	H	Hard	VD	Very Dense	<input type="checkbox"/>	

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BOREHOLE LOG				 ST. QUENTIN <small>Surveyors Town Planners Engineers</small>					
Client: Anne & Eamonn Moran		Project No.: 15967G-LRA		Sheet: 1 of 1					
Location: 29 Surf Avenue Skenes Creek, Victoria		Borehole No.: BH 2		Logged by: C.F.					
		Inv. Date: 3/04/2019		Checked by: O.R					
Depth (metres)	Graphic Log	Material Description <small>Type, Plasticity, Colour, Particle characteristics</small>	Soil Classification	Consistency / Density	Moisture	Degree of Weathering	Sample / Test	Test Results	Geology and additional observations
0.2		Clayey Silt FILL Brown Medium plasticity Soft to firm, moist	FILL	S	M				
0.4		Clayey SILT Brown Low plasticity Firm, moist	ML	F	SM	RS			Geology: Cretaceous age sediments Wiridjil Gravel (Pww)
0.6		Silty CLAY Orange mottled brown Medium plasticity Stiff, slightly moist Becoming grey mottled orange with depth	CI	St	SM	RS			
0.8									
1.0		Borehole 2 terminated at 1m							
1.2									
1.4									
1.6									
1.8									
2.0									
2.2									
moisture:		Degree of Weathering		Consistency/density:			Method:		
D Dry	RS Residual Soil	VS Very Soft	Fb Friable	<input checked="" type="checkbox"/>	Hand Auger				
SM Slightly Moist	XW Extremely Weathered Rock	S Soft	VL Very Loose	<input type="checkbox"/>	Auger Drilling				
M Moist	HW Highly Weathered Rock	F Firm	L Loose	<input type="checkbox"/>	Roller/Tricone				
W Wet	MW Moderately Weathered Rock	St Stiff	MD Medium Dense	<input type="checkbox"/>	Washbore				
Sat Saturated	SW Slightly Weathered Rock	VSt Very Stiff	D Dense	<input type="checkbox"/>	Non Destructive Digging				
	FR Fresh Rock	H Hard	VD Very Dense	<input type="checkbox"/>					

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Appendix C

Site Photographs

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29 Surf Avenue - Photographs

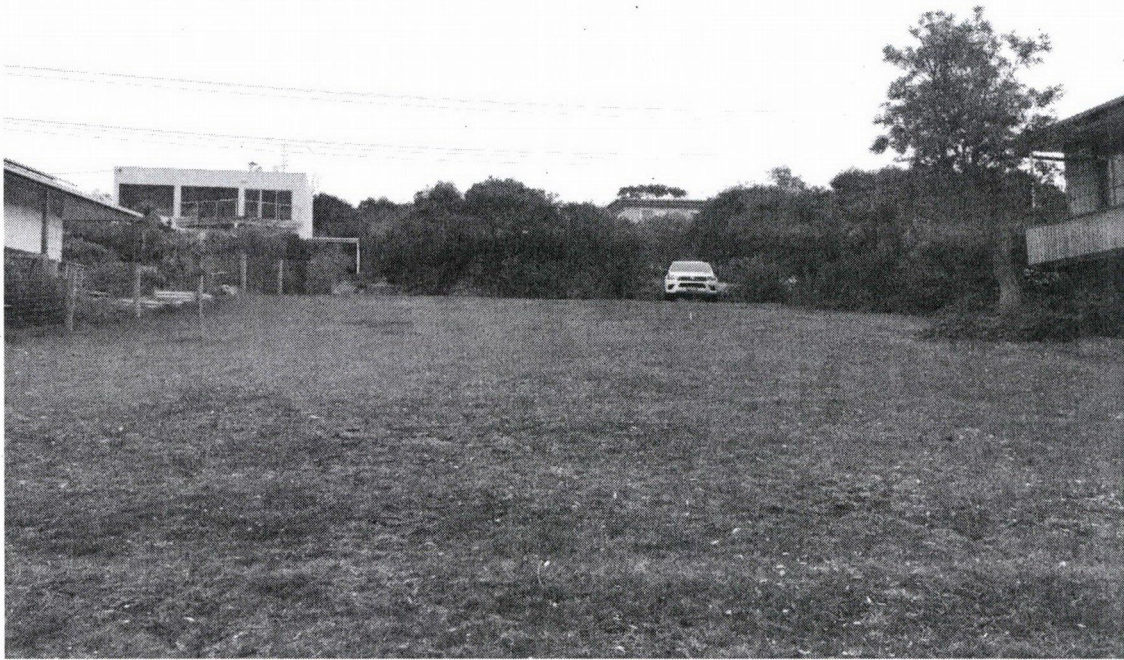


Photo 1: Existing site conditions, north-western portion.



Photo 2: Existing site conditions, south-eastern portion.

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P.O. BOX 919, GEELONG 3220
TELEPHONE (03) 5201 1811 FAX (03) 5229 2909

Title: Photographs
Locality: 29 Surf Avenue
Skenes Creek, Victoria

Project No: 15967G-LRA
Prepared by: O.R
Date: 5/04/2019

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29 Surf Avenue - Photographs

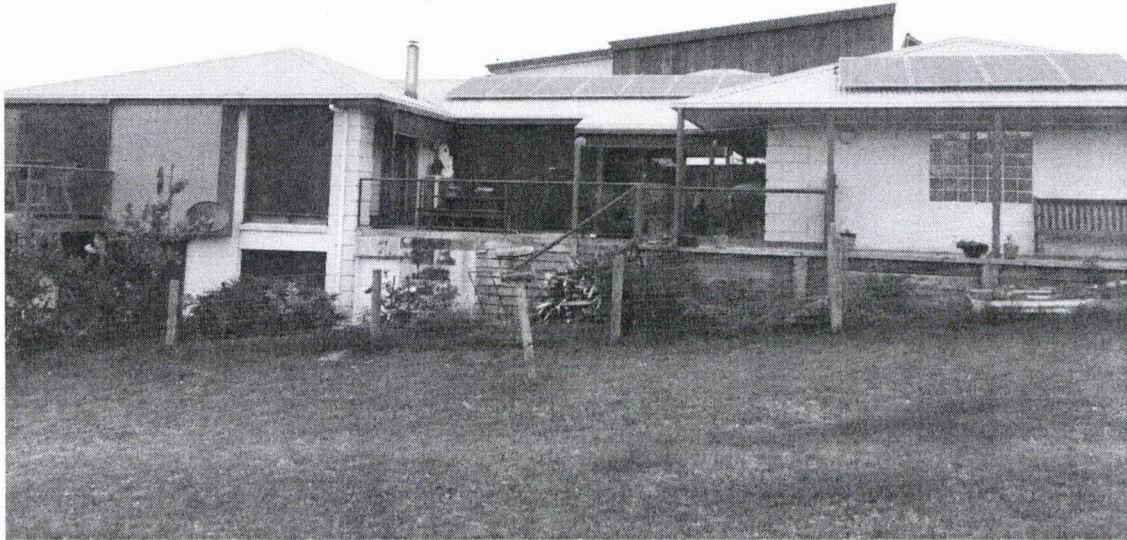


Photo 3: Existing site conditions, adjacent dwelling, west side.

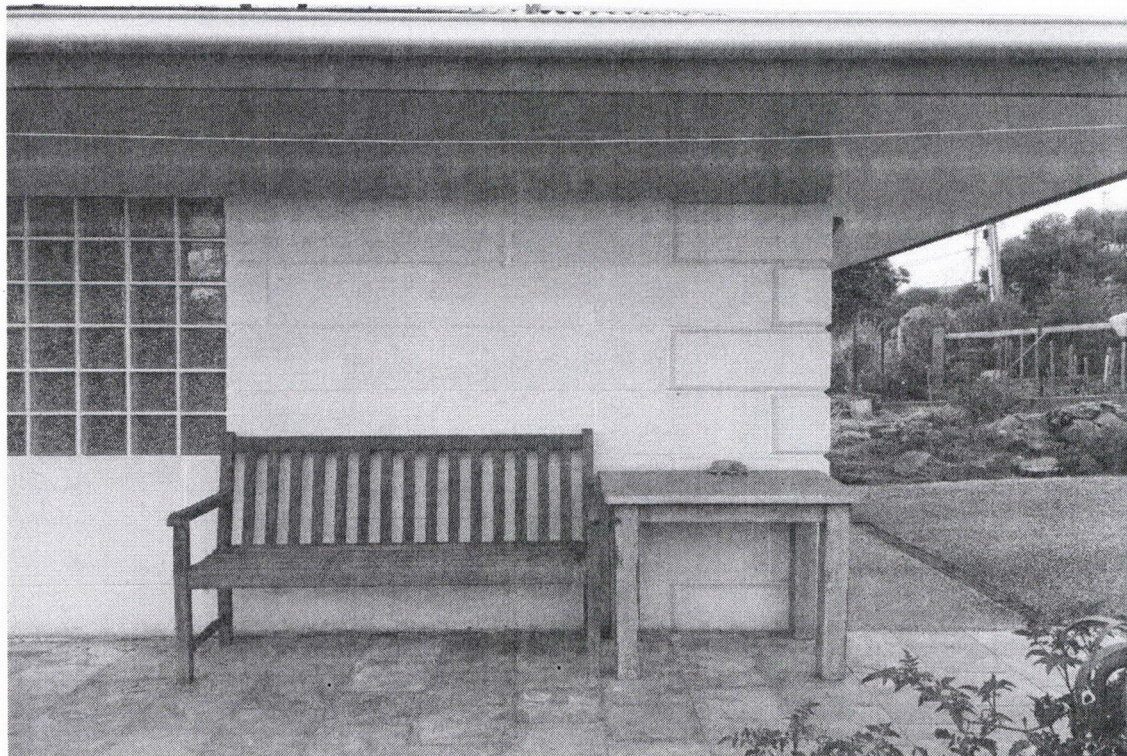


Photo 4: Evidence of cracking, potentially resulting from creep movements.

