

PP99/2019-1

**CONVERSION 9 2-6 Great Ocean Road
MARENGO**

Lot: 9 PS: 548144 V/F: 11044/077

Development of Dwelling

K A Crowl & S J Crowl

Officer - Ian Williams

**EXHIBITION
FILE**

This document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.

Submissions to this planning application will be accepted until a decision is made on the application.

If you would like to make a submission relating to a planning permit application, you must do so in writing to the Planning Department

From: "Aarons Outdoor Living Campbellfield" <crowl.karen@gmail.com>
Sent: 09/05/19 11:46 AM
To: inq@colacotway.vic.gov.au
Subject: Planning Permit Application - U9, 2-6 Great Ocean Rd Marengo
Attachments: Plan sub division.pdf, Title.pdf, AR869774W.pdf, AR871631H.pdf, Owners Corp Cert.pdf, Clause 54.pdf, Bushfire Management Plan BAL29.pdf, FINAL PLANS for submission.pdf, Planning-Forms-Planning-Permit-Application-Form-includes-VicSmart.pdf

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Dear Planning Team,

Please find attached an application for a planning permit for U9, 2-6 Great Ocean Rd Marengo.

I have had a few phone calls now with staff at Colac Otway Shire so hope I have covered everything that is required for this application!

My husband and I purchased Lot 9 earlier this year and we also own lots 2, 3 & 7 on the same allotment. We intend on residing permanently in the residence to be built on Lot 9.

In 2008, the previous owner of the land, Michael Peck obtained planning and building permits for a dwelling to be constructed on this property. We have decided to use these plans for our own build knowing that they met the criteria for building in Marengo at that time. There have been some minor alterations completed by original architect Adrian Martin but overall size and layout is essentially the same as the original submission.

Please advise if there is any further documentation required.

Kind regards
Karen

Karen Crowl |
Owner / Manager, Aarons Outdoor Living Campbellfield and South Morang

515 Cooper Street, CAMPBELLFIELD, VIC, 3061

843 Plenty Rd, South Morang, VIC, 3752

P: (03) 9308 5111 M: 0425 780 033

E: crowl.karen@gmail.com

W: www.aaronsoutdoor.com.au / www.facebook.com/AaronsOutdoorLiving





Planning Enquiries
Phone: (03) 5232 9400
Email: inq@colacotway.vic.gov.au
Web: www.colacotway.vic.gov.au

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Office Use Only

VicSmart?

YES NO

Specify class of VicSmart application:

Application No.:

Date Lodged: / /

Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the back of this form.

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

⚠ Questions marked with an asterisk (*) must be completed.

⚠ If the space provided on the form is insufficient, attach a separate sheet.

i Click for further information.

Clear Form

Application Type

Is this a VicSmart application?*

No Yes

If yes, please specify which

VicSmart class or classes:.....

⚠ If the application falls into one of the classes listed under Clause 92 or the schedule to Clause 94, it is a VicSmart application.

Pre-application Meeting

Has there been a pre-application meeting with a Council planning officer?

No Yes

If 'Yes', with whom?: Have had phone and email correspondence with Helen & Caroline

Date: 05/02/2019

day / month / year

The Land **i**

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.: 9 St. No.: 2-6 St. Name: Great Ocean Road
Suburb/Locality: Marengo Postcode: 3233

Formal Land Description *

Complete either A or B.

⚠ This information can be found on the certificate of title

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A Lot No.: 9 Lodged Plan Title Plan Plan of Subdivision No.: PS548144T
OR
B Crown Allotment No.: Section No.:
Parish/Township Name:

The Proposal

⚠ You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

i For what use, development or other matter do you require a permit? *

A permit is required for a residential dwelling to be built for personal use.

A planning and building permit was approved for such a dwelling in 2008 for the previous land owner.

We have made some minor amendments to the original plans for re-submission with this application. The architect Adrian Martin Design prepared the original plans and has attended to the amendments.

📎 Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

i Estimated cost of any development for which the permit is required *

Cost \$ 300,000

⚠ You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within metropolitan Melbourne (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy must be paid to the State Revenue Office and a current levy certificate must be submitted with the application. Visit www.sro.vic.gov.au for information.

Existing Conditions **i**

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Vacant

📎 Provide a plan of the existing conditions. Photos are also helpful.

Title Information **i**

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

📎 Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

Applicant and Owner Details

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Name: Title: Mrs First Name: Karen & Stuart Surname: Crowl

Organisation (if applicable):

Postal Address: If it is a P.O. Box, enter the details here:

Unit No.: St. No.: 17 St. Name: Hazelton Dr

Suburb/Locality: Doreen State: VIC Postcode: 3754

Please provide at least one contact phone number *

Contact information for applicant OR contact person below

Business phone: Email: crowl.karen@gmail.com

Mobile phone: 0425780033 Fax:

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Contact person's details* Same as applicant

Name: Title: First Name: Surname:

Organisation (if applicable):

Postal Address: If it is a P.O. Box, enter the details here:

Unit No.: St. No.: St. Name:

Suburb/Locality: State: Postcode:

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name: Same as applicant

Title: First Name: Surname:

Organisation (if applicable):

Postal Address: If it is a P.O. Box, enter the details here:

Unit No.: St. No.: St. Name:

Suburb/Locality: State: Postcode:

Owner's Signature (Optional): Date:

day / month / year

Information requirements

Contact Council's planning department to discuss the specific requirements for his application and obtain a planning permit checklist.

Is the required information provided?

Yes No

Declaration

This form must be signed by the applicant *

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature:  Date: 9-5-2019

day / month / year



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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 11044 FOLIO 077

Security no : 124077374711G
Produced 09/05/2019 10:36 AM

LAND DESCRIPTION

Lot 9 on Plan of Subdivision 548144T.
PARENT TITLES :
Volume 06420 Folio 867 Volume 09636 Folio 646 Volume 09727 Folio 105
Created by instrument PS548144T 14/12/2007

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors
STUART JOHN CROWL
KAREN ANNE CROWL both of 17 HAZELTON DRIVE DOREEN VIC 3754
AR871631H 25/01/2019

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS548144T FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AR869774W (E)	CONV PCT & NOM ECT TO LC	Completed	24/01/2019
AR871631H (E)	TRANSFER	Registered	25/01/2019

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: UNIT 9 2-6 GREAT OCEAN ROAD MARENGO VIC 3233

OWNERS CORPORATIONS

The land in this folio is affected by
OWNERS CORPORATION 1 PLAN NO. PS548144T

DOCUMENT END



Imaged Document Cover Sheet

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Document Type	Plan
Document Identification	PS548144T
Number of Pages (excluding this cover sheet)	4
Document Assembled	09/05/2019 10:39

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PLAN OF SUBDIVISION

STAGE NO. / LR use only / Plan Number
EDITION 2 / **PS 548144T**

Location of Land
Parish: KRAMBRUK
Township:
Section: 2A
Crown Allotments: 1, 1A, 2 & 7 (PART)
Crown Portion:

Title Reference: VOL 6420 FOL 867, VOL 9636 FOL 646 & VOL 9727 FOL 105
Last Plan Reference:
Postal Address: 2/6 GREAT OCEAN ROAD MARENGO, 3233 (at time of subdivision)
MGA Co-ordinates: E 731 325 Zone: 54 (of approx. centre of land N 5 704 860 in plan)

Council Certification and Endorsement
Council Name: COLAC OTWAY SHIRE COUNCIL **Ref. S65/07**
 1. ~~This plan is certified under section 6 of the Subdivision Act 1988.~~
 2. This plan is certified under section 11(7) of the Subdivision Act 1988. Date of original certification under section 6 **16/10/06**
 3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988.
OPEN SPACE
 (i) A requirement for public open space under section 18 of the Subdivision Act 1988 ~~has~~/has not been made.
 (ii) ~~The requirement has been satisfied.~~
 (iii) ~~The requirement is to be satisfied in Stage~~
~~Council Delegate~~
~~Council Seal~~
~~Date~~ / /
 Re-certified under section 11(7) of the Subdivision Act 1988
 Council Delegate
~~Council Seal~~
 Date **3 / 12 / 07**

Vesting of Roads and/or Reserves

Identifier	Council/Body/Person
NIL	

Notations
Staging This plan ~~is~~/is not a staged subdivision
 Planning Permit No. PP321/05
Depth Limitation 15 METRES BELOW THE SURFACE
 APPLIES TO THE LAND CONTAINED IN CROWN ALLOTMENT 1A, SECTION 2A BEING THE LAND CONTAINED IN CERTIFICATE OF TITLE VOL 9727 FOL 105

LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE OWNERS CORPORATIONS - SEE OWNERS CORPORATION SEARCH REPORT FOR DETAILS

Survey This plan ~~is~~/is not based on survey
 This survey has been connected to permanent marks no(s) 20 & 27
 In Proclaimed Survey Area No. 78

Easement Information

Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement(Road)
 SECTION 12(2) OF THE SUBDIVISION ACT 1988 APPLIES TO ALL THE LAND IN THIS PLAN

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	POWERLINE	SEE DIAG	THIS PLAN - SECTION 88 OF THE ELECTRICITY INDUSTRY ACT 2000	POWERCOR AUSTRALIA LIMITED
E-2	POWERLINE	2	THIS PLAN - SECTION 88 OF THE ELECTRICITY INDUSTRY ACT 2000	POWERCOR AUSTRALIA LIMITED
E-3	DRAINAGE	2	INSTRUMENT 3421750	COLAC OTWAY SHIRE COUNCIL

LR use only
Statement of Compliance/Exemption Statement
 Received
 Date **14/12/07**
LR use only
 PLAN REGISTERED
 TIME **8:51 AM**
 DATE **14/12/07**

 Assistant Registrar of Titles
 Sheet 1 of 3 sheets

TONY JEAVONS SURVEYS
 LAND SURVEYORS
 PO BOX 196
 APOLLO BAY
 PHONE (03) 52376757 FAX (03) 52376949
 EMAIL tjsurveys@bigpond.com

LICENSED SURVEYOR (PRINT) ANTHONY HAROLD JEAVONS
 SIGNATURE DATE 27/11/2007
 REF 1963 VERSION 08

DATE **3 / 12 / 07**
 COUNCIL DELEGATE SIGNATURE
 Original sheet size A3

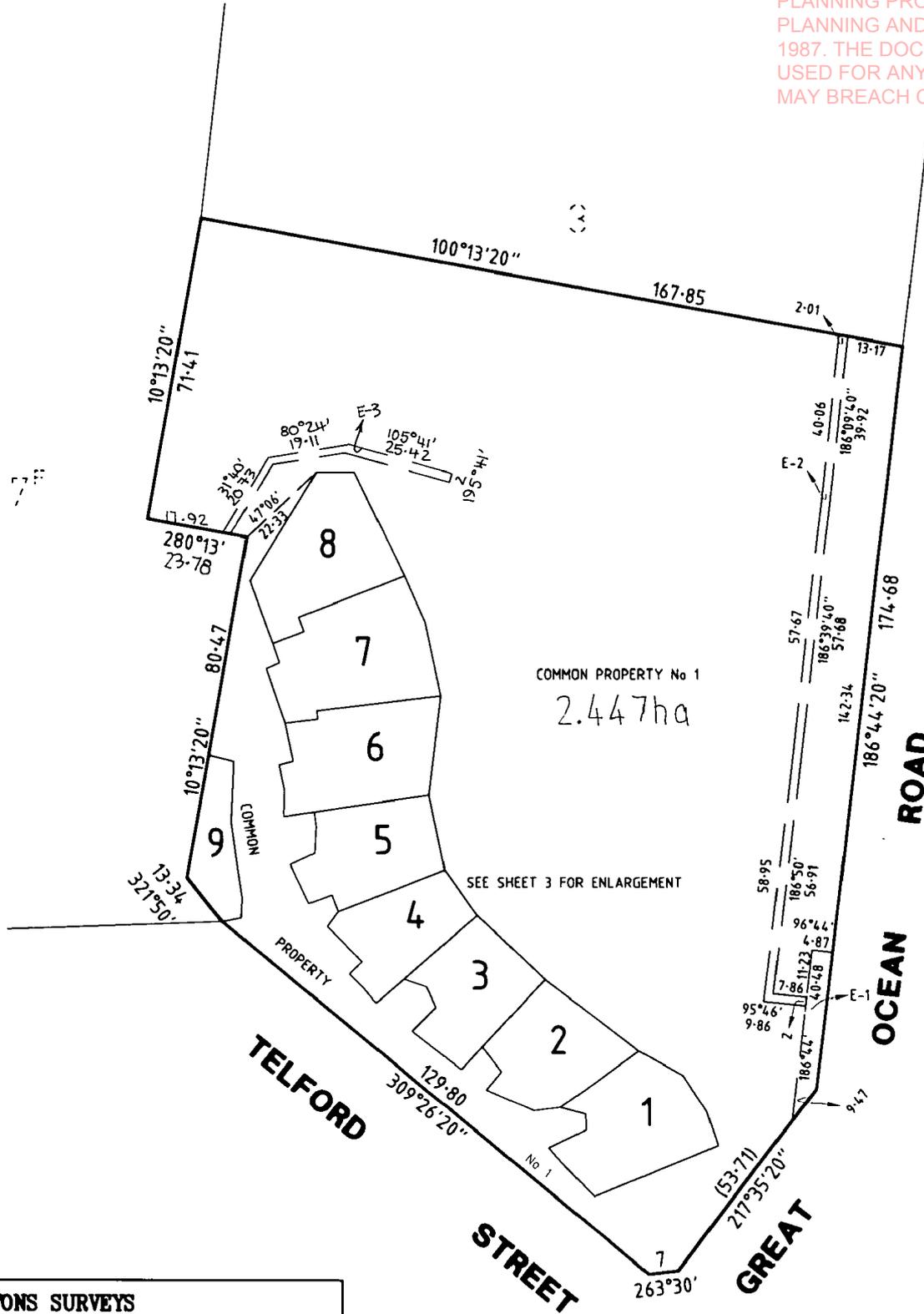
PLAN OF SUBDIVISION

STAGE NO.