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P.O. BOX 919, GEELONG 3220
TELEPHONE (03) 5201 1811 FAX (03) 5229 2909

Title: Photographs
Locality: 29 Surf Avenue
Skenes Creek, Victoria

Project No: 15967G-LRA
Prepared by: O.R
Date: 5/04/2019

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29 Surf Avenue - Photographs

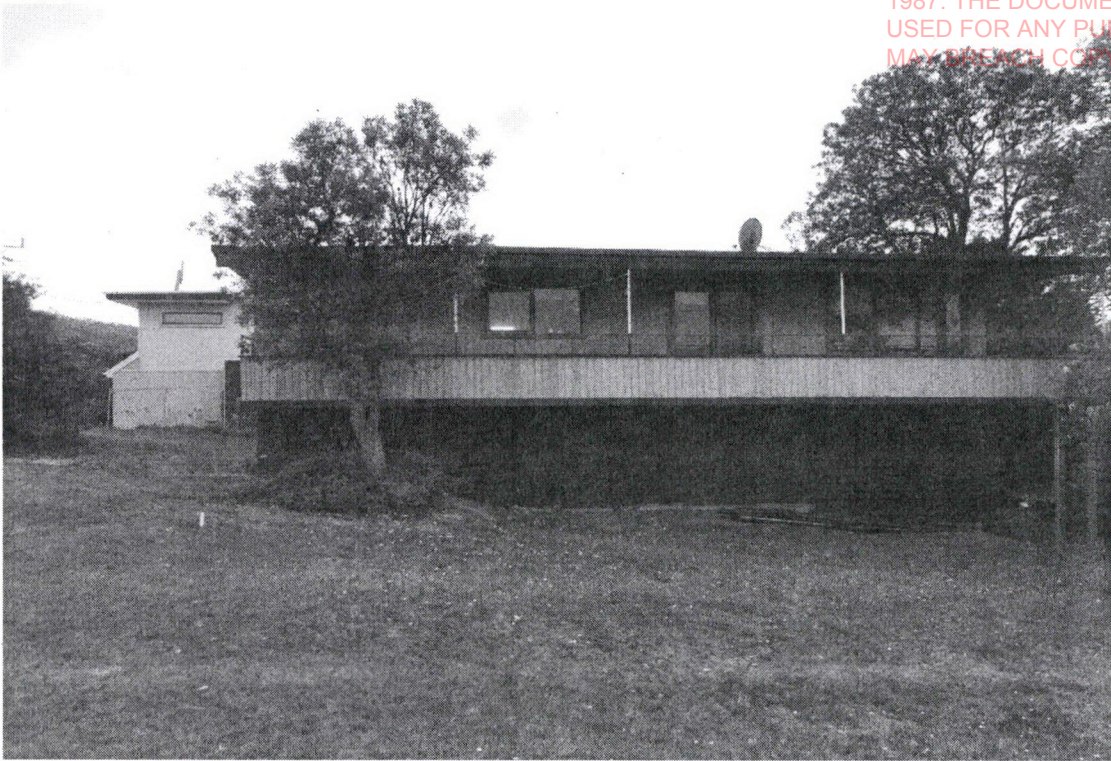


Photo 5: Existing site conditions, adjacent dwelling, east side.



Photo 6: Evidence of cracking, adjacent site, north side.

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Title: Photographs
Locality: 29 Surf Avenue
Skenes Creek, Victoria


Project No: 15967G-LRA
Prepared by: O.R
Date: 5/04/2019

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Appendix D

Geotechnical Declaration: Form A

FORM	A	Geotechnical Declaration and Verification Development Application	
Office Use Only			
To be submitted with planning application. It must accompany the Geotechnical Assessment and/or Landslip Risk Assessment. This form is essential to verify that the Geotechnical Assessment and/or Landslip Risk Assessment has been prepared in accordance with Cl 44.01 of the Colac Otway Planning Scheme and that the author of the Assessment/s is a geotechnical engineer or engineering geologist as defined by this clause.			
Section 1 Related Application			
Planning Application Number (if known)			
DA Site Address		No.29 Surf Avenue, Skenes Creek	
DA Applicant		Anne & Eamonn Moran	
Section 2 Geotechnical Assessment and /or Landslip Risk Assessment			
Details	Title: Geotechnical Assessment at No.29 Surf Avenue, Skenes Creek		
	Author's Company/Organisation Name: St Quentin Consulting		Report Reference No: 15967G-LRA
	Author: Cameron Farrar		Dated: April 2019
Section 3 Checklist			
Geotechnical Requirements (Tick as appropriate)		Assessment and/or Landslip Risk Assessment. The report must also cover any additional matters required by Clause 44.01. This checklist must accompany each report. Each item is to be cross-referenced to the section or page of the Geotechnical Assessment and/or Landslip Risk Assessment which addresses that item.	
Yes	No		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A review of readily available history of slope instability in the site or related land as per: Section 4.1 and 4.3	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	An assessment of the risk posed by all reasonably identifiable geotechnical hazards as per: Section 5.0	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Plans and sections of the site and related land as per: Section 4.2.2 and Appendix A & B	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Presentation of a geological model as per: Section 4.2.3 and Appendix A & B	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Photographs and/or drawings of the site as per: Appendix A & C	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A conclusion as to whether the site is suitable for the development proposed to be carried out as per: Section 6.0	
<input type="checkbox"/>	<input type="checkbox"/>	If any items above are ticked No, an explanation is to be included in the report to justify why.	
		Subject to recommendations and conditions relevant to:	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Selection and construction of footing systems	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Earthworks	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Surface and sub surface drainage	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommendations for the selection of structural systems consistent with the geotechnical assessment of the risk	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Any conditions that may be required for the ongoing mitigation and maintenance of the site	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Highlighting and detailing the inspection regime to provide adequate notification for all necessary inspections	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	State Design life adopted: 50 years	
NOTE: THIS FORM IS ADAPTED FROM: PRACTICE NOTE GUIDELINES FOR LANDSLIDE RISK MANAGEMENT 2007			
Australian Geomechanics Vol 42 No 1 March 2007			

FORM	A	Geotechnical Declaration and Verification Development Application	
Section 4 List of pertinent drawings and documents referenced in Geotechnical Report			
	Document	Description	Reference
	Site Plan	Neighbourhood and existing site description plan	19-023
	Site plan	Design response site plan, proposed extension layout	19-023
	Site plan	Overshadowing & overlooking diagram	19-023
	Lower floor plan	Proposed development lower floor plan	19-023
	Upper floor plan	Proposed development upper floor plan	19-023
	Elevations 1	Northeast and northwest elevations of the proposed dwelling	19-023
	Elevations 2	Southeast and southwest elevations of the proposed dwelling	19-023
Section 5 Declaration			
Declaration (Tick all that apply)		I am a geotechnical practitioner as defined by the Schedule 1 to the Erosion Management Overlay and on behalf of the company below:	
Yes	<input checked="" type="checkbox"/>	No	I am a geotechnical engineer or engineering geologist as defined by the Colac Otway Planning Scheme and on behalf of the company below
Yes	<input checked="" type="checkbox"/>	N/A	I am aware that the Geotechnical Assessment and/or Landslip Risk Assessment I have either prepared or am technically verifying (referenced above) is to be submitted in support of a planning application for the proposed development site (referenced above) and its findings will be relied upon by the Colac Otway Shire Council in determining the planning application
Yes	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/> I prepared the Geotechnical Assessment and/or Landslip Risk Assessment referenced above in accordance with the Colac Otway Planning Scheme and the AGS Guidelines 2007 as defined in the planning scheme.
Yes	<input checked="" type="checkbox"/>	No	I technically verify that the Geotechnical Assessment and/or Landslip Risk Assessment referenced above has been prepared in accordance with the Colac Otway Planning Scheme and the AGS Guidelines 2007 as appropriate.
Yes	<input checked="" type="checkbox"/>	No	I technically verify that the Geotechnical Assessment prepared for the planning application for the site confirms the land can meet the acceptable risk criteria specified in the schedule to Clause 44.01 of the Colac Otway Planning Scheme taking into account the total development and site disturbance proposed.
Yes	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/> I technically verify that the Landslip Risk Assessment prepared for the planning application for the site confirms the land can meet the tolerable risk criteria specified in the schedule to Clause 44.01 of the Colac Otway Planning Scheme taking into account the total development and site disturbance proposed.
Section 6 Geotechnical Engineer or Engineering Geologist Details			
Company/ Organisation Name		St Quentin Consulting	
Name (Company Representative)	Surname: Cameron		Mr /Mrs /Other: Mr
	Given Names: Farrar		
	Chartered Professional Status: Member Institute of Engineers		Registration No: 4367740
Signature			Dated: 05/04/2019



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51 Little Pyans St, South Geelong 3220 P.O. Box 919 Geelong 3220
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www.stqc.com.au ACN: 120 048 857 ABN: 45 120 048 857

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GEOTECHNICAL INVESTIGATION ADDENDUM

TESTING PROGRAMME & REPORT

1. Report has been prepared by qualified persons and based on current available standards.
2. Recommendations are based on the assumption that limited test positions are representative of the sub-surface profile.
3. Whilst care has been taken to accurately report on the sub-surface conditions across the site it is not possible to anticipate unexpected sub-surface variations given the limited testing performed.
4. Changes in legislative policy may require report update or additional testing.

The purpose of this report is to conduct a limited and preliminary geotechnical investigation. Where any variation or anomalies are encountered we recommend additional investigation and reporting by us to resolve any potential issues.

GENERAL COMMENTS

St Quentin Consulting does not accept responsibility for our report where it has been altered or not reproduced in full, including addendum.

Dimensions, slope, test locations are approximate only and must not be used for calculation of positioning.

Recommendations are based on information regarding the site and development type provided by the client or agent. If information supplied is not accurate or if significant changes are required our report may be inappropriate. We cannot accept responsibility for significant changes and anticipate additional fees should further tests or report update be required.

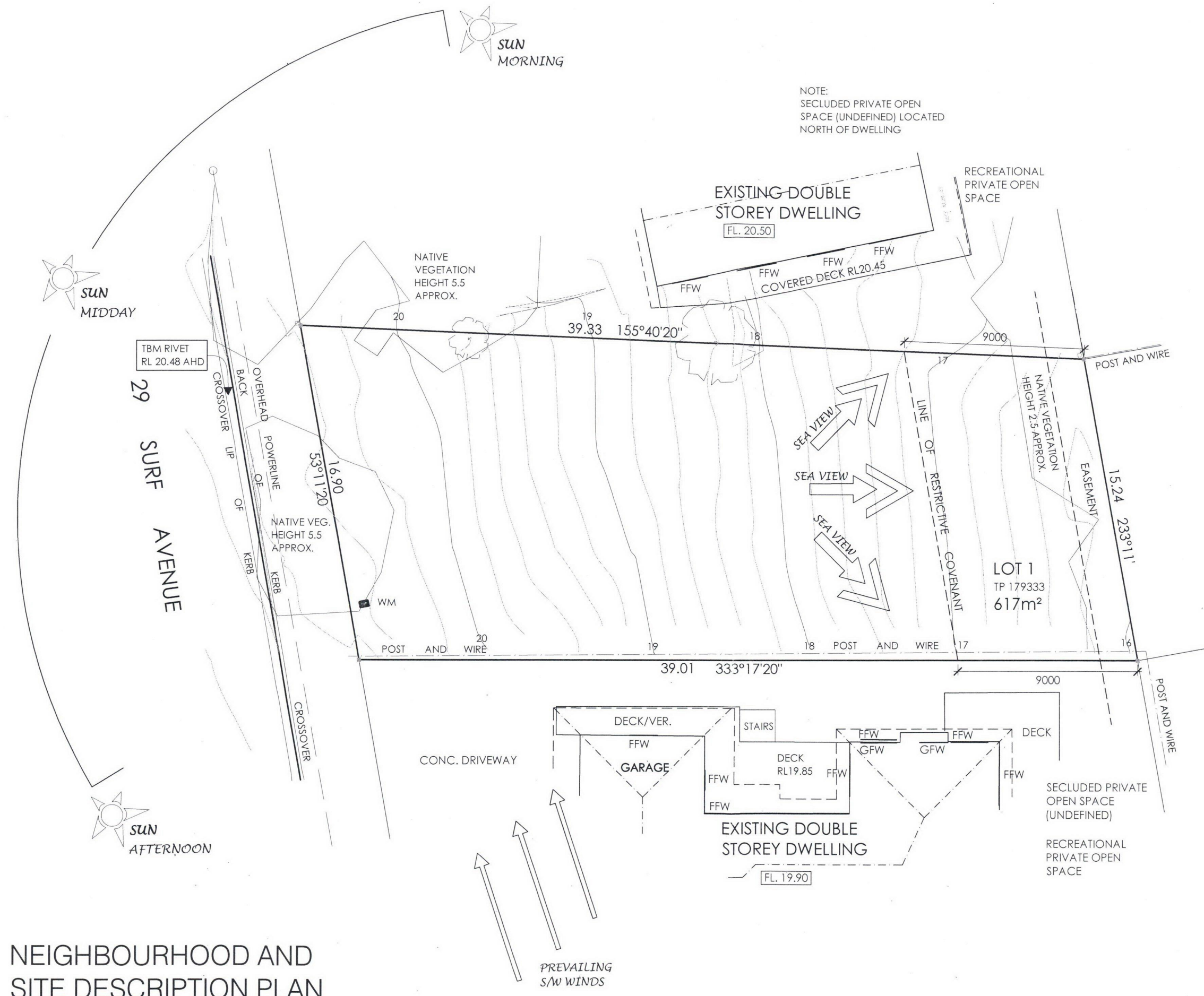
Offset distance to any subsurface excavations must not exceed the minimum angle of repose for the in-situ naturally occurring soil. We estimate the maximum angle of repose for sand is 30 and 45 for clay soils. We do not recommend steeper angles unless competent rock is encountered.

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NOTE:
SECLUDED PRIVATE OPEN SPACE (UNDEFINED) LOCATED NORTH OF DWELLING

NOTES:
NO KNOWN SOIL CONTAMINATION OR FILL ON SITE
NO KNOWN REMOVAL OF SIGNIFICANT TREES WITHIN PREVIOUS 12 MONTHS

LEGEND
GFW GROUND FLOOR WINDOW
FFW FIRST FLOOR WINDOW
○ EXISTING TREE/SHRUB

NEIGHBOURHOOD AND SITE DESCRIPTION PLAN

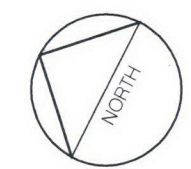
KRIS THOMAS BUILDING DESIGN & DRAFTING SERVICES
60 Noel Street Apollo Bay, Victoria, 3233.
Ph: 0352 377427 Email: kris@ktbuildingdesign.com.au
Fax: 0352 377272 Web: www.ktbuildingdesign.com.au

No.	DATE	AMENDMENT

CLIENT: **E. & A. MORAN**
PROJECT: **PROPOSED DWELLING**
SITE: **29 SURF AVENUE SKENES CREEK 3233**

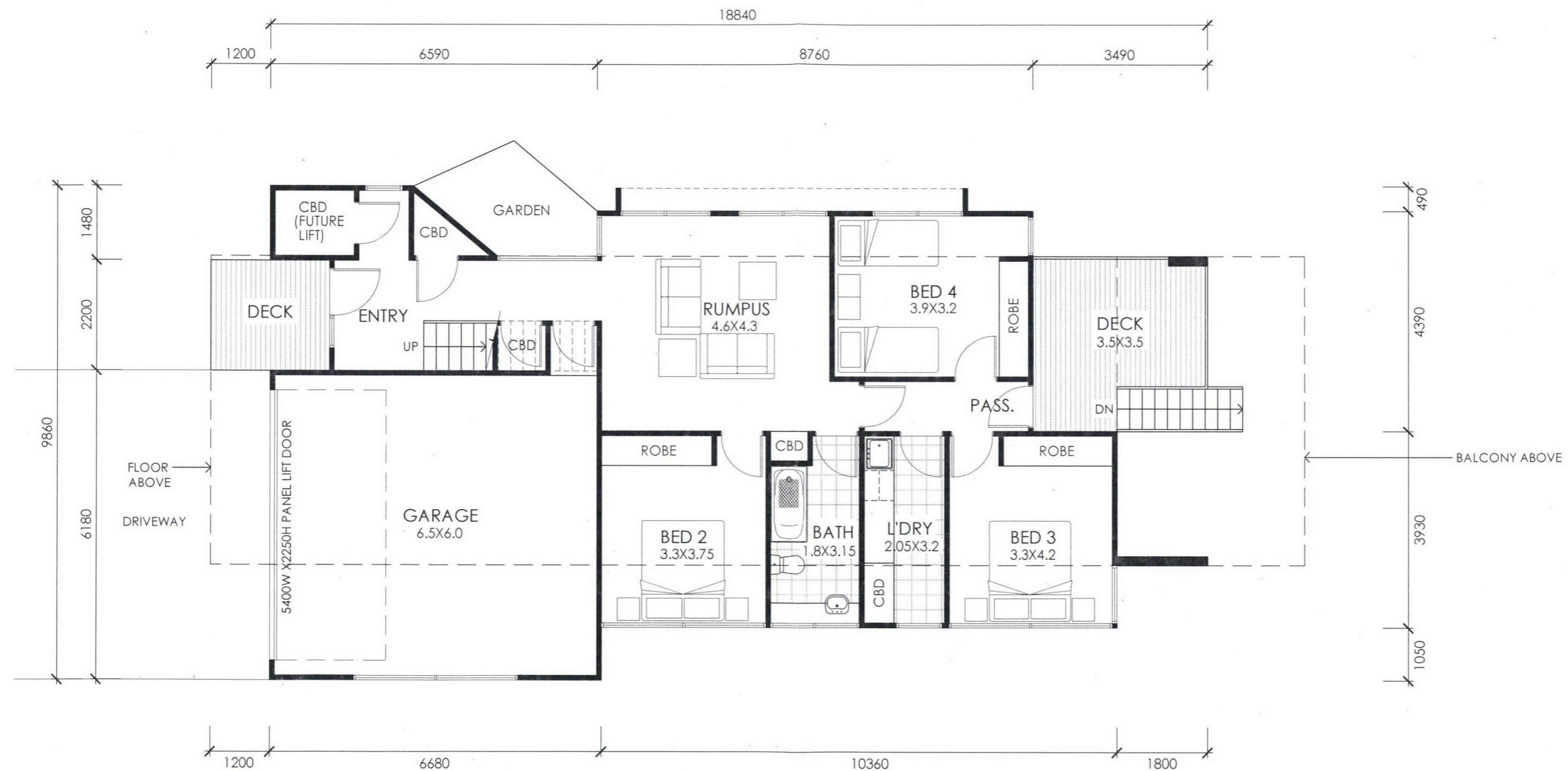
TITLE: **NEIGHBOURHOOD AND SITE DESCRIPTION PLAN**
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PLANNING APPROVAL

MEMBER
bdav
Building Designers Association Victoria



DESIGN: **KT** DATE: **1/04/2019**
DRAWN: **KT** SHEET No. **1 OF 7** REV. **0**
CHECKED: SCALE: **1:200 @ A3**
RBP No. **DP-AD 24574** JOB No. **19-023**

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LEGEND:

— 90mm TIMBER STUD FRAMED WALL

AREAS:

GROSS FLOOR AREA:	
LOWER FLOOR	138.0m ²
UPPER FLOOR	117.9m ²
TOTAL	255.9m²
DECK	5.3m ²
BALCONY	23.2m ²

LOWER FLOOR PLAN

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 Ph: 0352 377427 Email: kris@ktbuildingdesign.com.au
 Fax: 0352 377272 Web: www.ktbuildingdesign.com.au