Plan Number

PS 548144T

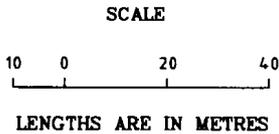
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 PHONE (03) 52376757 FAX (03) 52376949
 EMAIL tjsurveys@bigpond.com

Sheet 2

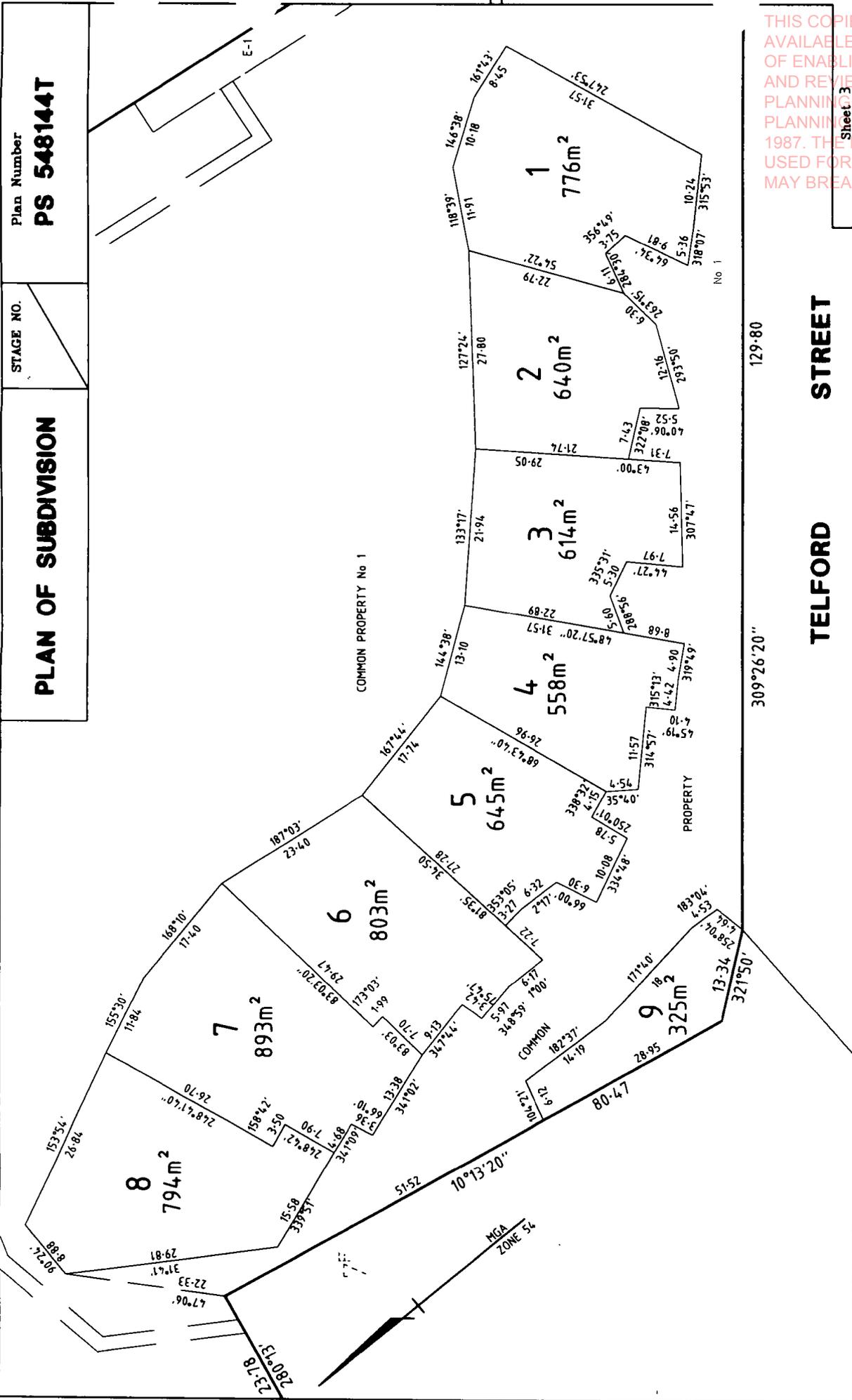
ORIGINAL SCALE SHEET SIZE A3
 1:1000



LICENSED SURVEYOR (PRINT) ANTHONY HAROLD JEAVONS
 SIGNATURE..... DATE 27/11/2007
 REF 1963 VERSION 08

DATE 3./12./07
 COUNCIL DELEGATE SIGNATURE
 Original sheet size A3





Plan Number
PS 548144T

STAGE NO.

PLAN OF SUBDIVISION

TELFORD STREET

129-80

309°26'20"

Sheet 3

DATE 27/12/07

COUNCIL DELEGATE SIGNATURE

Original sheet size A3

LICENSED SURVEYOR (PRINT) Anthony Harold Jeavons

SIGNATURE DATE 27/11/2007

REF 1963

VERSION 08

SCALE

5 0 10 20

LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE A3

SCALE 1:500

TONY JEAVONS SURVEYS

LAND SURVEYORS

PO BOX 196

APOLLO BAY

PHONE (03) 52378757 FAX (03) 52376949

EMAIL tjsurveys@igpond.com



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Produced: 09/05/2019 10:59:45 AM

Dealing Number: AR869774W

Status: Completed

Date and Time Lodged: 24/01/2019 03:24:01 PM

Responsible Subscriber: PHILLIP CONSIDINE. LL.B LAWYER

Customer Code: 20831P

Reference:

APPLICATION TO CONVERT AND NOMINATE PAPER CERTIFICATE OF TITLE TO AN ELECTRONIC INSTRUMENT

The Subscriber authorises the conversion of the following paper Certificate(s) of Title to electronic Certificate(s) of Title and their nomination to the instruments contained in the Lodgement Case shown below:

Certificate(s) of Title:

Volume 11044 Folio 077

Lodgement Case ID: 3578089

Following the registration of the instruments in the Lodgement Case, do not return the eCT Control to the nominating Subscriber

Subscriber's Certification:

1. The Certifier has:

(a) retrieved; and

(b) either securely destroyed or made invalid

the (duplicate) certificate(s) of title for the folio(s) of the Register listed in this Registry Instrument or Document.

Signed by:

Phillip James Considine

(for PHILLIP CONSIDINE. LL.B LAWYER)

Customer Code: 20831P

Dated: 24 January 2019

File Notes:

NIL

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Statement End.



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Status	Registered	Dealing Number	AR871631H
Date and Time Lodged	25/01/2019 11:23:16 AM		

Lodger Details

Lodger Code	18544F
Name	MANN LEGAL
Address	
Lodger Box	
Phone	
Email	
Reference	

TRANSFER

Jurisdiction	VICTORIA
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Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

Land Title Reference

11044/077

Transferor(s)

Given Name(s)	MICHAEL JOHN
Family Name	PECK

Estate and/or Interest being transferred

Fee Simple

Consideration

\$AUD 115000

Transferee(s)

Tenancy (inc. share)	Joint Tenants
Given Name(s)	STUART JOHN
Family Name	CROWL
Address	
Street Number	17
Street Name	HAZELTON
Street Type	DRIVE
Locality	DOREEN
State	VIC



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Electronic Instrument Statement

Postcode	3754
Given Name(s)	KAREN ANNE
Family Name	CROWL
Address	
Street Number	17
Street Name	HAZELTON
Street Type	DRIVE
Locality	DOREEN
State	VIC
Postcode	3754

Duty Transaction ID

4505836

The transferor transfers to the transferee their estate and/or interest in the land specified for the consideration, subject to any restrictive covenant set out or referred to in this transfer.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferee.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant legislation and any Prescribed Requirement.

Executed on behalf of	STUART JOHN CROWL KAREN ANNE CROWL
Signer Name	BELINDA JANE COOK
Signer Organisation	MANN LEGAL
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	25 JANUARY 2019

Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferor.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant legislation and any Prescribed Requirement.

Executed on behalf of	MICHAEL JOHN PECK
Signer Name	PHILLIP JAMES CONSIDINE
Signer Organisation	PHILLIP CONSIDINE. LL.B LAWYER
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	21 JANUARY 2019

File Notes:

NIL

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Statement End.



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Owners Corporation Search Report

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OWNERS CORPORATION 1
PLAN NO. PS548144T

The land in PS548144T is affected by 1 Owners Corporation(s)

Land Affected by Owners Corporation:

Common Property 1, Lots 1 - 9.

Limitations on Owners Corporation:

Unlimited

Postal Address for Services of Notices:

123 CHURCH STREET HAWTHORN VIC 3122

AL274757Q 06/08/2014

Owners Corporation Manager:

NIL

Rules:

Model Rules apply unless a matter is provided for in Owners Corporation Rules. See Section 139(3) Owners Corporation Act 2006

Owners Corporation Rules:

NIL

Additional Owners Corporation Information:

NIL

Notations:

NIL

Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Common Property 1	0	0
Lot 1	26	26
Lot 2	25	25
Lot 3	25	25
Lot 4	25	25
Lot 5	25	25
Lot 6	26	26
Lot 7	26	26



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Owners Corporation Search Report

Produced: 09/05/2019 10:39:11 AM

OWNERS CORPORATION 1
PLAN NO. PS548144T

Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Lot 8	25	25
Lot 9	23	23
Total	226.00	226.00

From 31 December 2007 every Body Corporate is deemed to be an Owners Corporation. Any reference to a Body Corporate in any Plan, Instrument or Folio is to be read as a reference to an Owners Corporation.

Statement End.

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9 2/6 Great Ocean Road, Marengo, Victoria

Bushfire Management Statement for a proposed dwelling



DRAFT Report for
Karen Crowl
February 2019



BeaconEcological

Bushfire Management Statement for a proposed dwelling – 9 2/6 Great Ocean Road, Marengo, Victoria.

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Tax Invoice
833

 **Beacon Ecological**

3 Menczer Lane, Jan Juc, VIC 3226

Ph: 0406 113 438

Email: luke@beaconecological.com.au

ABN 351 621 669 82

Invoice Date: 27/02/2019

Karen Crowl

Via email

Item	Cost	GST	TOTAL
Bushfire Management Statement for a proposed development at 9 2/6 Great Ocean Road, Marengo, Victoria.	\$1,830.00	\$183.00	\$2,013.00
GRAND TOTAL			\$2,013.00

Direct Credit Details:

Account Name: Beacon Ecological
BSB No.: 013839
Acc No.: 269302095

Cheque Postal Details: Beacon Ecological, 3 Menczer Lane, Jan Juc, VIC 3226

Payment Terms: 7 Days

ACKNOWLEDGEMENTS

Beacon Ecological would like to acknowledge the following for their contribution to the project:

- **Karen Crowl** (Landowner) for site and project information.



Beacon Ecological

3 Menczer Lane

Jan Juc Victoria 3228

Email: luke@beaconecological.com.au

Web: www.beaconecological.com.au

ABN: 351 621 669 82

Report Version: DRAFT V1 February 27 2018

Field assessment: Luke Hynes

Report: Luke Hynes

Cover Photo: 9 2/6 Great Ocean Road, Marengo.

DISCLAIMER

The author advises that the information presented in this report, including any bushfire management advice, has been prepared with all due diligence and care, and based on the best available knowledge and research.

However the author takes no responsibility for any loss, injury or financial damage resulting from the reliance and/or application of management advice provided in the report. Requirements detailed in this document do not guarantee survival of the buildings or the occupants. The client is strongly encouraged to develop and practice a bushfire survival plan.

Information and assistance including a template for a Bushfire Survival Plan is provided as part of the 'Fire Ready Kit' available through the CFA website at <http://www.cfa.vic.gov.au> or through your local CFA Regional office.

Bushfire Management Statement for a proposed dwelling – 9 2/6 Great Ocean Road, Marengo, Victoria.

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Bushfire Management Statement for a proposed dwelling – 9 2/6 Great Ocean Road, Marengo, Victoria.

SUMMARY

Beacon Ecological was engaged by Karen Crowl to undertake a Bushfire Attack Level assessment and prepare a Bushfire Management Statement for a proposed dwelling at 9 2/6 Great Ocean Road, Marengo, Victoria.

This document details fire related threats to the proposed development and includes responses to legislative requirements regarding development in areas covered by Bushfire Management Overlays.

Bushfire Management Statement Requirements

The proposed development is within land zoned Neighbourhood Residential Zone, and as such Clause 53.02-3 applies. All approved measures of 53.02-3 can be met. Development requirements are as follows:

- The proposed dwelling will be built to Bushfire Attack Level (BAL) 19 to the east and BAL 29 construction standards to remaining aspects. Defendable space is to the property boundary to all aspects.
- A static water supply of 2,500 litres for CFA use is required.
- There are no access requirements.

Additional details of requirements under the BMO objectives and measures are provided in Section 4 of this report.

Bushfire Management Statement for a proposed dwelling – 9 2/6 Great Ocean Road, Marengo, Victoria.

1 INTRODUCTION

Beacon Ecological was engaged by Karen Crowl to undertake a Bushfire Attack Level assessment and prepare a Bushfire Management Statement for a proposed dwelling at 9 2/6 Great Ocean Road, Marengo, Victoria.

This assessment is required as the property is located within a Bushfire Management Overlay (BMO) under the Colac Otway Shire Council Planning Scheme (DELWP 2019a). This document details fire related threats to the proposed development and includes responses to legislative requirements regarding development in areas covered by the BMO.

1.1 PROPOSAL

A dwelling is proposed to an existing dwelling at 9 2/6 Great Ocean Road, Marengo, Victoria. The site is currently vacant.

2 METHODOLOGY

Methodologies detailed below were used to satisfy the following application requirements under the BMO under the streamlined Clause 53.02-3:

1. A Bushfire Hazard Site Assessment
2. A Bushfire Management Statement.

2.1 BACKGROUND REVIEW

The following websites were reviewed to obtain background information on the study site:

- **Planning Schemes Online** for information regarding topography and slope, planning provision overlays and zones pertaining to native vegetation and ecological values within the study area (DELWP 2019a).
- **Google maps** for aerial photos of the study area and surrounds.

Other relevant literature, including planning provisions in clauses 44.06 and 53.02 relating to the Bushfire Management Overlay, *The Australian Standard. Construction in bushfire prone areas AS 3959 -2009* (Australian Standards 2009) and practice notes published by the Country Fire Authority (CFA) were also reviewed as part of the investigation. These include:

- *Planning Permit Applications. Bushfire Management Overlay. Technical Guide. Planning For Bushfire* (DELWP 2017).
- *Guidelines for meeting Victoria's bushfire planning requirements* (CFA 2012).
- *Assessing Vegetation in a Bushfire Management Overlay (BMO)* (CFA 2011a).
- *Landscaping for Bushfire. Garden Design and Plant Selection* (CFA 2011b).

Bushfire Management Statement for a proposed dwelling – 9 2/6 Great Ocean Road, Marengo, Victoria.

2.2 FIELD ASSESSMENT

A field assessment was undertaken on 19 February 2019 to complete the Bushfire Hazard Site Assessment.