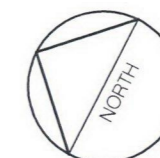
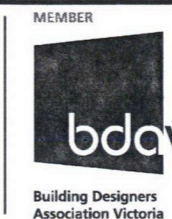
No.	DATE	AMENDMENT

CLIENT: **E. & A. MORAN**
 PROJECT: **PROPOSED DWELLING**
 SITE: **29 SURF AVENUE SKENES CREEK 3233**

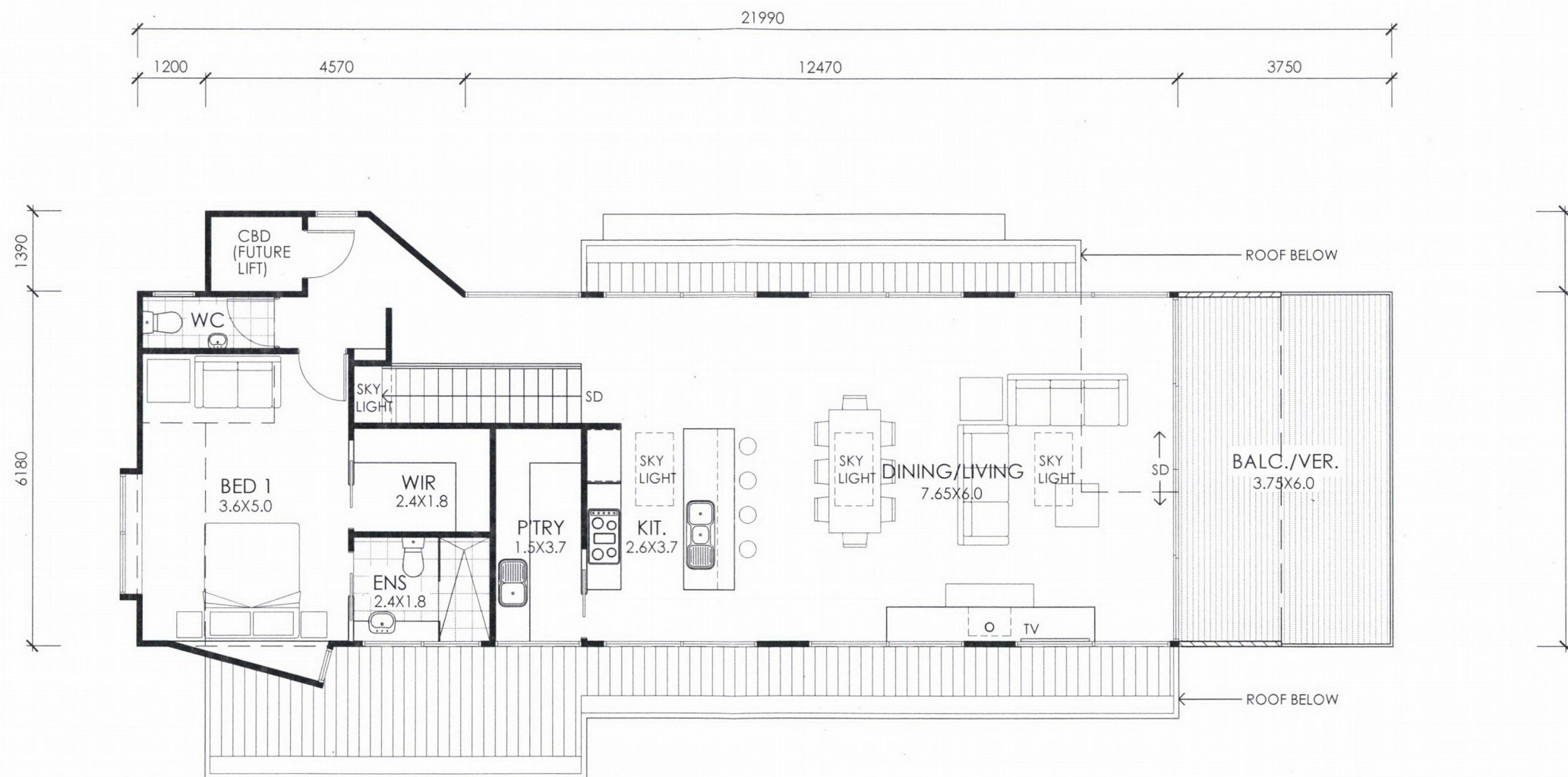
TITLE: **LOWER FLOOR PLAN**

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DRAWN: KT	SHEET No. 4 OF 7 REV. 0
CHECKED:	SCALE: 1:100 @ A3
RBP No. DP-AD 24574	JOB No. 19-023



LEGEND:

— 90mm TIMBER STUD FRAMED WALL

AREAS:

GROSS FLOOR AREA:
 LOWER FLOOR 138.0m²
 UPPER FLOOR 117.9m²
 TOTAL 255.9m²
 DECK 5.3m²
 BALCONY 23.2m²

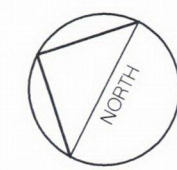
UPPER FLOOR PLAN

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 60 Noel Street Apollo Bay, Victoria, 3233.
 Ph: 0352 377 427 Email: kris@ktbuildingdesign.com.au
 Fax: 0352 377 272 Web: www.ktbuildingdesign.com.au

No.	DATE	AMENDMENT

CLIENT: **E. & A. MORAN**
 PROJECT: **PROPOSED DWELLING**
 SITE: **29 SURF AVENUE SKENES CREEK 3233**

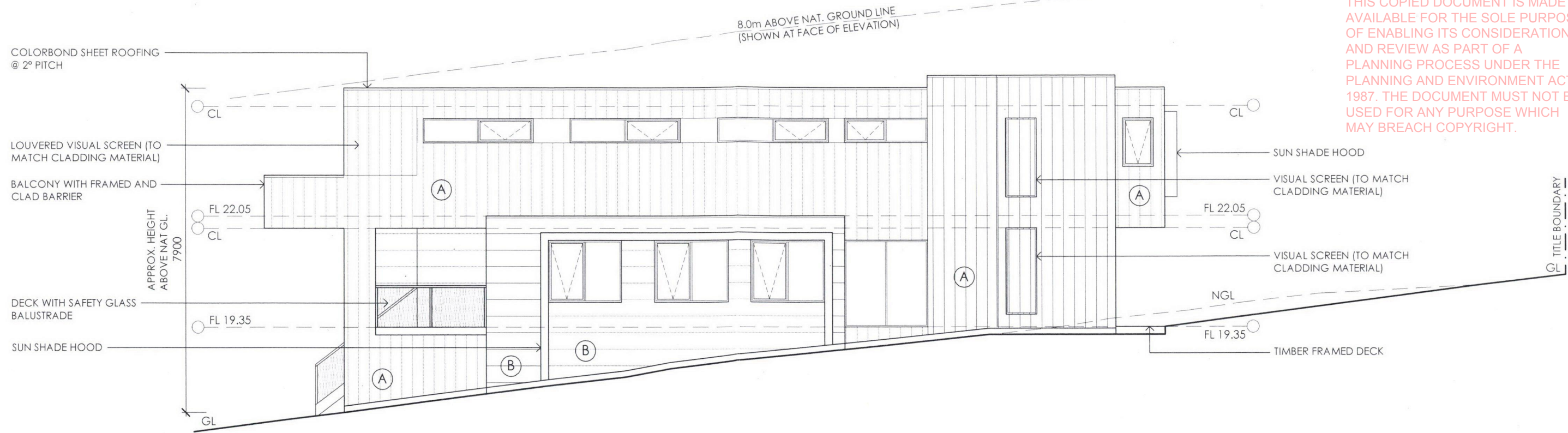
TITLE: **UPPER FLOOR PLAN**
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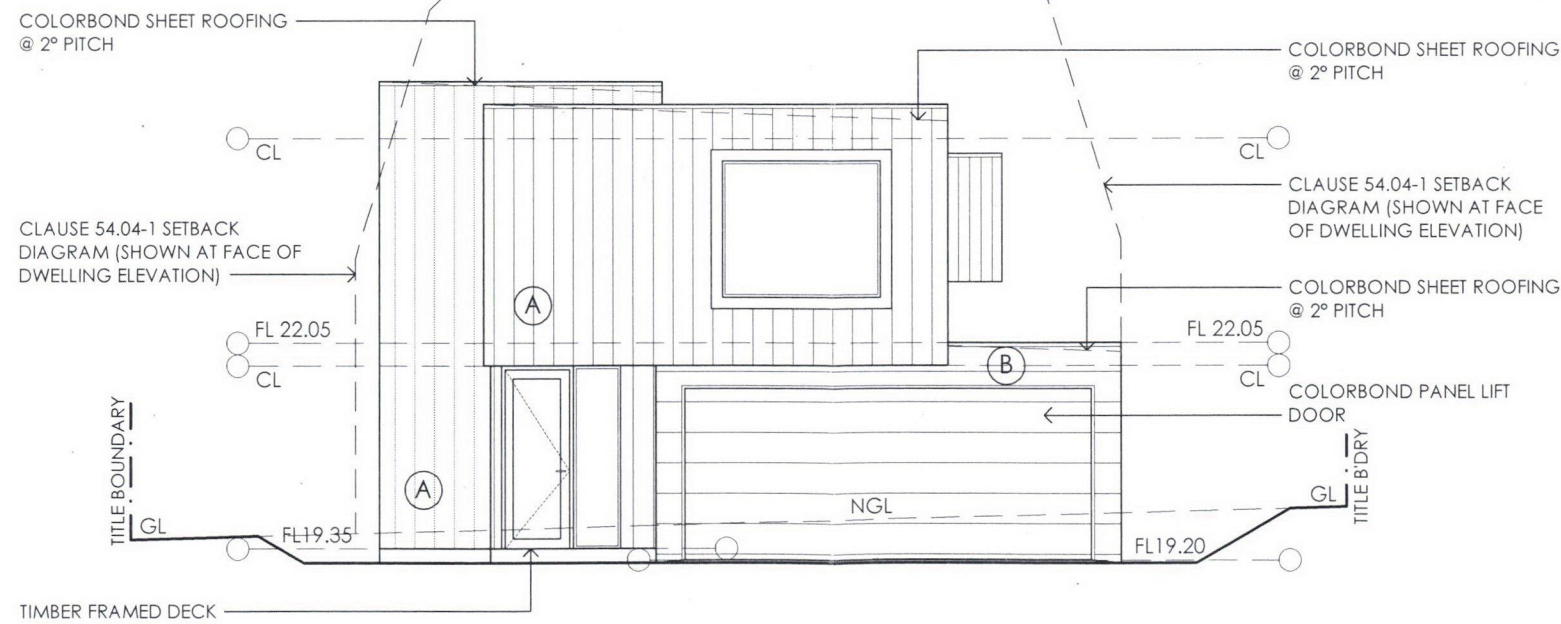
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 DRAWN: **KT**
 CHECKED:
 RBP No. **DP-AD 24574**

DATE: **1/04/2019**
 SHEET No. **5 OF 7** REV. **0**
 SCALE: **1:100 @ A3**
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NORTHEAST ELEVATION



NORTHWEST ELEVATION

EXTERNAL MATERIAL & COLOUR SCHEDULE

- (A) LYSAGHT ENSEAM 265 - COLORBOND MATT MONUMENT (OR SIMILAR)
 - (B) HARDIES SCYON STRIA - COLORBOND DUNE (OR SIMILAR)
- ROOF CLADDING, FASCIA & GUTTERS AND WINDOWS - COLORBOND MONUMENT (OR SIMILAR TO MATCH CLADDING)

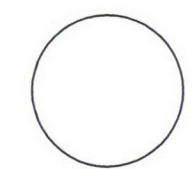
ELEVATIONS 1

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 Ph: 0352 377 427 Email: kris@ktbuildingdesign.com.au
 Fax: 0352 377 272 Web: www.ktbuildingdesign.com.au

No.	DATE	AMENDMENT

CLIENT: **E. & A. MORAN**
 PROJECT: **PROPOSED DWELLING**
 SITE: **29 SURF AVENUE SKENES CREEK 3233**

TITLE: **ELEVATIONS 1**
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DESIGN: **KT** DATE: **1/04/2019**
 DRAWN: **KT** SHEET No. **6 OF 7** REV. **0**
 CHECKED: SCALE: **1:100 @ A3**
 RBP No. **DP-AD 24574** JOB No. **19-023**

Ruby Mills

From: Kris Thomas <kris@ktbuildingdesign.com.au>
Sent: Friday, 31 May 2019 1:02 PM
To: Helen.Evans@colacotway.vic.gov.au
Cc: inq@colacotway.vic.gov.au
Subject: Kris Thomas re PP71/2019-1 29 Surf Avenue Skenes Creek
Attachments: IMG_2871.JPG; IMG_2873.JPG; IMG_2874.JPG; IMG_2877.JPG; IMG_2879.JPG; IMG_2880.JPG; Amended-des-dwgs-28-5-19-A.pdf

COS

Att: Helen Evans

Dear Helen,

Response to your RFI letter dated 30 April 2019 as follows;

1. Native vegetation - The vegetation to be removed is located within the road reserve. The driveway theoretically could be located to the northern side of the crossover to the area not covered by vegetation but this would require the car accommodation to be located on the northern side of the building compromising the solar gain to the dwelling. Also, the front northern side of the property has been identified as a naturally secluded area with good solar access providing the opportunity for enhanced recreational amenity, the loss of this area to a vehicle driveway is considered undesirable. The vegetation to be removed consists of 2 dead tea-tree with trunk circumferences of less than 500mm each, a single coastal bearded heath bush with a total canopy diameter of 1.0m approx., and 20% approx. of canopy of an overgrown wattle tree. The vegetation to be removed, apart from the wattle is of poor condition. The roots of the removed vegetation can remain below ground level, and it's deemed to be not practical to relocate the driveway and compromise the amenity of the dwelling and the workings of the site to avoid the removal of a small area of vegetation. It is considered the removal of the vegetations falls within the exemptions of 52.17, EMO1 and SLO2.
2. 1.7m high fence - The screen fence has been removed from the proposed works and the area of secluded private open space has been relocated to the rear of the site, refer to amended Design Response Site Plan.
3. Standard A1 & A19 - The proposed dwelling has been designed to respect the preferred character. The dwelling has been designed to fit within the existing landscape with minimal disturbance to vegetation, the dwelling is setback from and screened by the vegetation located within the road reserve and the front of the northern adjoining property, and the vegetation located to the rear of the site. The dwelling is set down from street level and excavated into the site to minimise scale and bulk when viewed from the street. The upper floor is predominantly recessed from the lower floor on both sides to reduce bulk and provide an openness between the adjoining buildings. The recession of the upper floor provides opportunities for views between buildings to the coast and surrounding hills. No front fence to the site is proposed. The proposed dwelling is considered to respect the preferred character.
4. Standard A10 Side and Rear Setbacks - The entire south western elevation is within the requirements of the standard. The north eastern elevation is a balance of compliance and non-compliance depending on the articulation of the building and the slope of site. It is not the entire wall that exceeds the standard but rather specific parts. The non-compliance of the north eastern wall height/setback has minimal impact to the amenity of the adjoining neighbour in that there is no effect on the solar access and energy efficiency of the adjoining dwelling. Taken as an average the wall height/side setback and the limited impact to the amenity of the adjoining property, the proposal is considered to meet the objective. Helen, I'm happy to discuss this further if you see this otherwise as your dot point comments are somewhat unclear.
5. Standard A15 Overlooking - The overlooking from the proposed upper floor balcony to 27 Surf Avenue is not to an area of secluded private open space. Historically this 1.5m wide south facing balcony was used as the primary access to the dwelling prior to the access stair being decommissioned due to deterioration. The owners of 27 Surf avenue are proposing a north facing balcony addition to their property in the acknowledgement that the narrow south facing deck is neither suitable nor practical as a functional recreation area. The 9.0m line of overlooking assessment falls short of the habitable room windows.

The overlooking from the proposed upper floor balcony to 31 Surf Avenue is across an open deck/balcony but this is not considered to be secluded private open space. The area being overlooked is elevated and open to viewing from a number of directions. Secluded private open space exists at ground level beyond the line of overlooking from the subject site.

The overlooking detail shown on sheet 3 of 7 is to indicate that the solid balustrade prevents overlooking to the existing habitable room windows of 27 Surf Avenue from the proposed lower floor habitable room windows.

The habitable room windows of the lower floor were intended to be opaque to a height of 1.7m, refer to attached amended elevations drawing.

The northeast elevation screens are intended to be manufactured from perforated metal to match the cladding, perforations no greater than 25% transparent.

Photos of the adjoining properties attached as requested.

Restrictive covenant - It's considered that the proposed overlooking mitigation and justification response is appropriate, it is also considered that 1700mm high visual screens to the sides of the balcony would not constitute it being 'closed'.

6. Standard A17 & A18 - The area allocated to secluded private has been relocated to the rear of the property in conjunction with the area of recreational private open space, refer to attached amended Design Response Site Plan.
7. Proposed driveway - The proposed driveway has been altered to reduce the crossover width to 3.0m wide, refer to amended Design Response Site Plan.

I trust you will find the above information to your satisfaction but please don't hesitate to contact me if you require any additional information.

Regards

Kris

Kris Thomas
Building Design
& Drafting Services

PH: (03) 5237 7427

M: 0455 865 402

Email: kris@ktbuildingdesign.com.au

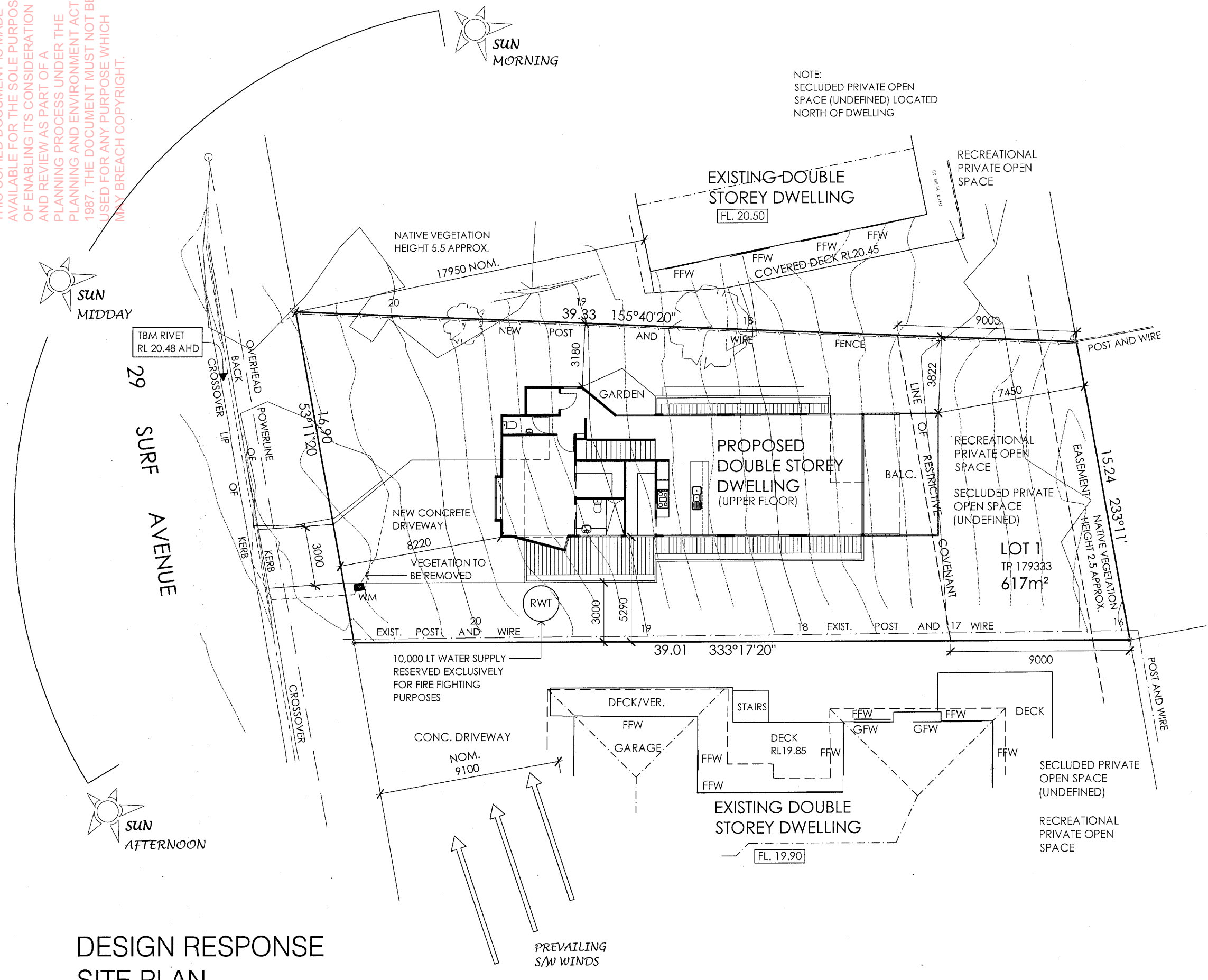
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60 Noel Street