2.3 BUSHFIRE HAZARD SITE ASSESSMENT

Land within 150 metres of proposed development was traversed where possible to determine classifiable vegetation as described in AS 3959 2009 (Australian Standards 2009) and low-threat and modified vegetation as described in *Practice Note 65 Preparing and Assessing a Planning Application Under the Bushfire Provisions in Planning Schemes* (DELWP 2017). The distance to classifiable vegetation and the proposed development was calculated as well as the slope under the classifiable vegetation.

This information in conjunction with Tables 2 or 3 from clause 53.02-3 was used to determine the appropriate Bushfire Attack Level (BAL), defensible space and dwelling construction requirements. The higher the BAL, the higher the exposure to the effects of flame, radiant heat and ember attack from a bushfire (Plate 1), (DELWP 2017). A lower BAL (i.e. 12.5 or 19) will have a larger defensible space and fewer construction requirements, whilst a BAL-40 will have a smaller defensible space and extensive fire-protection construction requirements.

Plate 1. Bushfire Attack Levels (BAL) and hazards associated with bushfire threats (Source: DELWP 2017)

Bushfire Management Statement for a proposed dwelling – 9 2/6 Great Ocean Road, Marengo, Victoria.

Defendable Space

Defendable space is defined in Clause 72 of the relevant Planning Scheme as an area of land around a building where vegetation is modified and managed to reduce the effects of flame contact and radiant heat associated with a bushfire (DELWP 2017). See Plate 2 for a diagram of defendable space and Appendix 1 for vegetation management requirements.

Plate 2. Defendable space around a proposed construction (Source: DELWP 2017).

Construction Standards

Building construction and design can be used to minimise the impacts of ember attack and radiant heat on a building. Construction requirements for buildings relating to a calculated BAL are prescribed in AS3959-2009 (Australian Standards 2009). The materials and design of a building can be used to prevent the accumulation of debris and entry of embers. Appropriate construction helps the building to withstand the potential exposure from a bushfire as the fire front passes. Different BAL levels can be utilised on different sides of the dwelling construction if required. See Appendix 2 for construction requirements associated with this development.

2.4 BUSHFIRE MANAGEMENT STATEMENT

The Bushfire Management Statement describes how the proposed development responds to the requirements of clauses 44.06 and 53.02 of the BMO. The planning provisions related to the BMO are contained in clause 44.06 – Bushfire Management Overlay of the planning scheme. Specific objectives approved measures, alternative measures and decision guidelines are set out in clause 53.02 of the planning scheme and these inform decisions under the BMO (DELWP 2017).

Clause 53.02-3 provides a streamlined process for preparing and assessing planning applications and relates to proposals with only one dwelling located within land zoned Neighbourhood Residential Zone, General Residential Zone, Residential Growth Zone, Urban Growth Zone, Low Density Residential Zone, Township Zone or Rural Living Zone. This clause provides one objective *Dwellings in existing settlements – Bushfire protection objective* that has approved measures that must be met.

Bushfire Management Statement for a proposed dwelling – 9 2/6 Great Ocean Road, Marengo, Victoria.

Clause 53.02-4 applies to all other applications including an application that does not meet all the approved measures to be assessed under 53.02.1. This clause includes three objectives:

1. *53.02-4.1 Landscape, sting and design objectives;*
2. *53.02-4.2 Defendable space and construction objective; and,*
3. *53.02-4.3 Water supply and access objectives.*

These objectives contain approved and alternative measures required to meet the objectives. Approved measures are those that are considered to meet the objective. Alternative measures may be considered where the responsible authority is satisfied that the objective can be met. The responsible authority may consider other unspecified alternative measures (DELWP 2017).

2.5 LIMITATIONS

When determining the bushfire hazards of the site and landscape, access to private property was not always available. In some cases, adjacent threats were determined using aerial photos and viewing over fences.

Classifiable vegetation was assessed based on the current conditions and evidence of vegetation modification. Assumptions have been made as to what ongoing vegetation conditions and successional processes may occur with respect to classifiable vegetation types.

Bushfire Management Statement for a proposed dwelling – 9 2/6 Great Ocean Road, Marengo, Victoria.

3 BUSHFIRE HAZARD SITE ASSESSMENT

3.1 LOCALITY AND SITE DESCRIPTION

The site is located at 9 2/6 Great Ocean Road, Marengo, Victoria (Figure 1).

Property shape, dimensions, size, orientation and contours: The property is a 323 square metre, irregularly shaped, residential block. The property is generally flat with the surrounding 150 metres radius sloping gently to the east (Figure 2).

The property is located within Neighbourhood Residential Zone (NRZ) of the Colac Otway Shire Council planning scheme and is covered by a Bushfire Management Overlay (BMO), Airport Environs Overlay (AE) and Design and Development Overlay (DDO7) (DELWP 2019a).

Existing vehicle access arrangements: Access exists from Telford Street as the south of the block. Telford Street is a double lane, unsealed road that meets CFA access requirements.

Any features of the site relevant to bushfire considerations: There are no features of the site relevant to bushfire considerations.

3.2 VEGETATION ASSESSMENT

One classifiable vegetation type, Scrub, was noted within the 150 metre assessment area (Figure 2). Modified Vegetation and Low Threat Vegetation were also noted (Figure 2). See below for a description of the vegetation types recorded within the assessment area.

Bushfire Management Statement for a proposed dwelling – 9 2/6 Great Ocean Road, Marengo, Victoria.

Scrub Vegetation: Vegetation meeting the classification of Scrub is present to the north of the proposed development (Figure 3). This vegetation is dominated by a dense cover of native shrubs including Swamp Paper-bark *Melaleuca squarrosa*, Prickly Tea-tree *Leptospermum continentale* and Prickly Moses *Acacia verticillata* over ground cover species including Bracken *Pteridium esculentum*, Saw-sedge *Gahnia* spp, Forest Wire Grass *Tetrarrhena juncea* and Tall Sword-sedge *Lepidosperma elatius* (Plate 3). Occasional emergent Swamp Gum *Eucalyptus ovata* trees are also present.

Plate 3. Scrub vegetation within the assessment area.

Bushfire Management Statement for a proposed dwelling – 9 2/6 Great Ocean Road, Marengo, Victoria.

Modified Vegetation: Modified vegetation is present to the north and south of the proposed development around existing dwellings. Modified vegetation is vegetation that doesn't fit into the vegetation classifications in *AS3959: 2009 Construction of buildings in bushfire prone areas* because it:

- Has been modified, altered or is managed due to urban development, or gardening,
- Has different fuel loads from those assumed in the standard,
- Has limited or no understorey vegetation, or
- Is not low-threat or low-risk vegetation as defined in the standard

Within the assessment area this vegetation type includes remnant and planted native and introduced shrubs over an understorey of partially slashed grasses (Plate 4), (Figure 2).

Plate 4. Modified vegetation amongst existing dwellings .

Bushfire Management Statement for a proposed dwelling – 9 2/6 Great Ocean Road, Marengo, Victoria.

Excludable vegetation: Managed vegetation is present to all aspects of the proposed development and is considered excludable, low threat vegetation (Figure 2, Plate 6). This includes the windrow to the west of the proposed dwelling. These areas are excluded from classification in accordance with section 2.2.3.2 of AS 3959-2009 as they are:

1. Non-vegetated areas, including waterways, roads, footpaths, buildings and rocky outcrops.
2. Low threat vegetation, including grassland managed in a minimal fuel condition, maintained lawns, golf courses, maintained public reserves and parklands, vineyards, orchards, cultivated gardens, commercial nurseries, nature strips and windbreaks (Standards Australia, 2009).

The adjacent airport is managed in a low threat condition. There is reasonable assurance that this area will continue to be managed in this state.



Plate 5. Low threat vegetation within the assessment area.

Bushfire Management Statement for a proposed dwelling – 9 2/6 Great Ocean Road, Marengo, Victoria.

3.3 BUSHFIRE ATTACK LEVEL FOR THE PROPOSED DWELLING

The dwelling location allows for BAL 19 defensible space to the east and BAL 29 to remaining aspects. Defensible space requirements have been taken from Column B and C of Table 1 to Clause 53.02-5.

See Table 1 and Figure 2 for the highest threat vegetation within 150 metres for four orientations, the slope under the classifiable vegetation and defensible space requirements. Construction requirements to satisfy BAL 29 are detailed in Appendix 2.

Table 1. Dwelling BAL and Defensible space requirements.

Orientation	Highest threat vegetation	Slope under classifiable vegetation	Defensible space width	BAL Level
North	Modified vegetation	Flat/upslope	Property boundary	29
South	Modified vegetation	Flat/upslope	Property boundary	29
West	Scrub	Flat/upslope	13 metres	29
East	Low threat vegetation	0°-5° downslope	Property boundary	19

Bushfire Management Statement for a proposed dwelling – 9 2/6 Great Ocean Road, Marengo, Victoria.

4 BUSHFIRE MANAGEMENT STATEMENT

Clause 53.02 contains a range of sub clauses with objectives, approved measures, alternative measures and decisions guidelines. Table 2 below details which clauses are relevant to this application. The following section demonstrates how the requirements have been met for the relevant standards.

Table 2. Relevant clauses and measures applicable to the proposed development

Clause	Measure	Achieved	Justification
Clause 53.02-3 Dwellings in existing settlements – Bushfire protection objective	AM 1.1	Achieved	The proposed development is within land zoned Neighbourhood Residential Zone 1 (NRZ), and as such Clause 53.02-1 applies.
	AM 1.2	Achieved	
	AM 1.3	Achieved	
Clause 53.02-4.1 Landscape, siting and design objectives	AM 2.1	Not Applicable	Clause 53.02-1 can be achieved
	AM 2.2	Not Applicable	
	AM 2.3	Not Applicable	
Clause 53.02-4.2 Defendable space and construction objective	AM 3.1	Not Applicable	
	AM 3.2	Not Applicable	
	AltM 3.3	Not Applicable	
	AltM 3.4	Not Applicable	
	AltM 3.5	Not Applicable	
Clause 53.02-4.3 Water supply and access objectives	AM 3.6	Not Applicable	
	AM 4.1	Not Applicable	
Clause 53.02-4.3 Water supply and access objectives	AM 4.2	Not Applicable	
	Clause 53.02-4.4 Subdivision objectives	AM 5.1	
AM 5.2		Not Applicable	
AM 5.3		Not Applicable	
AM 5.4		Not Applicable	
AltM 5.5		Not Applicable	

Notes: AM – Approved Measure, AltM – Alternative measure

Bushfire Management Statement for a proposed dwelling – 9 2/6 Great Ocean Road, Marengo, Victoria.

CLAUSE 53.02-3 DWELLINGS IN EXISTING SETTLEMENTS – BUSHFIRE PROTECTION OBJECTIVE

To specify bushfire design and construction measures for a single dwelling or alteration and extension to an existing dwelling that reduces the risk to life and property to an acceptable level.

APPROVED MEASURES

Measure	Requirement
AM 1.1	<p>A building is sited to ensure the site best achieves the following:</p> <ul style="list-style-type: none"> • The maximum separation distance between the building and the bushfire hazard. • The building is in close proximity to a public road. • Access can be provided to the building for emergency service vehicles <p>Response:</p> <p>The siting of the dwelling within the property is restricted due to the small lot size. However, the proposed dwelling location meets the approved measure as:</p> <ul style="list-style-type: none"> • The siting maintains a short access and egress route to Telford Street. This road meets the requirements for emergency service vehicles. • Any landscaping will take into account recommendations of <i>Landscaping for Bushfire. Garden Design and Plant Selection</i> (CFA 2011b).
AM 1.2	<p>A building provides the defensible space in accordance with Table 1 Columns A, B, C, D or E and Table 6 to Clause 53.02-5. Adjoining land may be included as defensible space where there is a reasonable assurance that the land will remain or continue to be managed in that condition as part of the defensible space.</p> <p>A building is constructed to the bushfire attack level:</p> <ul style="list-style-type: none"> • That corresponds to the defensible space provided in accordance with Table 1 to Clause 53.02-5, or • The next lower bushfire attack level that corresponds to the defensible space provided in accordance with Table 1 to Clause 53.02-5 where all of the following apply: <ul style="list-style-type: none"> ○ A private bushfire shelter (a Class 10c building within the meaning of the Building Regulations 2006) is constructed on the same land as the dwelling. ○ A minimum bushfire attack level of BAL 12.5 is provided in all circumstances. <p>Response:</p> <p>The dwelling location allows for BAL 19 defensible space requirements to the east and BAL 29 to remaining aspects. Defensible space requirements have been taken from Columns B and C of Table 1 to Clause 53.02-5.</p>

Bushfire Management Statement for a proposed dwelling – 9 2/6 Great Ocean Road, Marengo, Victoria.

Measure	Requirement
	Some defensible space extends beyond the property boundary to the east into windrow vegetation which is classified as low threat.
AM 1.3	<p>A building is provided with:</p> <ul style="list-style-type: none"> • A static water supply for fire fighting and property protection purposes specified in Table 4 to Clause 53.02-5. The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for fire fighting water supplies. • Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02-5. <p>Response:</p> <ul style="list-style-type: none"> • <i>Water Supply:</i> As the lot is less than 500 square metres, a static water supply with 2,500 litres water will be available for fire fighting and property protection purposes as specified in Table 4 to Clause 53.02-5. There are no fire authority fittings and access requirements. • <i>Access:</i> Note that there are no design and construction requirements as the driveway is less than 30 metres long.