Apollo Bay 3233

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NOTE:
SECLUDED PRIVATE OPEN SPACE (UNDEFINED) LOCATED NORTH OF DWELLING

CLAUSE 54 OBJECTIVES
 NEIGHBOURHOOD CHARACTER OBJECTIVE
 STANDARD A1.
 THE PROPOSED DWELLING HAS BEEN DESIGNED TO RESPOND TO THE FEATURES OF THE SITE AND CONTRIBUTE TO THE PREFERRED NEIGHBOURHOOD CHARACTER
 STANDARD A2
 THE PROPOSED DWELLING IS ORIENTED TO THE STREET SITE LAYOUT AND BUILDING MASSING
 STANDARD A3 MODIFIED REQUIREMENT
 THE PROPOSED FRONT SETBACK IS 8.82m
 STANDARD A4 MODIFIED REQUIREMENT
 BUILDING HEIGHT IS 7.9m APPROX., WITHIN 8.0m SHIRE SCHEDULE
 STANDARD A5 MODIFIED REQUIREMENT
 SITE COVERAGE - AREA OF ALLOTMENT - 617m²
 - AREA OF BUILDINGS - 172.3m²
 - SITE COVERAGE - 27.9%

STANDARD A6
 PERMEABILITY EXCEEDS 20%, 63.1% APPROX.
 STANDARD A7
 THE PROPOSED DWELLING IS ORIENTED TO MAKE USE OF SOLAR ENERGY WITH NO UNREASONABLE REDUCTION OF SOLAR GAIN TO ADJOINING PROPERTIES
 STANDARD A8
 NO TREE/SHRUB TO BE REMOVED FOR THE SITING OF THE PROPOSED DWELLING
 AMENITY IMPACTS
 STANDARD A10 MODIFIED REQUIREMENT
 PROPOSED SIDE SETBACKS ARE 3.18m AND 3.0m, REAR SETBACK 7.45m APPROX.
 STANDARD A11 MODIFIED REQUIREMENT
 NO WALLS TO BE CONSTRUCTED ON BOUNDARIES
 STANDARD A12
 NO EFFECT ON DAYLIGHT TO EXISTING HABITABLE ROOM WINDOWS
 STANDARD A13
 NO EFFECT ON SOLAR ACCESS TO EXISTING NORTH FACING HABITABLE ROOM WINDOWS
 STANDARD A14
 NO UNREASONABLE OVERSHADOWING TO EXISTING PRIVATE OPEN SPACE, REFER TO OVERLOOKING AND OVERSHADOWING DIAGRAM
 STANDARD A15
 NO OVERLOOKING TO EXISTING SECLUDED PRIVATE OPEN SPACE OR HABITABLE ROOM WINDOWS, REFER TO OVERLOOKING AND OVERSHADOWING DIAGRAM

ON-SITE AMENITY AND FACILITIES
 STANDARD A16
 PROPOSED HABITABLE ROOM WINDOWS HAVE ADEQUATE DAYLIGHT
 STANDARD A17
 PRIVATE OPEN SPACE 80m² MIN.
 STANDARD A18
 PRIVATE OPEN SPACE ORIENTED TO RECEIVE SOLAR GAIN
 STANDARD A19 MODIFIED REQUIREMENT
 THE PROPOSED HAS BEEN DESIGNED WITH RESPECT TO THE EXISTING AND PREFERRED NEIGHBOURHOOD CHARACTER
 STANDARD 20
 NO NEW FRONT FENCE PROPOSED

NOTES:
 STORMWATER TO BE CONNECTED TO LEGAL POINT OF DISCHARGE VIA THE EXISTING STORMWATER SYSTEM TO LOCAL AUTHORITY REQUIREMENTS

NO SIGNIFICANT NATIVE VEGETATION TO BE REMOVED FOR THE SITING OF THE PROPOSED DWELLING, NEW PLANTING TO BE NATIVE AND INDIGENOUS TO THE DETERMINATION OF THE OWNER

CAR PARKING SPACES PROVIDED IN PROPOSED GARAGE AND DRIVEWAY
 SITE CONDITIONS ARE TO MEET THE REQUIREMENTS OF THE GEOTECHNICAL REPORT PREPARED FOR THE SITE

SITE FEATURES, LEVELS AND CONTOURS ARE BASED ON THE PLAN OF FEATURE AND LEVEL SURVEY BY SOUTHWEST SURVEY GROUP DATED 20/03/2015

BUILDINGS AND WORKS ARE TO BE CONSTRUCTED TO BAL-12.5 IN ACCORDANCE SCHEDULE 1 TO THE BUSHFIRE MANAGEMENT OVERLAY

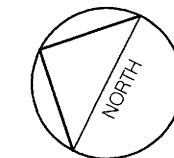
**DESIGN RESPONSE
SITE PLAN**

**KRIS THOMAS
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 Fax: 0352 377 272 Web: www.ktbuildingdesign.com.au

No.	DATE	AMENDMENT
A	28-5-19	ALT. TO DRIVEWAY LAYOUT AND DETAILS

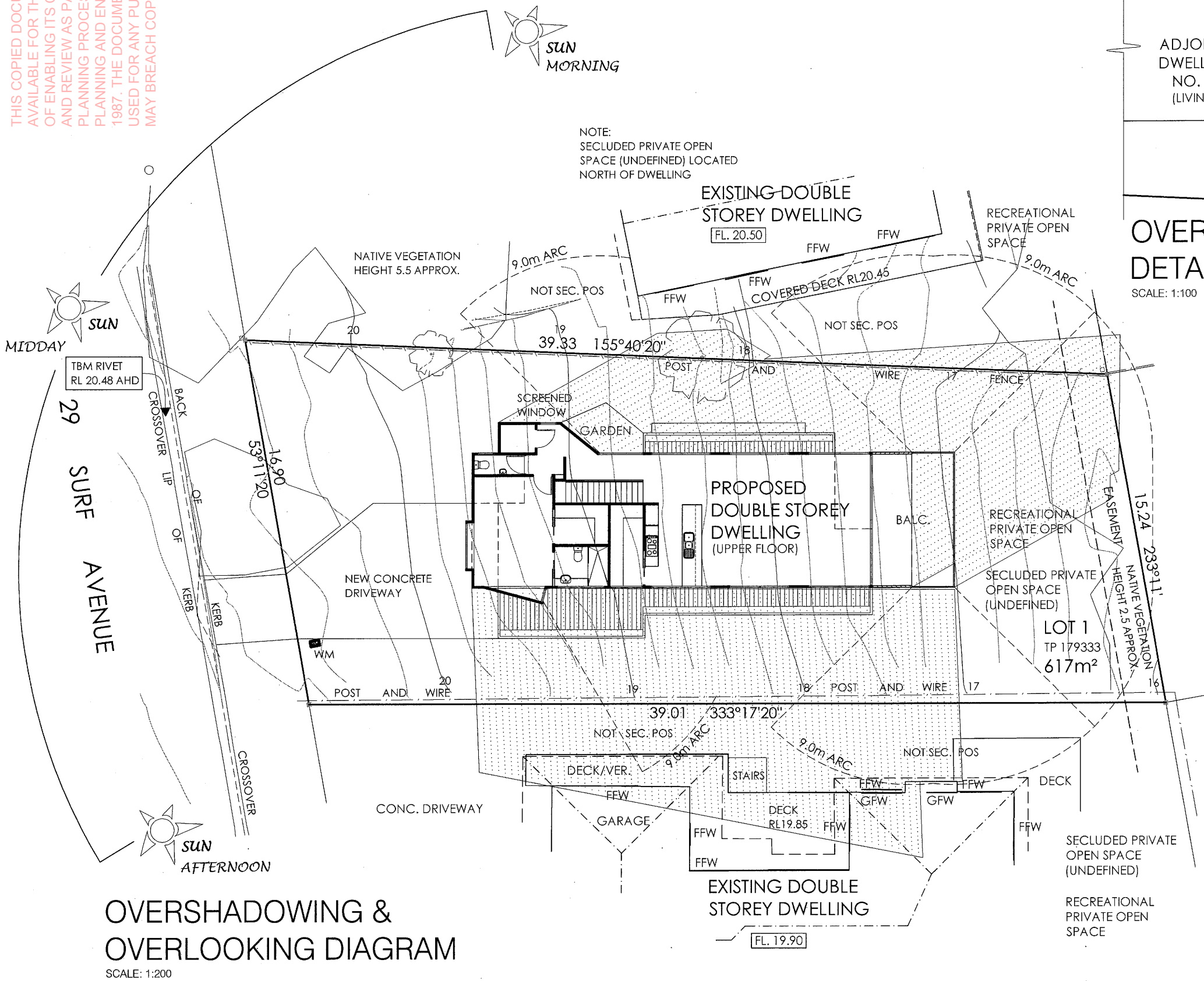
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 PROJECT: **PROPOSED DWELLING**
 SITE: **29 SURF AVENUE
SKENES CREEK 3233**