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5 FIGURES

Figure 1: Study area location



Study area

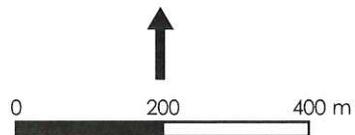
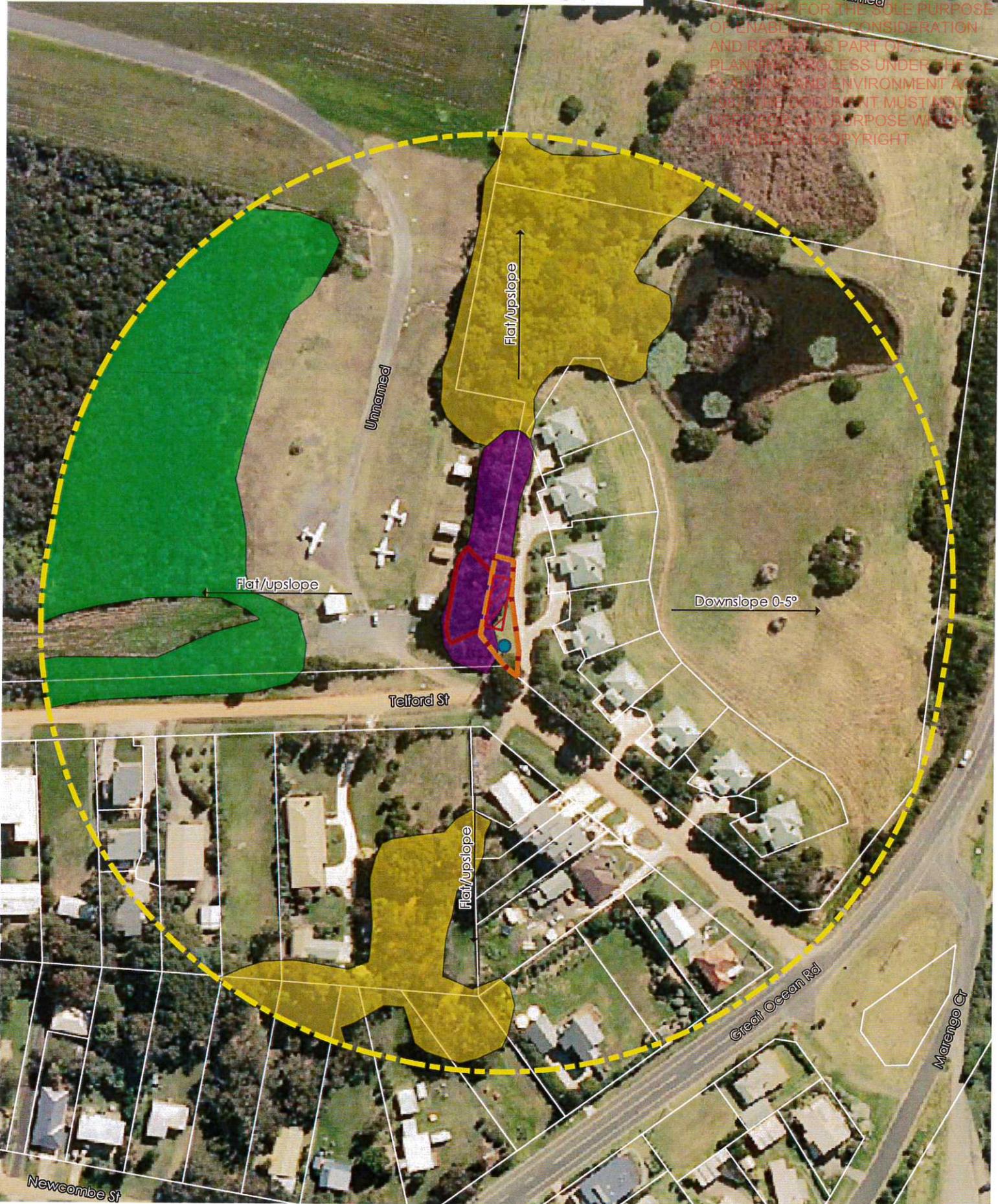


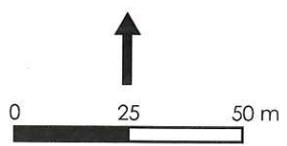
Figure 2: Bushfire site hazard and reasonable siting plan

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- Classified vegetation**
- Modified vegetation
 - Scrub
 - Windrow
 - 2,500 litre water tank (indicative location)

- Proposed dwelling
- Defendable space
- 150m buffer of dwelling
- Study area



Bushfire Management Statement for a proposed dwelling – 9 2/6 Great Ocean Road, Marengo, Victoria.

REFERENCES

CFA 2011a. *Assessing Vegetation in a Bushfire Management Overlay (BMO)*. FSG LUP 003 Land Use Planning. Published by the CFA on 17/11/2011.

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APPENDICES

APPENDIX 1. MANAGEMENT REQUIREMENTS FOR DEFENDABLE SPACE ZONES

The following vegetation management measures apply to the defendable space:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

APPENDIX 2. CONSTRUCTION REQUIREMENTS

SECTION 6 CONSTRUCTION FOR BUSHFIRE ATTACK LEVEL 19 (BAL—19)

6.1 GENERAL

A building assessed in Section 2 as being BAL—19 shall comply with Section 3 and Clauses 6.2 to 6.8.

A3

'Text deleted'

Any element of construction or system that satisfies the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements contained in Clauses 6.2 to 6.8 (see Clause 3.8).

NOTE: BAL—19 is primarily concerned with protection from ember attack and radiant heat greater than 12.5 kW/m² up to and including 19 kW/m².

6.2 SUBFLOOR SUPPORTS

This Standard does not provide construction requirements for subfloor support posts, columns, stumps, piers and poles.

NOTE: The exclusion of requirements for subfloor supports applies to the principal building only and not to verandas, decks, steps, ramps and landings (see Clause 6.7).

A1

C6.2 Ideally, storage of combustible materials beneath a floor at this BAL would not occur and on this assumption, there is no requirement to enclose the subfloor space or to protect the subfloor supports, or the bearers, joists and flooring from bushfire attack; however, should combustible materials be stored, it is recommended the area be protected as materials stored in the subfloor space may be ignited by embers and cause an impact to the building.

6.3 FLOORS

6.3.1 Concrete slabs on the ground

This Standard does not provide construction requirements for concrete slabs on ground.

6.3.2 Elevated floors

This Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring.

6.4 EXTERNAL WALLS

A2

6.4.1 Walls

The exposed components of an external wall that are less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall (see Figure D3, Appendix D) shall be:

- (a) Non-combustible material.

A3

NOTE: Examples include, but are not limited to, the following (with a minimum of 90 mm in thickness):

- (a) Full masonry or masonry veneer walls with an outer leaf of clay, concrete, calcium silicate or natural stone.
- (b) Precast or in situ walls of concrete or aerated concrete.
- (c) Earth wall including mud brick.

or

- A2 (b) Timber logs of a species with a density of 680 kg/m³ or greater at a 12 percent moisture content; of a minimum nominal overall thickness of 90 mm and a minimum thickness of 70 mm (see Clause 3.11); and gauge planed.

or

- (c) Cladding that is fixed externally to a timber-framed or a steel-framed wall and is—
- A3 (i) non-combustible material; *or*
- A3 (ii) fibre-cement a minimum of 6 mm in thickness; *or*
- A3 (iii) bushfire-resisting timber (see Appendix F); *or*
- (iv) a timber species as specified in Paragraph E1, Appendix E; *or*
- (v) a combination of any of Items (i), (ii), (iii) or (iv) above.

or

- (d) a combination of any of Items (a), (b) or (c) above.

This Standard does not provide construction requirements for the exposed components of an external wall that are 400 mm or more from the ground or 400 mm or more above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall (see Figure D3, Appendix D).

6.4.2 Joints

All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3 mm.

A2 'Text deleted'

6.4.3 Vents and weepholes

A3 Vents and weepholes in external walls shall be screened with a mesh with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium, except where the vents and weepholes have an aperture less than 3 mm (see Clause 3.6), or are located in an external wall of a subfloor space.

6.5 EXTERNAL GLAZED ELEMENTS AND ASSEMBLIES AND EXTERNAL DOORS

6.5.1 Bushfire shutters

Where fitted, bushfire shutters shall comply with Clause 3.7 and be made from—

- (a) non-combustible material; *or*
- A1 (b) a timber species as specified in Paragraph E1, Appendix E; *or*
- (c) bushfire-resisting timber (see Appendix F); *or*
- (d) a combination of any of Items (a), (b), or (c) above.

A1 6.5.1A Screens for windows and doors

Where fitted, screens for windows and doors shall have a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium. Gaps between the perimeter of the screen assembly and the building element to which it is fitted shall not exceed 3 mm.

The frame supporting the mesh or perforated sheet shall be made from—

- (a) metal; *or*
- A1 (b) bushfire-resisting timber (see Appendix F); *or*

- A2 | (c) a timber species as specified in Paragraph E2, Appendix E.

6.5.2 Windows

Window assemblies shall comply with one of the following:

- (a) They shall be completely protected by a bushfire shutter that complies with Clause 6.5.1.

or

- A1 | (b) They shall be completely protected externally by screens that comply with Clause 6.5.1A.

A2 | *or*

- (c) They shall comply with the following:

- A3 | (i) For window assemblies less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings (such as masonry sills) having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D), window frames and window joinery shall be made from:

- (A) Bushfire-resisting timber (see Appendix F).

or

- A1 | (B) A timber species as specified in Paragraph E2, Appendix E.

or

- (C) Metal.

or

- (D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the frame and the sash shall satisfy the design load, performance and structural strength of the member.

- (ii) Externally fitted hardware that supports the sash in its functions of opening and closing, shall be metal.

- A3 | (iii) Where glazing is less than 400 mm from the ground or less than 400 mm above
A1 | decks, carport roofs, awnings and similar elements or fittings, having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D), the glazing shall be toughened glass minimum 5 mm in thickness, or glass blocks with no restriction on glazing methods.

NOTE: Where double-glazed units are used, the above requirements apply to the external face of the window assembly only.

- (iv) Where glazing is other than that specified in Item (iii) above, annealed glass may be used. Where annealed glass is used, both the fixed and openable portions of windows shall be screened externally with screens that comply with Clause 6.5.1A.

- A2 | (v) Where toughened glass is used, it shall be toughened glass minimum 5 mm and the openable portions of windows shall be screened internally or externally with screens that comply with Clause 6.5.1A.

- A2 | (vi) Glazed elements that are designed to take internal screens shall use toughened glass minimum 5 mm and the openable portion shall be screened with screens that comply with Clause 6.5.1A.

A2

C6.5.2 Screening of the openable portions of all windows is required in all BALs to prevent the entry of embers to the building when the window is open. Screening of the openable and fixed portions of some windows is required in some BALs to reduce the effects of radiant heat on some types of glass.

If the screening is required to reduce the effects of radiant heat on the glass, the screening has to be external so that the glass in the openable portion of the window will be 'protected' when it is shut.

*If the screening is required **only** to prevent the entry of embers, the screening may be fitted externally or internally.*

6.5.3 Doors—Side-hung external doors (including French doors, panel fold and bi-fold doors)

Side-hung external doors, including French doors, panel fold and bi-fold doors, shall comply with one of the following:

A2

(a) Doors and door frames shall be protected by bushfire shutters that comply with Clause 6.5.1.

or

(b) Doors and door frames shall be protected externally by screens that comply with Clause 6.5.1A.

or

(c) Doors and door frames shall comply with the following:

(i) Doors shall be—

(A) non-combustible; *or*

A3

(B) a solid timber, laminated timber or reconstituted timber door, having a minimum thickness of 35 mm for the first 400 mm above the threshold; *or*

(C) a door, including a hollow core door, with a non-combustible kickplate on the outside for the first 400 mm above the threshold; *or*

(D) a door, including a hollow core door, protected externally by a screen that complies with Clause 6.5.1A; *or*

A3

(E) a fully framed glazed door, where the framing is made from materials required for bushfire shutters (see Clause 6.5.1), or from a timber species as specified in Paragraph E2, Appendix E.

A3

(ii) Where doors incorporate glazing, the glazing shall be toughened glass minimum 5 mm in thickness.

(iii) Doors shall be tight-fitting to the door frame and to an abutting door, if applicable.

A3

(iv) Where any part of the door frame is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the door (see Figure D3, Appendix D), that part of the door frame shall be made from one of the following:

A2

(A) Bushfire-resisting timber (see Appendix F).

or

(B) A timber species as specified in Paragraph E2, Appendix E.

or

- (C) Metal.

or

- (D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the door assembly shall satisfy the design load, performance and structural strength of the member.

- (v) Weather strips, draught excluders or draught seals shall be installed at the base of side-hung external doors.

6.5.4 Doors—Sliding doors

Sliding doors shall comply with one of the following:

- (a) They shall be completely protected by a bushfire shutter that complies with Clause 6.5.1.

or

- A1 (b) They shall be completely protected externally by screens that comply with Clause 6.5.1A.

or

- A1 (c) They shall comply with the following:

- (i) Any glazing incorporated in sliding doors shall be toughened glass minimum 5 mm.

- (ii) Both the door frame supporting the sliding door and the framing surrounding any glazing shall be made from:

A2

- (A) Bushfire-resisting timber (see Appendix F).

or

- (B) A timber species as specified in Paragraph E2, Appendix E.

or

- (C) Metal.

or

- (D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the frame and the sash shall satisfy the design load, performance and structural strength of the member.

- (iii) There is no requirement to screen the openable part of the sliding door. However, if screened, the screens shall comply with Clause 6.5.1A.

NOTE: The construction of manufactured sliding doors should prevent the entry of embers when the door is closed. There is no requirement to provide screens to the openable part of these doors as it is assumed that a sliding door will be closed if occupants are not present or during a bushfire event. Screens of materials other than those specified may not resist ember attack.

- (iv) Sliding doors shall be tight-fitting in the frames.

6.5.5 Doors—Vehicle access doors (garage doors)

The following apply to vehicle access doors:

- (a) The lower portion of a vehicle access door that is within 400 mm of the ground when the door is closed (see Figure D4, Appendix D) shall be made from—
- (i) non-combustible material; *or*
 - (ii) bushfire-resisting timber (see Appendix F); *or*
 - (iii) fibre-cement sheet a minimum of 6 mm in thickness; *or*
 - (iv) a timber species as specified in Paragraph E1, Appendix E; *or*
 - (v) a combination of any of Items (i), (ii), (iii) or (iv) above.
- (b) Panel lift, tilt doors or side-hung doors shall be fitted with suitable weather strips, draught excluders, draught seals or guide tracks, as appropriate to the door type, with a maximum gap no greater than 3 mm.
- (c) Roller doors shall have guide tracks with a maximum gap no greater than 3 mm and shall be fitted with a nylon brush that is in contact with the door (see Figure D4, Appendix D).
- (d) Vehicle access doors shall not include ventilation slots.

6.6 ROOFS (INCLUDING VERANDA AND ATTACHED CARPORT ROOFS, PENETRATIONS, EAVES, FASCIAS, GABLES, GUTTERS AND DOWNPIPES)

6.6.1 General

The following apply to all types of roofs and roofing systems:

- (a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible.
- (b) The roof/wall junction shall be sealed, to prevent openings greater than 3 mm, either by the use of fascia and eaves linings or by sealing between the top of the wall and the underside of the roof and between the rafters at the line of the wall.
- (c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

6.6.2 Tiled roofs

Tiled roofs shall be fully sarked. The sarking shall—

- (a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;
- (b) cover the entire roof area including ridges and hips; and
- (c) extend into gutters and valleys.