TITLE: **DESIGN RESPONSE
SITE PLAN**
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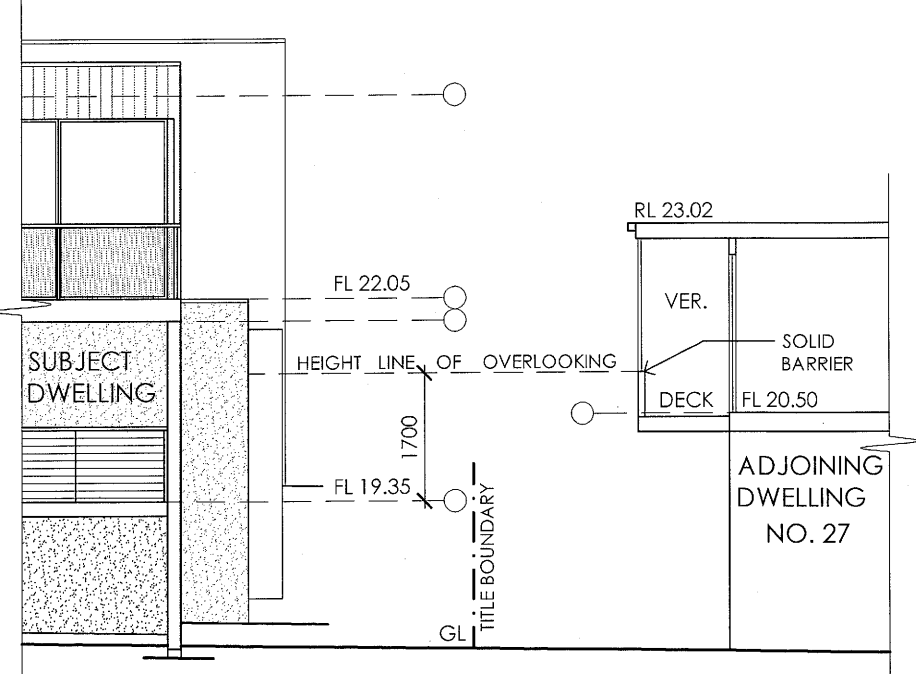
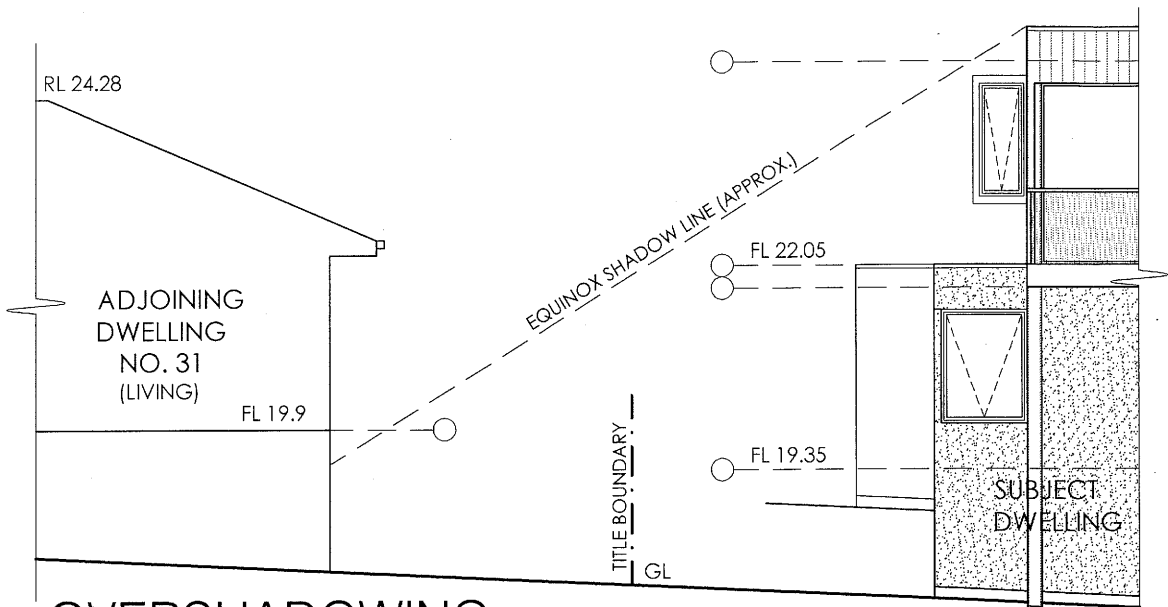
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OVERSHADOWING DETAIL

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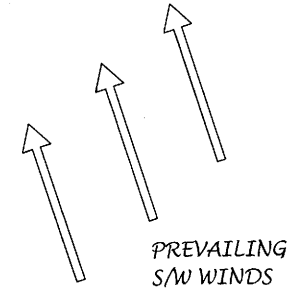
OVERSLOOKING DETAIL

SCALE: 1:100

NOTES:
SHADOWS SHOWN AS CAST ON UNOBSTRUCTED GROUND SURFACE

LEGEND

- SHADOW @ 9.00 AM, 22 SEPTEMBER
- SHADOW @ 3.00 PM, 22 SEPTEMBER
- GFW - GROUND FLOOR HABITABLE ROOM WINDOW
- FFW - FIRST FLOOR HABITABLE ROOM WINDOW



OVERSHADOWING & OVERLOOKING DIAGRAM

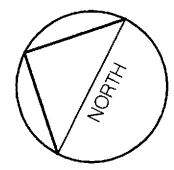
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No.	DATE	AMENDMENT
A	28-5-19	ALT. TO DRIVEWAY LAYOUT AND DETAILS AND OVERLOOKING DETAILS

CLIENT: **E. & A. MORAN**
 PROJECT: **PROPOSED DWELLING**
 SITE: **29 SURF AVENUE SKENES CREEK 3233**

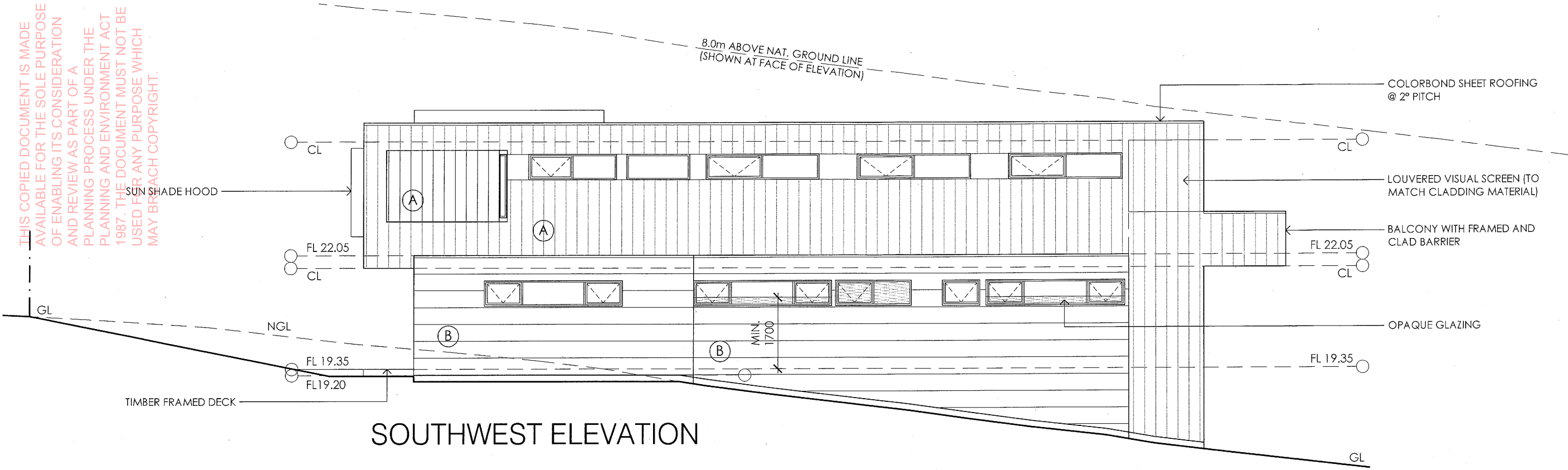
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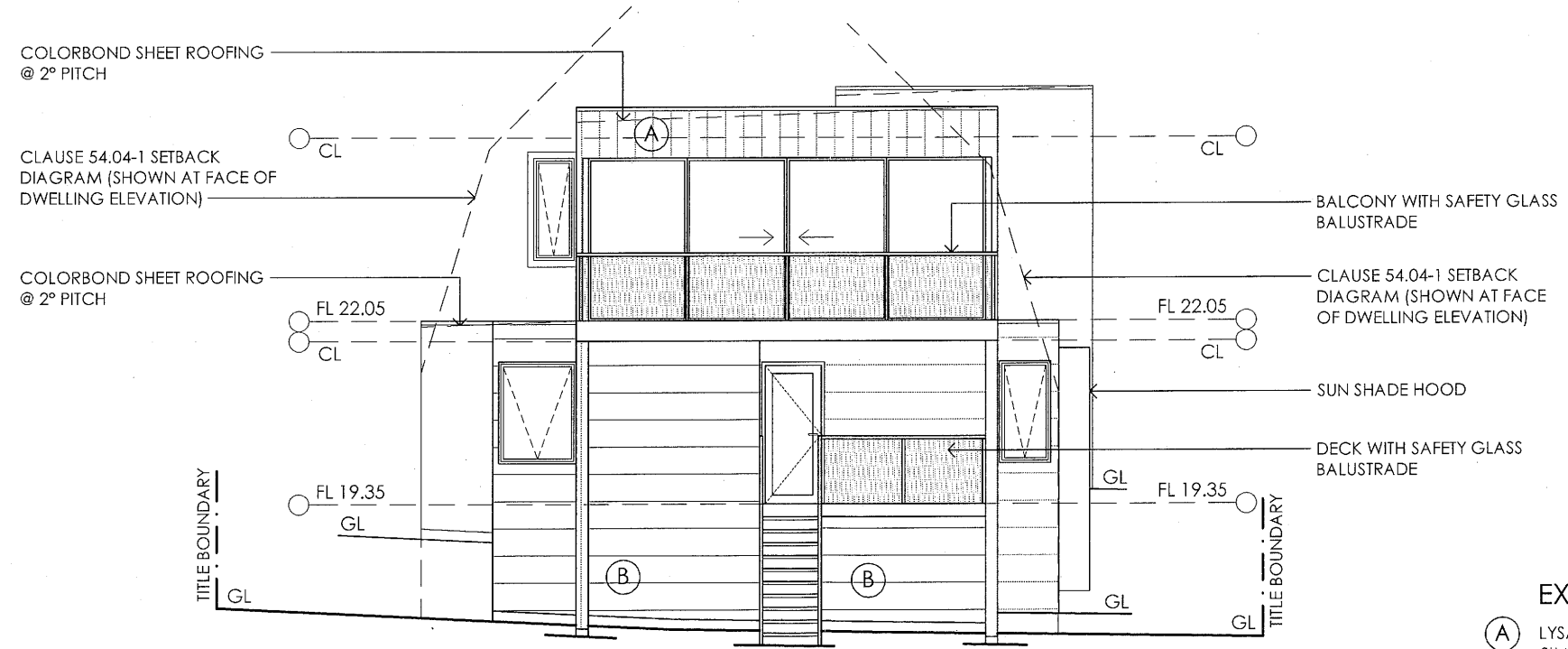
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SOUTHWEST ELEVATION