6.6.3 Sheet roofs

Sheet roofs shall—

- (a) be fully sarked in accordance with Clause 6.6.2, except that foil-backed insulation blankets may be installed over the battens; and
- (b) have any gaps greater than 3 mm (such as under corrugations or ribs of sheet roofing and between roof components) sealed at the fascia or wall line and at valleys, hips and ridges by—
 - (i) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; *or*
 - (ii) mineral wool; *or*
 - (iii) other non-combustible material; *or*

- A2 | (iv) a combination of any of Items (i), (ii) or (iii) above.

A2 | **C6.6.3** *Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.*

6.6.4 Veranda, carport and awning roofs

The following apply to veranda, carport and awning roofs:

- (a) A veranda, carport or awning roof forming part of the main roof space [see Figure D1(a), Appendix D] shall meet all the requirements for the main roof, as specified in Clauses 6.6.1, 6.6.2, 6.6.3, 6.6.5 and 6.6.6.
- (b) A veranda, carport or awning roof separated from the main roof space by an external wall [see Figures D1(b) and D1(c), Appendix D] complying with Clause 6.4 shall have a non-combustible roof covering.

A1 | NOTE: There is no requirement to line the underside of a veranda, carport or awning roof that is separated from the main roof space.

6.6.5 Roof penetrations

The following apply to roof penetrations:

- (a) Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, aerials, vent pipes and supports for solar collectors shall be adequately sealed at the roof to prevent gaps greater than 3 mm. The material used to seal the penetration shall be non-combustible.

- A2 | (b) Openings in vented roof lights, roof ventilators or vent pipes shall be fitted with ember guards made from a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

This requirement does not apply to the exhaust flues of heating or cooking devices with closed combustion chambers.

In the case of gas appliance flues, ember guards shall not be fitted.

NOTE: Gasfitters are required to provide a metal flue pipe above the roof and terminate with a certified gas flue cowl complying with AS 4566. Advice may be obtained from State gas technical regulators.

- A1 | (c) All overhead glazing shall be Grade A safety glass complying with AS 1288.

- A3 | (d) Glazed elements in roof lights and skylights may be of polymer, provided a Grade A safety glass diffuser, complying with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass of minimum 4 mm in thickness shall be used in the outer pane of the IGU.

- (e) Flashing elements of tubular skylights may be of a fire-retardant material, provided the roof integrity is maintained by an under-flashing of a material having a flammability index no greater than 5.

- A3 | (f) Evaporative cooling units shall be fitted with non-combustible butterfly closers as close as practicable to the roof level, or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

6.6.6 Eaves linings, fascias and gables

The following apply to eaves linings, fascias and gables:

- (a) Gables shall comply with Clause 6.4.
- (b) Eaves penetrations shall be protected the same as for roof penetrations, as specified in Clause 6.6.5.

- (c) Eaves ventilation openings greater than 3 mm shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds.

This Standard does not provide construction requirements for fascias, bargeboards and eaves linings.

6.6.7 Gutters and downpipes

This Standard does not provide material requirements for—

- (a) gutters, with the exception of box gutters; and
- (b) downpipes.

If installed, gutter and valley leaf guards shall be non-combustible.

Box gutters shall be non-combustible and flashed at the junction with the roof with non-combustible material.

6.7 VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS

6.7.1 General

A1 | Decking may be spaced.

There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

C6.7.1 Spaced decking is nominally spaced at 3 mm (in accordance with standard industry practice); however, due to the nature of timber decking with seasonal changes in moisture content, that spacing may range from 0–5 mm during service. The preferred dimension for gaps is 3 mm (which is in line with other 'permissible gaps') in other parts of this Standard. It should be noted that recent research studies have shown that gaps at 5 mm spacing afford opportunity for embers to become lodged in between timbers, which may contribute to a fire. Larger gap spacings of 10 mm may preclude this from happening but such a spacing regime may not be practical for a timber deck.

6.7.2 Enclosed subfloor spaces of verandas, decks, steps, ramps and landings

6.7.2.1 Materials to enclose a subfloor space

This Standard does not provide construction requirements for the materials used to enclose a subfloor space except where those materials are less than 400 mm from the ground.

Where the materials used to enclose a subfloor space are less than 400 mm from the ground, they shall comply with Clause 6.4.

A3 | **6.7.2.2 Supports**

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

6.7.2.3 Framing

This Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers and joists).

A1 | **6.7.2.4 Decking, stair treads and the trafficable surfaces of ramps and landings**
 This Standard does not provide construction requirements for decking, stair treads and the trafficable surfaces of ramps and landings that are more than 300 mm from a glazed element.

Decking, stair treads and the trafficable surfaces of ramps and landings less than 300 mm (measured horizontally at deck level) from glazed elements that are less than 400 mm (measured vertically) from the surface of the deck (see Figure D2, Appendix D) shall be made from—

- (a) non-combustible material; *or*
- (b) bushfire-resisting timber (see Appendix F); *or*
- A1 | (c) a timber species as specified in Paragraph E1, Appendix E; *or*
- (d) a combination of any of Items (a), (b), or (c) above.

6.7.3 Unenclosed subfloor spaces of verandas, decks, steps, ramps and landings

6.7.3.1 Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

6.7.3.2 Framing

This Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers and joists).

A1 | **6.7.3.3 Decking, stair treads and the trafficable surfaces of ramps and landings**

This Standard does not provide construction requirements for decking, stair treads and the trafficable surfaces of ramps and landings that are more than 300 mm from a glazed element.

Decking, stair treads and the trafficable surfaces of ramps and landings less than 300 mm (measured horizontally at deck level) from glazed elements that are less than 400 mm (measured vertically) from the surface of the deck (see Figure D2, Appendix D) shall be made from—

- (a) non-combustible material; *or*
- (b) bushfire-resisting timber (see Appendix F); *or*
- A1 | (c) a timber species as specified in Paragraph E1, Appendix E; *or*
- (d) a combination of any of Items (a), (b), or (c) above.

6.7.4 Balustrades, handrails or other barriers

This Standard does not provide construction requirements for balustrades, handrails and other barriers.

6.8 WATER AND GAS SUPPLY PIPES

Above-ground, exposed water and gas supply pipes shall be metal.

SECTION 7 CONSTRUCTION FOR BUSHFIRE ATTACK LEVEL 29 (BAL—29)

7.1 GENERAL

A building assessed in Section 2 as being BAL—29 shall comply with Section 3 and Clauses 7.2 to 7.8.

A3 | 'Text deleted'

Any element of construction or system that satisfies the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements contained in Clauses 7.2 to 7.8 (see Clause 3.8).

NOTE: BAL—29 is primarily concerned with protection from ember attack and radiant heat greater than 19 kW/m² up to and including 29 kW/m².

7.2 SUBFLOOR SUPPORTS

This Standard does not provide construction requirements for subfloor supports where the subfloor space is enclosed with—

- A2 |
- (a) a wall that complies with Clause 7.4, except that sarking is not required where specified in Clause 7.4.1 (c); *or*
 - (b) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; *or*
 - (c) a combination of Items (a) and (b) above.

Where the subfloor space is unenclosed, the support posts, columns, stumps, piers and poles shall be—

- (i) of non-combustible material; *or*
- (ii) of bushfire-resisting timber (see Appendix F); *or*
- (iii) a combination of Items (i) and (ii) above.

NOTE: This requirement applies to the principal building only and not to verandas, decks, steps, ramps and landings (see Clause 7.7).

C7.2 Combustible materials stored in the subfloor space may be ignited by embers and cause an impact to the building.

7.3 FLOORS

7.3.1 Concrete slabs on ground

This Standard does not provide construction requirements for concrete slabs on ground.

7.3.2 Elevated floors

7.3.2.1 Enclosed subfloor space

This Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring, where the subfloor space is enclosed with—

- A2 |
- (a) a wall that complies with Clause 7.4, except that sarking is not required where specified in Clause 7.4.1 (c); *or*
 - (b) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; *or*

- (c) a combination of Items (a) and (b) above.

7.3.2.2 Unenclosed subfloor space

A1 Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400 mm above finished ground level, shall be one of the following:

- (a) Materials that comply with the following:
- (i) Bearers and joists shall be—
 - (A) non-combustible; *or*
 - (B) bushfire-resisting timber (see Appendix F); *or*
 - (C) a combination of Items (A) and (B) above.
 - (ii) Flooring shall be—
 - (A) non-combustible; *or*
 - (B) bushfire-resisting timber (see Appendix F); *or*
 - (C) timber (other than bushfire-resisting timber), particleboard or plywood flooring where the underside is lined with sarking-type material or mineral wool insulation; *or*
 - (D) a combination of any of Items (A), (B) or (C) above.

A2 *or*

- (b) A system complying with AS 1530.8.1

This Standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400 mm or more above finished ground level.

7.4 EXTERNAL WALLS

7.4.1 Walls

The exposed components of external walls shall be:

- (a) Non-combustible material.

A3 NOTE: Examples include, but are not limited to, the following (with a minimum of 90 mm in thickness):

- (a) Full masonry or masonry veneer walls with an outer leaf of clay, concrete, calcium silicate or natural stone.
- (b) Precast or in situ walls of concrete or aerated concrete.
- (c) Earth wall including mud brick.

or

- (b) Timber logs of a species with a density of 680 kg/m³ or greater at a 12 percent moisture content; of a minimum nominal overall thickness of 90 mm and a minimum thickness of 70 mm (see Clause 3.11); and gauge planed.

or

- A3 (c) Cladding that is fixed externally to a timber-framed or a steel-framed wall that is sarked on the outside of the frame and is—

- (i) fibre-cement a minimum of 6 mm in thickness; *or*
- (ii) steel sheeting; *or*
- (iii) bushfire-resisting timber (see Appendix F); *or*

A3 (iv) a combination of any of Items (i), (ii) or (iii) above.

A2

or

(d) A combination of any of Items (a), (b), or (c) above.

7.4.2 Joints

All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3 mm.

A2

7.4.3 Vents and weepholes

Vents and weepholes in external walls shall be screened with a mesh with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium, except where the vents and weepholes have an aperture less than 3 mm (see Clause 3.6), or are located in an external wall of a subfloor space.

A3

7.5 EXTERNAL GLAZED ELEMENTS AND ASSEMBLIES AND EXTERNAL DOORS

7.5.1 Bushfire shutters

Where fitted, bushfire shutters shall comply with Clause 3.7 and be made from—

- (a) non-combustible material; *or*
- (b) bushfire-resisting timber (see Appendix F); *or*
- (c) a combination of Items (a) and (b) above.

A1

7.5.1A Screens for windows and doors

Where fitted, screens for windows and doors shall have a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium. Gaps between the perimeter of the screen assembly and the building element to which it is fitted shall not exceed 3 mm.

The frame supporting the mesh or perforated sheet shall be made from—

- (a) metal; *or*
- (b) bushfire-resisting timber (see Appendix F).

7.5.2 Windows

A3

Window assemblies shall comply with one of the following:

- (a) They shall be completely protected by a bushfire shutter that complies with Clause 7.5.1.

or

- (b) They shall comply with the following:

A2

- (i) Window frames and window joinery and shall be made from:

(A) Bushfire-resisting timber (see Appendix F).

or

(B) Metal.

or

- A3 (C) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel, and the frame and any sash shall satisfy the design load, performance and structural strength of the member.
- (ii) Externally fitted hardware that supports the sash in its functions of opening and closing shall be metal.
- (iii) Glazing shall be toughened glass minimum 5 mm.
- A3 NOTE: Where double-glazed units are used, the above requirements apply to the external face of the window assembly only.
- A1 (iv) Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D), that portion shall be screened externally with a screen that complies with Clause 7.5.1A.
- (v) The openable portions of windows shall be screened internally or externally with screens that comply with Clause 7.5.1A.

A2 **C7.5.2** *Screening of the openable portions of all windows is required in all BALs to prevent the entry of embers to the building when the window is open. Screening of the openable and fixed portions of some windows is required in some BALs to reduce the effects of radiant heat on some types of glass.*

If the screening is required to reduce the effects of radiant heat on the glass, the screening has to be external so that the glass in the openable portion of the window will be 'protected' when it is shut.

*If the screening is required **only** to prevent the entry of embers, the screening may be fitted externally or internally.*

7.5.3 Doors—Side-hung external doors (including French doors, panel fold and bi-fold doors)

Side-hung external doors, including French doors, panel fold and bi-fold doors, shall comply with one of the following:

- A2 (a) Doors and door frames shall be protected by bushfire shutters that comply with Clause 7.5.1.
- or*
- (b) Doors and door frames shall be protected externally by screens that comply with Clause 7.5.1A.
- or*
- (c) Doors and door frames shall comply with the following:
- (i) Doors shall be—
- (A) non-combustible; *or*
- (B) a solid timber, laminated timber or reconstituted timber door, having a minimum thickness of 35 mm for the first 400 mm above the threshold; *or*
- (C) a door, including a hollow core door, protected externally by a screen that complies with Clause 7.5.1A; *or*
- A3

(D) a fully framed glazed door, where the framing is made from non-combustible materials or from bushfire-resisting timber (see Appendix F).

A1, A3

(ii) Externally fitted hardware that supports the panel in its functions of opening and closing shall be metal.

(iii) Where doors incorporate glazing, the glazing shall be toughened glass minimum 6 mm in thickness.

NOTE: Where double-glazed units are used, the above requirements apply to the external face of the window assembly only.

(iv) Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the door (see Figure D3, Appendix D), that portion shall be screened externally with screens that comply with Clause 7.5.1A.

(v) Door frames shall be made from:

(A) Bushfire-resisting timber (see Appendix F).

or

(B) Metal.

or

(C) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the door assembly shall satisfy the design load, performance and structural strength of the member.

(vi) Doors shall be tight-fitting to the door frame and to an abutting door, if applicable.

(vii) Weather strips, draught excluders or draught seals shall be installed at the base of side-hung external doors.

7.5.4 Doors—Sliding doors

Sliding doors shall comply with one of the following:

A3

(a) They shall be completely protected by a bushfire shutter that complies with Clause 7.5.1.

or

A1

(b) They shall be completely protected externally by screens that comply with Clause 7.5.1A.

or

A1

(c) They shall comply with the following:

A2

(i) Both the door frame supporting the sliding door and the framing surrounding any glazing shall be made from:

(A) Bushfire-resisting timber (see Appendix F);

or

(B) Metal;

or

A1

(C) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the door assembly shall satisfy the design load, performance and structural strength of the member.

(ii) Externally fitted hardware that supports the panel in its functions of opening and closing shall be metal.

A2

(iii) Where sliding doors incorporate glazing, the glazing shall be toughened glass minimum 6 mm.