SOUTHEAST ELEVATION

EXTERNAL MATERIAL & COLOUR SCHEDULE

- (A) LYSAGHT ENSEAM 265 - COLORBOND MATT MONUMENT (OR SIMILAR)
 - (B) HARDIES SCYON STRIA - COLORBOND DUNE (OR SIMILAR)
- ROOF CLADDING, FASCIA & GUTTERS AND WINDOWS - COLORBOND MONUMENT (OR SIMILAR TO MATCH CLADDING)

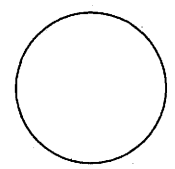
ELEVATIONS 2

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No.	DATE	AMENDMENT
A	28-5-19	ALT. TO DETAILS (OPAQUE WINDOWS)

CLIENT: **E. & A. MORAN**
 PROJECT: **PROPOSED DWELLING**
 SITE: **29 SURF AVENUE SKENES CREEK 3233**

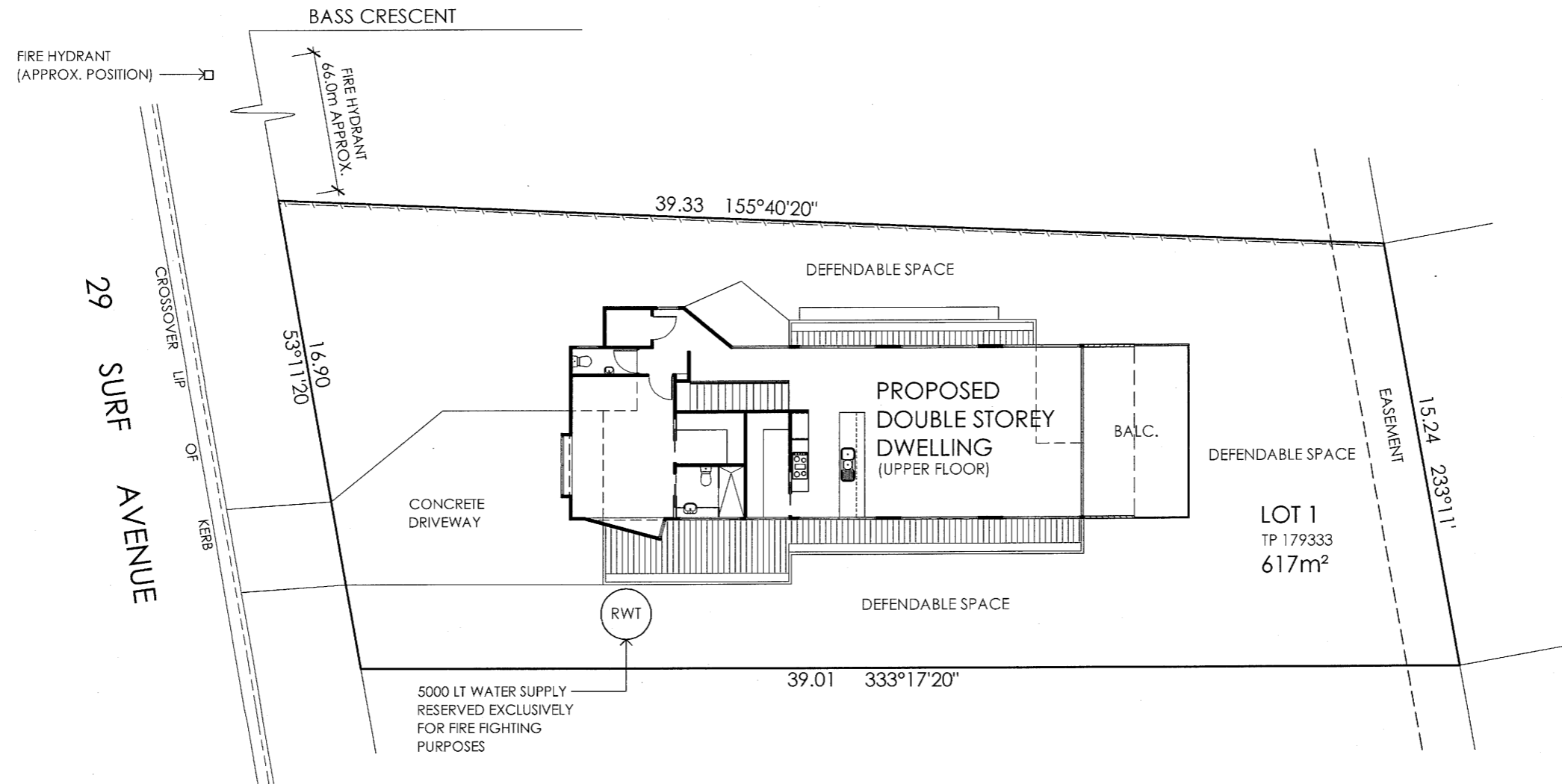
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BUSHFIRE PROTECTION MEASURES

DEFENDABLE SPACE

- DEFENDABLE SPACE IS PROVIDED FOR A DISTANCE OF 30m AROUND THE DWELLING OR TO THE PROPERTY BOUNDARY WHICHEVER IS THE LESSER AND MANAGED IN ACCORDANCE WITH THE FOLLOWING:
- GRASS MUST BE SHORT CROPPED AND MAINTAINED DURING THE DECLARED FIRE DANGER PERIOD.
- ALL LEAVES AND VEGETATION DEBRIS MUST BE REMOVED AT REGULAR INTERVALS DURING THE DECLARED FIRE DANGER PERIOD.
- WITHIN 10 METRES OF A BUILDING, FLAMMABLE OBJECTS MUST NOT BE LOCATED CLOSE TO THE VULNERABLE PARTS OF THE BUILDING.
- PLANTS GREATER THAN 10 CENTIMETRES IN HEIGHT MUST NOT BE PLACED WITHIN 3m OF A WINDOW OR GLASS FEATURE OF THE BUILDING.
- SHRUBS MUST NOT BE LOCATED UNDER THE CANOPY OF TREES.
- INDIVIDUAL AND CLUMPS OF SHRUBS MUST NOT EXCEED 5 SQ. METRES IN AREA AND MUST BE SEPARATED BY AT LEAST 5 METRES.
- TREES MUST NOT OVERHANG OR TOUCH ANY ELEMENTS OF THE BUILDING.
- THE CANOPY OF TREES MUST BE SEPARATED BY AT LEAST 2 METRES
- THERE MUST BE A CLEARANCE OF AT LEAST 2 METRES BETWEEN THE LOWEST TREE BRANCHES AND GROUND LEVEL.

CONSTRUCTION STANDARD

- DWELLING DESIGNED AND CONSTRUCTED TO A MINIMUM BUSHFIRE ATTACK LEVEL OF BAL-12.5

WATER SUPPLY

THE FOLLOWING REQUIREMENTS APPLY:

- AN EFFECTIVE CAPACITY OF 5000 LITRES
- BE STORED IN AN ABOVE GROUND WATER TANK CONSTRUCTED OF CONCRETE OR METAL.
- HAVE ALL FIXED ABOVE GROUND WATER PIPES AND FITTINGS REQUIRED FOR FIREFIGHTING PURPOSES MADE OF CORROSIVE RESISTANT METAL.
- INCLUDE A SEPARATE OUTLET FOR OCCUPANT USE.

MANDATORY CONDITION

THE BUSHFIRE PROTECTION MEASURES FORMING PART OF THIS PERMIT OR SHOWN ON THE ENDORSED PLANS, INCLUDING THOSE RELATING TO CONSTRUCTION STANDARDS, DEFENDABLE SPACE, WATER SUPPLY AND ACCESS, MUST BE MAINTAINED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY ON A CONTINUING BASIS. THIS CONDITION CONTINUES TO HAVE FORCE AND EFFECT AFTER THE DEVELOPMENT AUTHORISED BY THIS PERMIT HAS BEEN COMPLETED

BUSHFIRE MANAGEMENT PLAN

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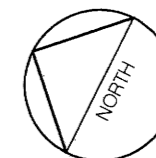
No.	DATE	AMENDMENT
A	28-5-19	ALT. TO DRIVEWAY LAYOUT

CLIENT: **E. & A. MORAN**
 PROJECT: **PROPOSED DWELLING**
 SITE: **29 SURF AVENUE SKENES CREEK 3233**

TITLE: **BUSHFIRE MANAGEMENT PLAN**
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