(iv) Sliding doors shall be tight-fitting in the frames.

7.5.5 Doors—Vehicle access doors (garage doors)

The following apply to vehicle access doors:

- (a) Vehicle access doors shall be made from—
 - (i) non-combustible material; *or*
 - (ii) bushfire-resisting timber (see Appendix F); *or*
 - (iii) fibre-cement sheet, a minimum of 6 mm in thickness; *or*
 - (iv) a combination of any of Items (i), (ii) or (iii) above.
- (b) Panel lift, tilt doors or side-hung doors shall be fitted with suitable weather strips, draught excluders, draught seals or guide tracks, as appropriate to the door type, with a maximum gap no greater than 3 mm.
- (c) Roller doors shall have guide tracks with a maximum gap no greater than 3 mm and shall be fitted with a nylon brush that is in contact with the door (see Figure D4, Appendix D).
- (d) Vehicle access doors shall not include ventilation slots.

7.6 ROOFS (INCLUDING VERANDA AND ATTACHED CARPORT ROOFS, PENETRATIONS, EAVES, FASCIAS, GABLES, GUTTERS AND DOWNPIPES)

7.6.1 General

The following apply to all types of roofs and roofing systems:

- (a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible.
- (b) The roof/wall junction shall be sealed, to prevent openings greater than 3 mm, either by the use of fascia and eaves linings or by sealing between the top of the wall and the underside of the roof and between the rafters at the line of the wall.
- (c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
- (d) A pipe or conduit that penetrates the roof covering shall be non-combustible.

A2

7.6.2 Tiled roofs

Tiled roofs shall be fully sarked. The sarking shall—

- (a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;
- (b) cover the entire roof area including ridges and hips; and
- (c) extend into gutters and valleys.

7.6.3 Sheet roofs

Sheet roofs shall—

- (a) be fully sarked in accordance with Clause 7.6.2, except that foil-backed insulation blankets may be installed over the battens; and
- (b) have any gaps greater than 3 mm (such as under corrugations or ribs of sheet roofing and between roof components) sealed at the fascia or wall line and at valleys, hips and ridges by—
 - (i) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; *or*
 - (ii) mineral wool; *or*
 - (iii) other non-combustible material; *or*
 - (iv) a combination of any of Items (i), (ii) or (iii) above.

C7.6.3 *Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.*

7.6.4 Veranda, carport and awning roofs

The following apply to veranda, carport and awning roofs:

- (a) A veranda, carport or awning roof forming part of the main roof space [see Figure D1(a), Appendix D] shall meet all the requirements for the main roof, as specified in Clauses 7.6.1, 7.6.2, 7.6.3, 7.6.5 and 7.6.6.
- (b) A veranda, carport or awning roof separated from the main roof space by an external wall [see Figures D1(b) and D1(c), Appendix D] complying with Clause 7.4 shall have a non-combustible roof covering and the support structure shall be—
 - (i) of non-combustible material; *or*
 - (ii) bushfire-resisting timber (see Appendix F); *or*
 - (iii) timber rafters lined on the underside with fibre-cement sheeting a minimum of 6 mm in thickness, or with material complying with AS 1530.8.1; *or*
 - (iv) a combination of any of Items (i), (ii) or (iii) above.

7.6.5 Roof penetrations

The following apply to roof penetrations:

- (a) Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, aerials, vent pipes and supports for solar collectors, shall be adequately sealed at the roof to prevent gaps greater than 3 mm. The material used to seal the penetration shall be non-combustible.
- (b) Openings in vented roof lights, roof ventilators or vent pipes shall be fitted with ember guards made from a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

This requirement does not apply to the exhaust flues of heating or cooking devices with closed combustion chambers.

In the case of gas appliance flues, ember guards shall not be fitted.

NOTE: Gasfitters are required to provide a metal flue pipe above the roof and terminate with a certified gas flue cowl complying with AS 4566. Advice may be obtained from State gas technical regulators.

- A1 (c) All overhead glazing shall be Grade A safety glass complying with AS 1288.
- (d) Glazed elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser, complying with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass minimum 4 mm, shall be used in the outer pane of the IGU.
- A2 (e) Flashing elements of tubular skylights shall be non-combustible. However, they may be of an alternative material, provided the integrity of the roof covering is maintained by an under-flashing made of non-combustible material.
- A3 (f) External single plane glazed elements of roof lights and skylights, where the pitch of the glazed element is 18 degrees or less to the horizontal, shall be protected with ember guards made from a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
- A3 A1 (g) Evaporative cooling units shall be fitted with non-combustible butterfly closers as close as practicable to the roof level, or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
- A3 A2 (h) 'Text deleted'

7.6.6 Eaves linings, fascias and gables

- A3 The following apply to eaves linings, fascias and gables:
- (a) Gables shall comply with Clause 7.4.
- (b) Fascias and bargeboards shall—
- (i) where timber is used, be made from bushfire-resisting timber (see Appendix F); *or*
 - (ii) where made from metal, be fixed at 450 mm centres; *or*
 - (iii) be a combination of Items (i) and (ii) above.
- (c) Eaves linings shall be—
- (i) fibre-cement sheet, a minimum 4.5 mm in thickness; *or*
 - (ii) bushfire-resisting timber (see Appendix F); *or*
 - (iii) a combination of Items (i) and (ii) above.
- (d) Eaves penetrations shall be protected the same as for roof penetrations, as specified in Clause 7.6.5.
- (e) Eaves ventilation openings greater than 3 mm shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
- (f) Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds.

7.6.7 Gutters and downpipes

- A3 This Standard does not provide requirements for downpipes.
- If installed, gutter and valley leaf guards shall be non-combustible.
- With the exception of box gutters, gutters shall be metal or PVC-U.
- Box gutters shall be non-combustible and flashed at the junction with the roof, with non-combustible materials.

7.7 VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS

7.7.1 General

A1 Decking may be spaced.

There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

C7.7.1 Spaced decking is nominally spaced at 3 mm (in accordance with standard industry practice); however, due to the nature of timber decking with seasonal changes in moisture content, that spacing may range from 0–5 mm during service. The preferred dimension for gaps is 3 mm (which is in line with other 'permissible gaps') in other parts of this Standard. It should be noted that recent research studies have shown that gaps at 5 mm spacing afford opportunity for embers to become lodged in between timbers, which may contribute to a fire. Larger gap spacings of 10 mm may preclude this from happening but such a spacing regime may not be practical for a timber deck.

7.7.2 Enclosed subfloor spaces of verandas, decks, steps, ramps and landings

A2 7.7.2.1 *Materials to enclose a subfloor space*

The subfloor spaces of verandas, decks, steps, ramps and landings are deemed to be 'enclosed' when—

- (a) the material used to enclose the subfloor space complies with Clause 7.4, except that sarking is not required where specified in Clause 7.4.1 (c); and
- (b) all openings greater than 3 mm are screened with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

7.7.2.2 *Supports*

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

7.7.2.3 *Framing*

This Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers and joists).

A1 7.7.2.4 *Decking, stair treads and the trafficable surfaces of ramps and landings*

Decking, stair treads and the trafficable surfaces of ramps and landings shall be—

- (a) of non-combustible material; *or*
- (b) of bushfire-resisting timber (see Appendix F); *or*
- (c) a combination of Items (a) and (b) above.

7.7.3 Unenclosed subfloor spaces of verandas, decks, steps, ramps and landings

7.7.3.1 *Supports*

Support posts, columns, stumps, stringers, piers and poles shall be—

- (a) of non-combustible material; *or*
- (b) of bushfire-resisting timber (see Appendix F); *or*
- (c) a combination of Items (a) and (b) above.

7.7.3.2 *Framing*

Framing of verandas, decks, ramps or landings (i.e., bearers and joists) shall be—

- (a) of non-combustible material; *or*

- (b) of bushfire-resisting timber (see Appendix F); *or*
- (c) a combination of Items (a) and (b) above.

A1

7.7.3.3 Decking, stair treads and the trafficable surfaces of ramps and landings

Decking, stair treads and the trafficable surfaces of ramps and landings shall be—

- (a) of non-combustible material; *or*
- (b) of bushfire-resisting timber (see Appendix F); *or*
- (c) a combination of Items (a) and (b) above.

7.7.4 Balustrades, handrails or other barriers

Those parts of the handrails and balustrades less than 125 mm from any glazing or any combustible wall shall be—

- (a) of non-combustible material; *or*
- (b) bushfire-resisting timber (see Appendix F); *or*
- (c) a combination of Items (a) and (b) above.

A2

Those parts of the handrails and balustrades that are 125 mm or more from the building have no requirements.

7.8 WATER AND GAS SUPPLY PIPES

Above-ground, exposed water and gas supply pipes shall be metal.

9 2/6 Great Ocean Road, Marengo. Bushfire Management Plan for a proposed Dwelling

Requirements in response to the Bushfire Management Overlay

Construction Requirements

The proposed dwelling is to be built to Bushfire Attack Level (BAL) construction standards of 29 to the west and BAL 19 to remaining aspects.

Access Requirements for CFA access

There are no access requirements however fire authority vehicles should be able to get within four metres of the water supply outlet.

Water Supply For Fire Fighting Purposes

A static water supply of 2,500 litres for fire fighting purposes must be provided to the following specifications:

- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for fire fighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.
- Be readily identifiable from the building or

Defendable Space Management

Defendable space requirements are contained wholly to the subject land. Defendable space distances to the property boundary to all aspects.

Vegetation within the defendable space area must be managed to the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.

- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.

Shrubs must not be located under the canopy of trees. Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.

Trees must not overhang or touch any elements of the building.

The canopy of trees must be separated by at least 5 metres.

There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

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LOT 9 2/6 GREAT OCEAN ROAD MARENGO

Assessment - One Dwelling on a Lot (Clause 54)

Refer to Clause 54 of the Planning Scheme for objectives, decision guidelines and a full description of standards.

Neighbourhood Character

Clause 54.02

A1

Title: Neighbourhood Character

Objective: Design respects the existing neighbourhood character or contributes to a preferred neighbourhood character. Design responds to features of the site and surrounding area.

Standard: Appropriate design response to the neighbourhood and site. Design respects the existing or preferred neighbourhood character & responds to site features.

Complies. Responds to on-site cottages.

A2

Title: Integration with Street

Objective: Integrate the layout of development with the street.

Standard: Dwelling oriented to front of the street.

Not applicable. Dwelling oriented to entrance driveway.

Standard: High fences avoided where practicable.

Complies. No fences except that enclosing private secluded open space.

Standard: Dwellings designed to promote the observation of abutting streets / public open spaces.

Complies.

Site Layout and Building Massing

Clause 54.03

A3

Title: Street Setback

Objective: Setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.

Standard: Walls of buildings should be setback from streets at least the

distance specified in the schedule to the zone or

If no distance is specified as outlined below.

Existing building on both the abutting allotments facing the same street & site is not on a corner.

Min front Setback = average setback of existing buildings on abutting allotments facing the front street or 9m, whichever is the lesser.

Existing building + vacant site either side of the subject site facing the same street & site is not on a corner

Min front Setback = same setback of front wall of existing building or 9m, whichever is the lesser.

There is no existing building on either of the abutting allotments facing the same street & site is not on a corner

Min front Setback = 6m in RDZ1 & 4m for other streets.

The site is on a corner

If there is a building on the abutting allotment facing the front street

Min front setback = same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9m, which ever is the lesser

If there is no building on the abutting allotment facing the front street, 6m from street in RDZ1 And 4m for other streets.

Min setback from side street = same setback of existing building or 2m, whichever is the lesser.

Not applicable: There is no street frontage.

A4

Title: Building Height

Objective: Building height respects the existing or preferred neighbourhood character.

Standard: The maximum building height should not exceed that specified in the schedule to the zone.

Where no maximum height is specified, the height should not exceed 9m, unless the slope of the natural ground level at any cross section wider than 8m of the site of the building is 2.5 degrees or more, in this case max height not to exceed 10m. Changes of building height should be graduated between new and existing buildings.

Complies: The building height is below 7.5 metres above natural ground level.

A5**Title: Site Coverage**

Objective: Site coverage should respect the existing or preferred neighbourhood character and respond to the features of the site.

Standard: Buildings should not exceed 60% of the site covered, unless otherwise specified in a schedule to the zone.

Complies: Site coverage 50%

A6**Title: Permeability**

Objective: Reduce the impact of stormwater run-off on the drainage system and facilitate on-site stormwater infiltration.

Standard: Site should not be covered by any more than 20% of impervious surface.

Complies: Site coverage 15%

A7**Title: Energy Efficiency Protection**

Objective: Achieve and protect energy efficient dwellings.

Ensure the development's orientation and layout reduce fossil fuel energy use and makes appropriate use of daylight and solar energy.

Standard: Orientation of buildings should make appropriate use of solar energy.

Complies. Given the orientation of the site building makes best use of solar energy (north light) into family room, dining & living areas.

Standard: If practicable the living areas and private open space are to be located on the north side.

Complies: Where practical.

Standard: Solar access for north-facing windows should be maximised.

Complies. Given the site orientation the house has been designed to make the most of solar access from the north to the living room, dining room & family room.

Standard: Siting and design of buildings should not reduce the energy efficiency of adjoining buildings.

Complies: No adjoining buildings.

A8**Title: Significant Trees**

Objective: Development respects the landscape character of the neighbourhood and retains significant trees on site.

Standard: Provide for the retention or planting of trees, where these are part of

the neighbourhood character. Replace significant trees removed in 12 months prior to application.

Complies: See also landscaping plan.

A9

Title: Parking

Objective: Ensure car parking is adequate for the needs of residents.

Standard: Two car spaces should be provided per dwelling with:

One space: minimum 6m long & 3.5m wide and covered or capable of being covered.

Second space: minimum 4.9m long and 2.6m wide.

For spaces provided in a garage, carport or otherwise constrained by walls, a double space may be 5.5m wide. (measured inside the garage or carport).

A building may project into a car space, if it is at least 2.1m above the space.

Complies. 2 enclosed secure car parking spaces provided.

Amenity Impacts

Clause 54.04

A10

Title: Side and Rear Setbacks

Objective: Ensure the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.

Standard: New building not on or within 150mm of a boundary should be setback from side or rear boundaries:

distance specified in the schedule to the zone or
a minimum 1m, plus 0.3m for every metre of height over 3.6m up to 6.9m,
plus 1m for every metre of height over 6.9m.

Refer to standards for more information on encroachments.

Variation required: All ground floor walls & deck comply. All first floor walls comply except for 2x corners at the south west corner of the building. Because of the very narrow nature & shape of the site this was difficult to avoid & would compromise the internal spaces & external appearance of the house by cutting it back to the necessary setback line (1.8 metres from the boundary). Given the distance from any other building / boundary / feature & the level of vegetation bordering that boundary it is felt that this is a reasonable request. The total floor area protruding into the setback is only 0.5 sq m. This will be the subject of a report & consent application to the Shire.

A11**Title: Walls on Boundaries**

Objective: Ensure the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.

Standard: A new wall that is on or within 150mm of a side or rear boundary of a lot or a carport constructed on or within 1m of a side or rear boundary of a lot, should not abut the boundary for a length more than:

10m plus 25 % of the remaining length of the boundary of an adjoining lot, or

Where there are existing or simultaneously constructed wall/carport abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports whichever is the greater.

Complies.

Standard: A new wall or carport may fully abut a side or rear boundary where the slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2m on the abutting property boundary.

Not applicable.

Standard: The height of a new wall constructed on or within 150mm of a side or rear boundary or a carport on or within 1m of a side or rear boundary should not exceed an average of 3m, with no part higher than 3.6m, unless abutting a higher existing or simultaneously constructed wall.

Refer also to 54.04-2.

Complies.**A12****Title: Daylight to Existing Windows**

Objective: Allow adequate daylight into existing habitable room windows.

Standard: Buildings opposite an existing habitable room window should provide a light court of at least 3 sqm and a minimum of 1m clear to the sky. (Calculation area may include abutting lot).

Not applicable. No building within 20 metres.

Standard: Walls and carports of more than 3m should be setback from the window at least 50% of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window.

Refer to 54.04-3 for further clarification (a diagram is included).

Not applicable. No building within 20 metres.**A13****Title: North Facing Windows**

Objective: Allow adequate solar access to existing north-facing habitable room

windows.

Standard: Building should be setback 1m if an existing north-facing habitable room window is within 3m of the abutting lot boundary. (Add 0.6m to this setback for every metre of height over 3.6m and add 1m for every metre over 6.9m.)

Refer to 54.04-4 for further clarification (a definition of a north facing window and a diagram is included).

Not applicable. No building within 20 metres.

A14

Title: Overshadowing Open Space

Objective: Ensure buildings do not unreasonably overshadow existing secluded private open space.

Standard: Where sunlight to the secluded private open space of an existing dwelling is reduced at least 75% or 40 sqm with min. dimension of 3m, whichever is the lesser area, the secluded private open space should receive a min. of 5 hours of sunlight between 9am and 3pm on 22 September

If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.

Not applicable. No building within 20 metres.

A15

Title: Overlooking

Objective: Limit views into existing secluded private open space and habitable room windows.

Standard: A habitable room window, balcony, terrace, deck or patio with a direct view into an existing habitable window within a horizontal distance of 9m should have either:

A minimum offset of 1.5m from the edge of the window to the edge of the other.

Sill heights of at least 1.7m above floor level.

Obscure glazing in any part of the window below 1.7m above floor level.

Permanently fixed external screens to at least 1.7m above floor level and be no more than 25% transparent.

Obscure glazing to 1.7m above floor level may be openable if there are no direct views as specified in this standard.

Screens to obscure view should be:

Perforated panels or trellis with solid translucent panels or a maximum 25%

openings.

Permanent, fixed and durable.

Blended into the development.

Refer to 55.04-4 for further clarification

Not applicable. No building within 20 metres.

On-Site Amenity and Facilities

Clause 54.05

A16

Title: Daylight to new windows.

Objective: Allow adequate daylight into new habitable room windows.

Standard: A habitable room window should be located to face:

An outdoor space with a minimum area of 3 sqm and minimum dimension of 1m clear to the sky, not including land on an abutting lot.

A verandah with at least one third of its perimeter open.

A carport with two or more open sides and is open for at least one third of its perimeter.

Complies.

A17

Title: Private Open Space

Objective: Provide adequate private open space for the recreation and service needs of residents.

Standard: Unless specified in the schedule to the zone, a dwelling should have private open space of at least:

80sqm or 20% of the area of the lot, whichever is the lesser, but not less than 40sqm.

At least one part of the private open space should have a min. area of 25 sqm with a min. 3m at the side or rear of the dwelling with convenient access from a living room.

Complies: Private open space at the north end opening off the family room is 28 square metres (4.5 x 6.2 metres) and the deck off the 1st floor living and dining rooms facing north, east & south is 25 sq metres. 53 square metres total.

A18**Title: Solar Access to Open Space**

Objective: Allow solar access into secluded private open space of a new dwelling.

Standard: The private open space should be located on the north side of the dwelling if practicable.

Complies.

Standard: Southern boundary of open space should be setback from any wall on the north side of space by a minimum of $2\text{m} + 0.9 \times \text{wall height}$.

Complies. No wall on the north side.

Detailed Design

Clause 54.06

A19**Title: Design Detail**

Objective: Encourage design detail that respects the existing or preferred neighbourhood character.

Standard: Design of buildings should respect the existing or preferred neighbourhood character and address:

Façade articulation & detailing.

Window and door proportions.

Roof form.

Verandahs, eaves and parapets.

Complies. Respects the existing coastal design format of the cottages on the site.

Standard: Garages and carports should be visually compatible with the development and neighbourhood character.

Complies.

A20**Title: Front Fences**

Objective: Encourage front fence design that respects the existing or preferred neighbourhood character.

Standard: The front fence should complement the design of the dwelling or any front fences on adjoining properties.

Complies.

Standard: A front fence within 3m of the street should not exceed the maximum height specified in the schedule to the zone. If no schedule is specified, the front fence should not exceed:

2m if abutting a RDZ1

1.5m in any other streets.

Complies: No front fences.

9 2/6 Great Ocean Road, Marengo. Bushfire Management Plan for a proposed Dwelling

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D19/56489

Requirements in response to the Bushfire Management Overlay

Construction Requirements

The proposed dwelling is to be built to Bushfire Attack Level (BAL) construction standards of 29 to the west and BAL 19 to remaining aspects.

Access Requirements for CFA access

There are no access requirements however fire authority vehicles should be able to get within four metres of the water supply outlet.

Water Supply For Fire Fighting Purposes

A static water supply of 2,500 litres for fire fighting purposes must be provided to the following specifications:

- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for fire fighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.
- Be readily identifiable from the building or

Defendable Space Management

Defendable space requirements are contained wholly to the subject land. Defendable space distances to the property boundary to all aspects.

Vegetation within the defendable space area must be managed to the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

PLANNING PERMIT APPLICATION

for

PROPOSED NEW HOUSE

at

**LOT 9 2/6 GREAT OCEAN ROAD
MARENGO**

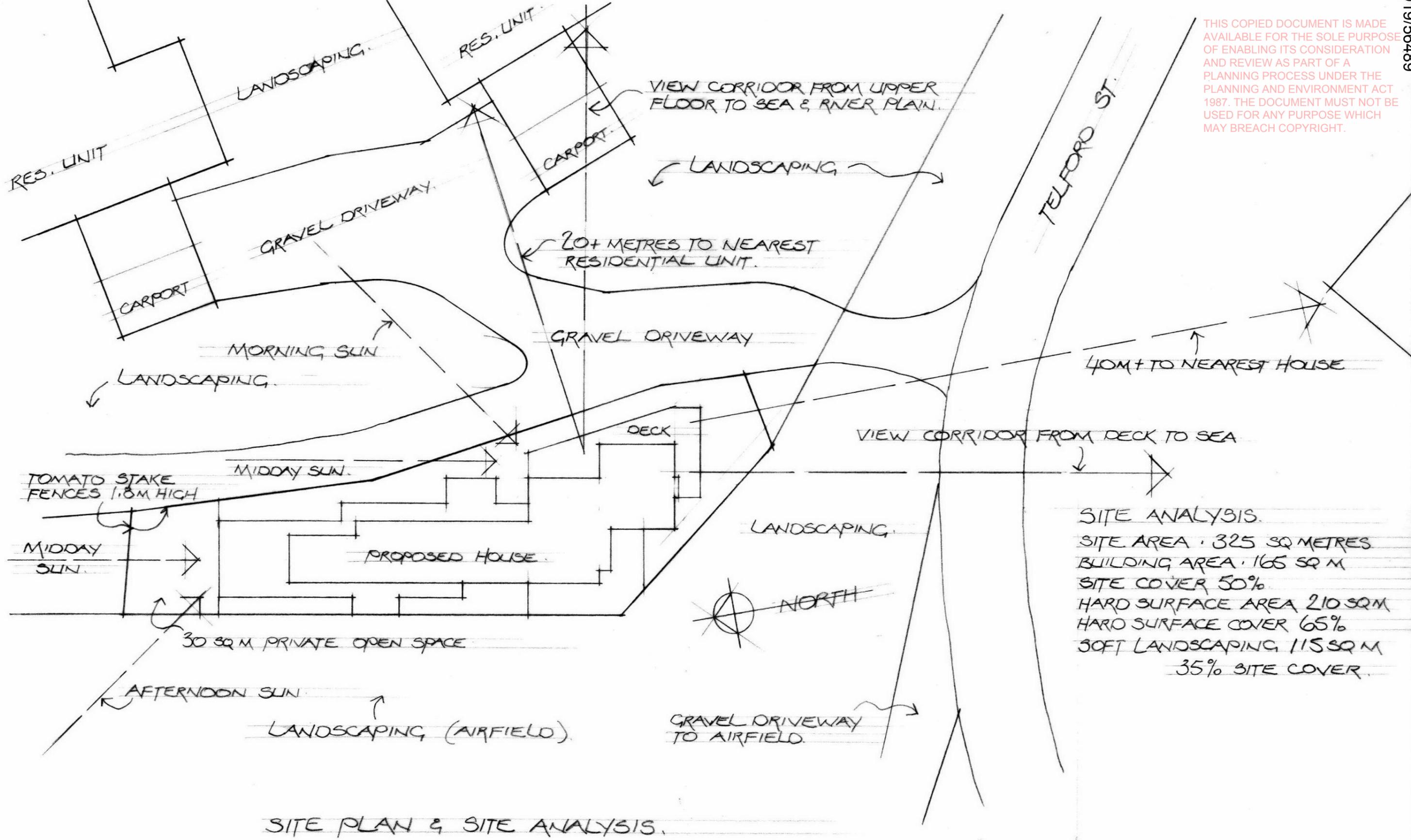
SCHEDULE OF DRAWINGS

PA01 SITE PLAN
PA02 GROUND FLOOR PLAN
PA03 FIRST FLOOR PLAN
PA04. ROOF PLAN
PA05 ELEVATIONS 1
PA06 ELEVATIONS 2

LANDSCAPE PLAN

MAY 2019

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SITE ANALYSIS.

SITE AREA . 325 SQ METRES

BUILDING AREA . 165 SQ M

SITE COVER 50%

HARD SURFACE AREA 210 SQ M

HARD SURFACE COVER 65%

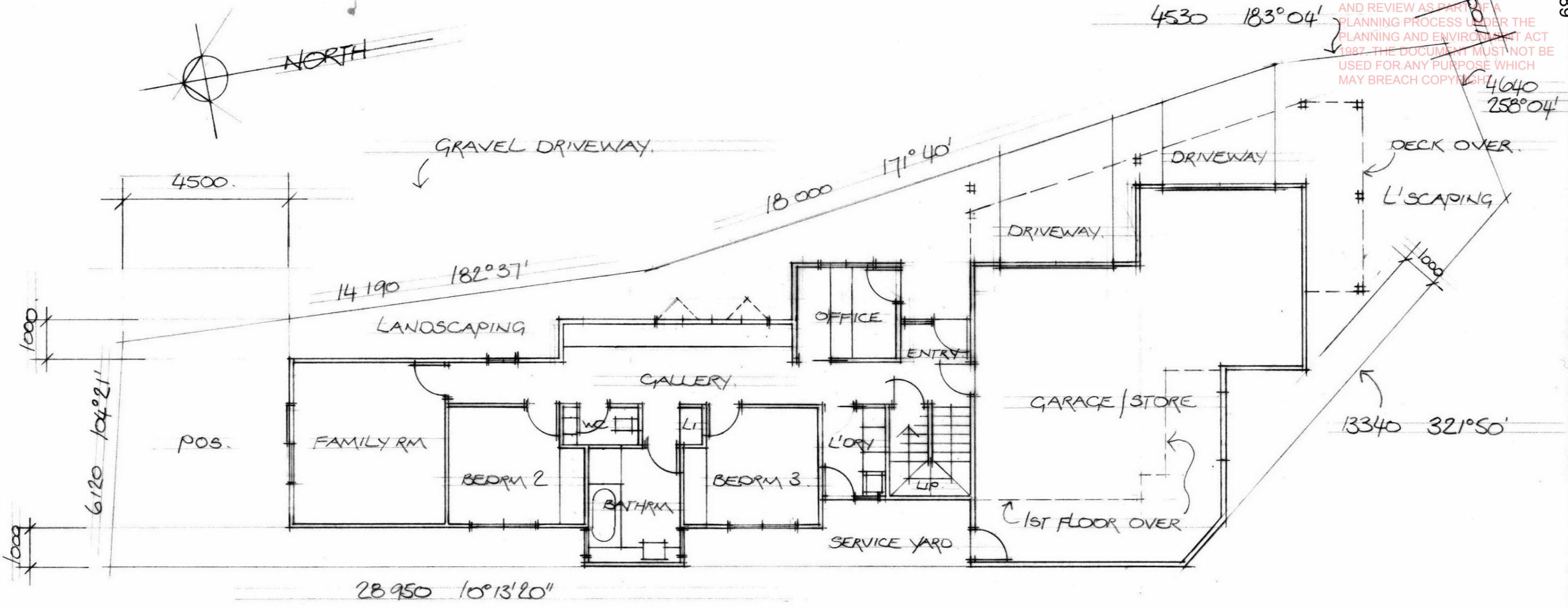
SOFT LANDSCAPING 115 SQ M

35% SITE COVER.

SITE PLAN & SITE ANALYSIS.

PROPOSED HOUSE . LOT 9 2/6 GREAT OCEAN RD . MARENCO SCALE 1:200 PAO/C

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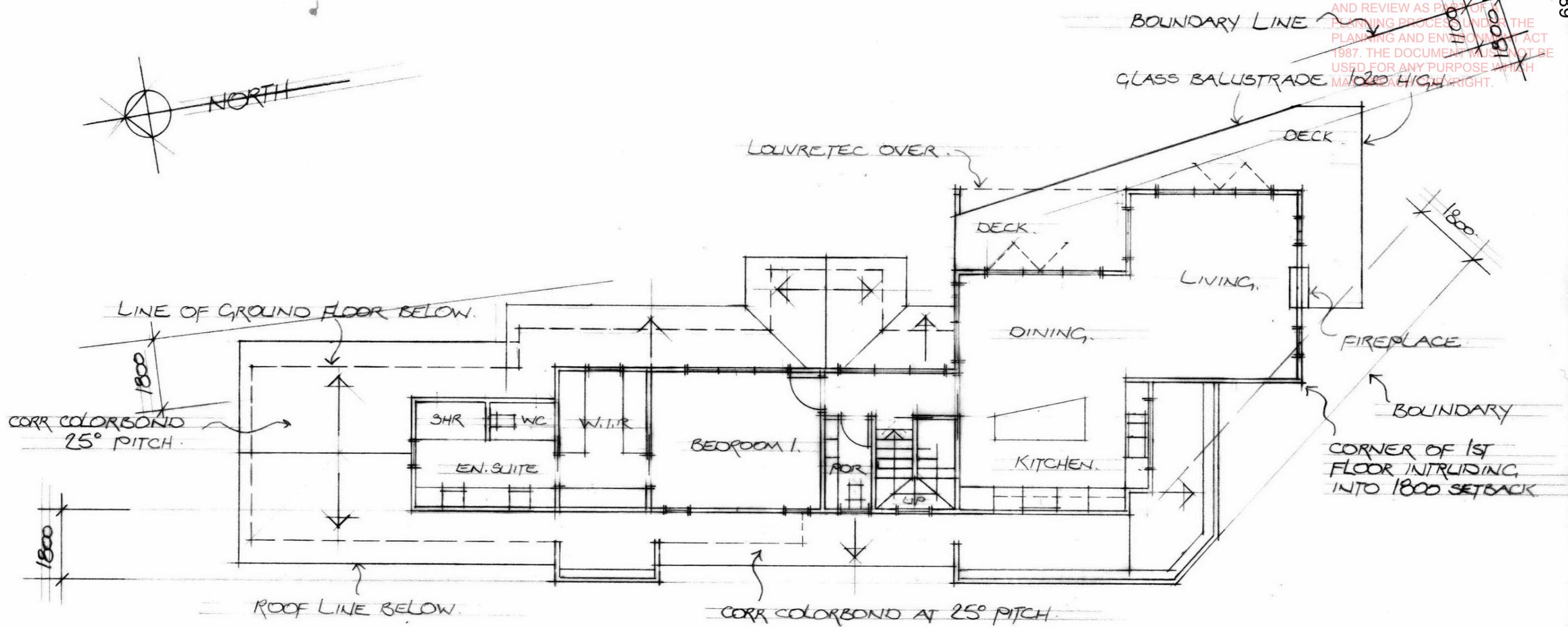


FLOOR AREA ~ 165 SQ M. (98 SQ M LIVING, & 67 SQ M GARAGE).

GROLINO FLOOR PLAN.

PROPOSED HOUSE . LOT 9 2/6 GREAT OCEAN RD . MARENGO SCALE 1:100 PA 02 / C

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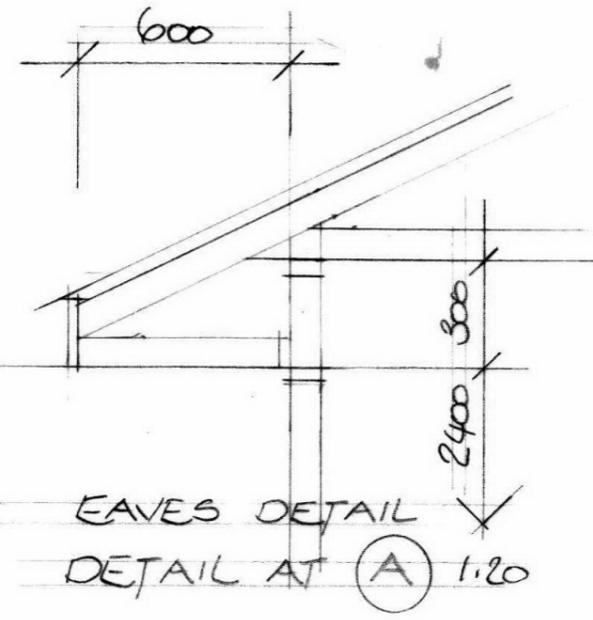
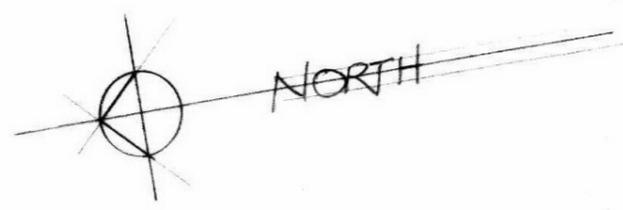


FLOOR AREA 98 SQ M. DECK AREA 25 SQ M.

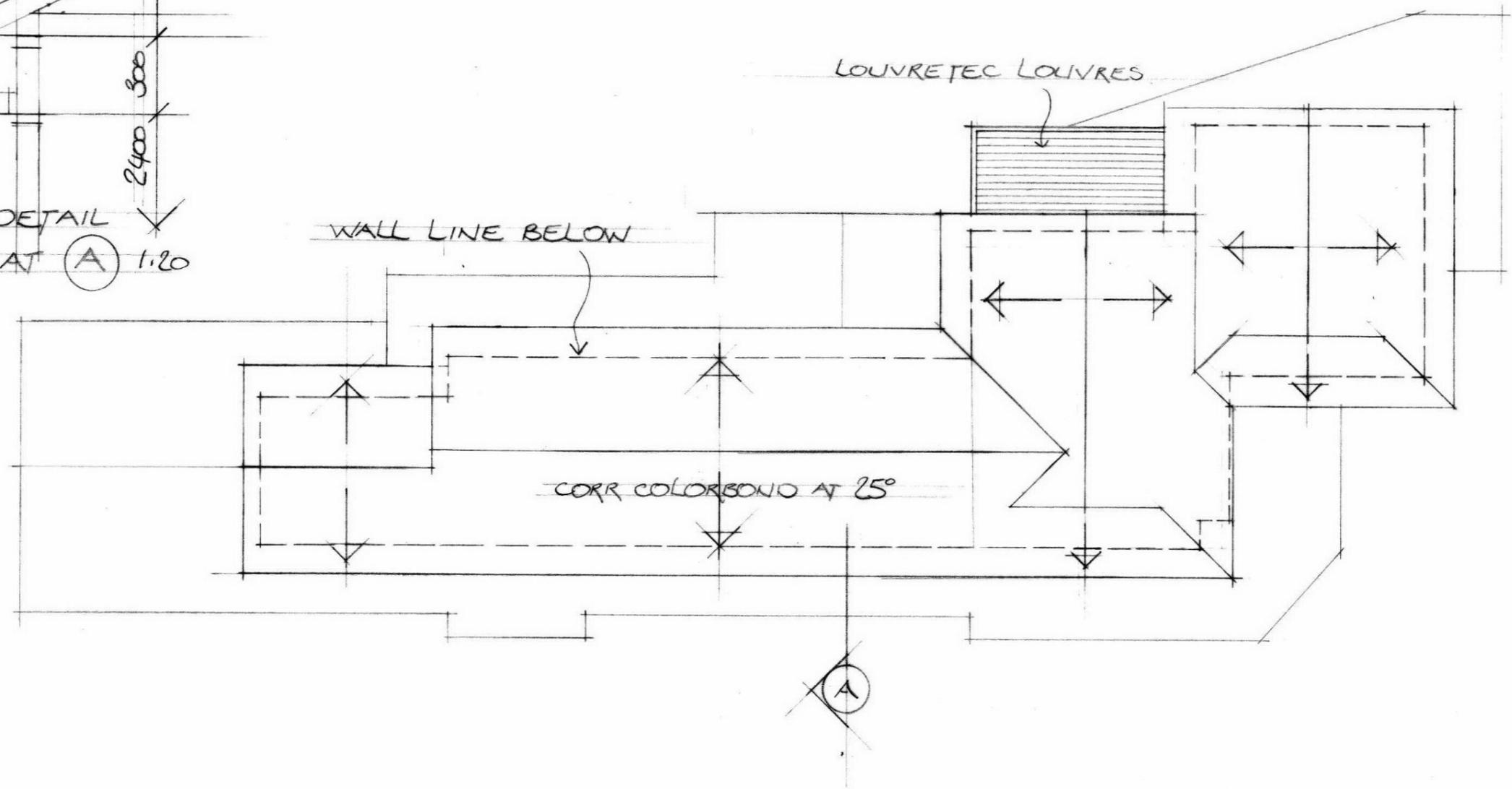
1ST FLOOR PLAN.

PROPOSED HOUSE. LOT 9 2/6 GREAT OCEAN RD - MARENGO SCALE 1:100 PA03/C

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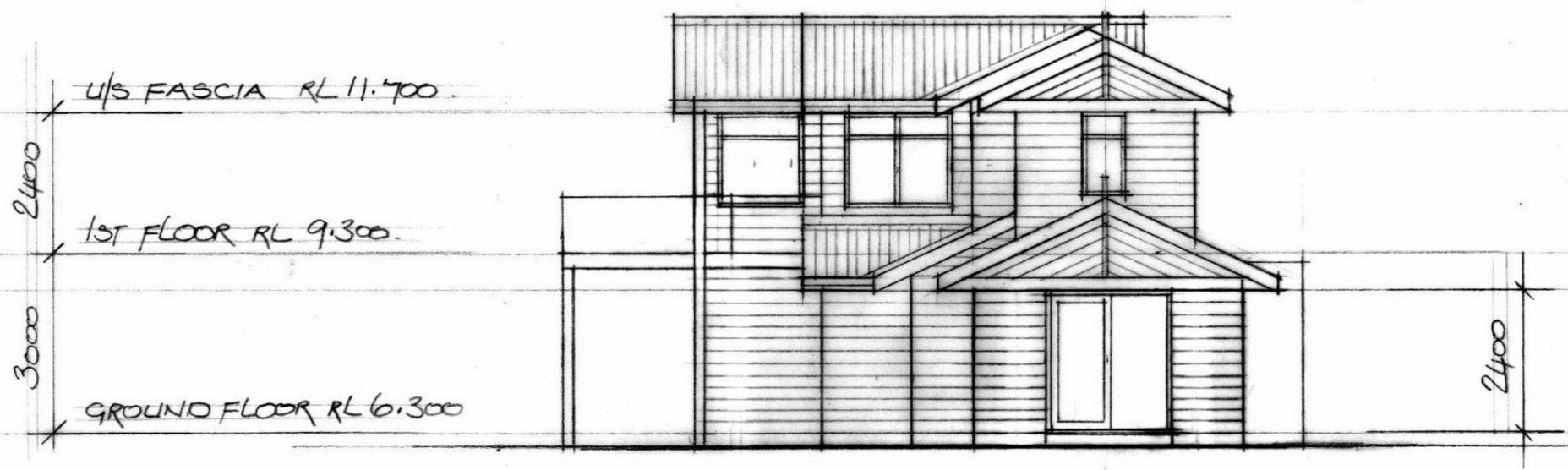
EAVES DETAIL
DETAIL AT (A) 1:20



ROOF PLAN

PROPOSED HOUSE · LOT 9 2/6 GREAT OCEAN RD. MARENCO SCALE 1:100 PA04/C

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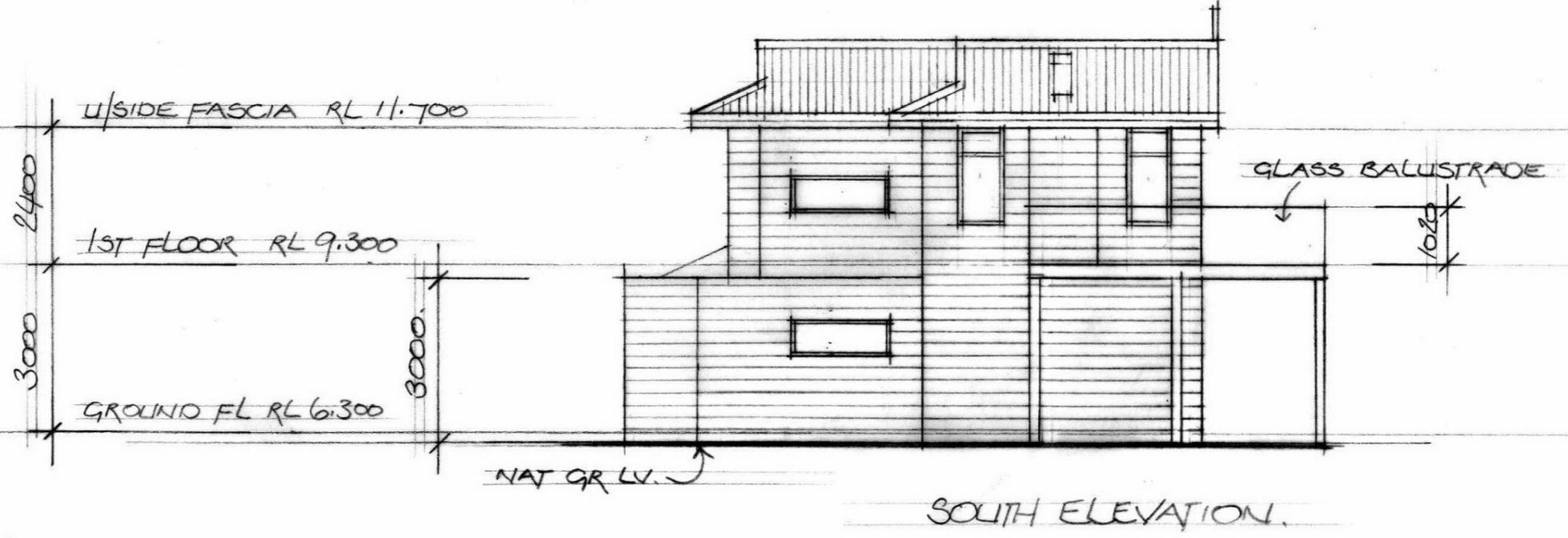
MATERIALS - COLOURS
 WALLS . JAMES HARDIE 'LINEA' WEATHERBOARDS - SHALE GREY.
 ROOF . CORRUGATED COLORBOND - BASALT.
 WINDOWS . POWDERCOAT - SATIN WHITE
 TIMBER TRIM . SATIN WHITE

NORTH ELEVATION.
 ELEVATIONS 1.

PROPOSED HOUSE . LOT 9 2/6 GREAT OCEAN RD. MARENGO

SCALE 1:100 PA 05/C

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