

**PP312/2018-1**

**150 Seven Bridges Road GERANGAMETE**

**C/A: 59A, C/A: 59B**

**Use of Land for Industry (Potato Processing),  
Associated works and Reduction of Car  
Parking (20 Spaces)**

**P G Scott**

**Officer - Ian Williams**

# **EXHIBITION FILE**

*This document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.*

Submissions to this planning application will be accepted until a decision is made on the application.

If you would like to make a submission relating to a planning permit application, you must do so in writing to the Planning Department



**Colac Otway**  
SHIRE

Planning Enquiries  
Phone: (03) 5232 9400  
Web: [www.colacotway.vic.gov.au](http://www.colacotway.vic.gov.au)

Clear Form

**The Land** i

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

**Street Address \***

Unit No.:	St. No.: 150	St. Name: Seven Bridges Road
Suburb/Locality: GERANGAMETE		Postcode:

**Formal Land Description \***

Complete either A or B.

! This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A	Lot No.:	<input type="radio"/> Lodged Plan	<input type="radio"/> Title Plan	<input type="radio"/> Plan of Subdivision	No.:
<b>OR</b>					
B	Crown Allotment No.: 59a & 59b	Section No.:			
Parish/Township Name: Yaughner					

**The Proposal**

! You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

i **For what use, development or other matter do you require a permit? \***

This application is for the installation of a potato chip processing plant within the existing shed structure at 150 Seven Bridges Road, Gerangamete.

The proposal is for a clean room to be constructed and a chip processing plant to be installed within the current she structure. The clean room would take up around 20% of the current shed and would be constructed of fire proof panels.

The aim of the processing plant is to value add to product grown on the farm properties.

There is no plan to have retail sales on site and the product would be sold through distributed and wholesale sales only.

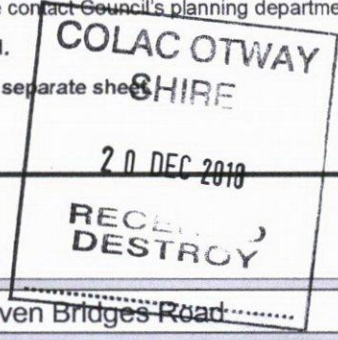
The plant would employ an additional seven staff on a part time/ casual basis to begin with.

Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

i **Estimated cost of any development for which the permit is required \***

Cost \$ 120,000	<span style="border: 1px solid black; padding: 0 2px;">!</span> You may be required to verify this estimate. Insert '0' if no development is proposed.
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## Existing Conditions i

### Describe how the land is used and developed now \*

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

150 Seven Bridges road is 105 ha property which is currently ran as a potato farm and cattle property. The business currently grows 1,500 tonnes of potatoes per annum and runs 300 beef cattle. There is currently a residential house and extensive farm shedding on the property

Provide a plan of the existing conditions. Photos are also helpful.

## Title Information i

### Encumbrances on title \*

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

## Applicant and Owner Details i

Provide details of the applicant and the owner of the land.

### Applicant \*

The person who wants the permit.

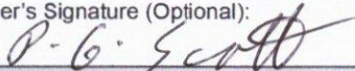
Please provide at least one contact phone number \*

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

### Owner \*


The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:		
Title: Mr	First Name: Peter	Surname: Scott
Organisation (if applicable): PG & SL Scott Pty Ltd t/a The Yaugher Farm Settlement		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.: 150	St. Name: Seven Bridges Rd
Suburb/Locality: GERANGAMETE	State: VIC	Postcode:
<b>Contact information for applicant OR contact person below</b>		
Business phone: 03 5236 687	Email: pg_sl_scott@hotmail.com	
Mobile phone:	Fax:	
<b>Contact person's details*</b>		
		Same as applicant <input type="checkbox"/>
Name:		
Title: Mrs	First Name: Janet	Surname: Forbes
Organisation (if applicable):		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.: 26	St. Name: Chapel Street
Suburb/Locality: Colac	State: Vic	Postcode: 3250
<b>Owner *</b>		
		Same as applicant <input type="checkbox"/>
Name:		
Title: Mr	First Name: Peter	Surname: Scott
Organisation (if applicable):		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.: 150	St. Name: Seven Bridges Road
Suburb/Locality: Gerangamete	State: Vic	Postcode: 3249
Owner's Signature (Optional): 	Date: 17/12/2018 day / month / year	

## Declaration

This form must be signed by the applicant \*

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature:

*P. G. Scott*

Date: 17/12/2018

day / month / year

## Need help with the Application?

General information about the planning process is available at [planning.vic.gov.au](http://planning.vic.gov.au)

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer?

No  Yes

If 'Yes', with whom?: Michael Swanson

Date:


day / month / year


## Checklist

Have you:

Filled in the form completely?

Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

 Provided all necessary supporting information and documents?

A full, current copy of title information for each individual parcel of land forming the subject site.

A plan of existing conditions.

Plans showing the layout and details of the proposal.

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts).

Completed the relevant council planning permit checklist?

Signed the declaration above?

## Lodgement

Lodge the completed and signed form, the fee and all documents with:

Colac Otway Shire  
PO Box 283  
Colac VIC 3250  
2-6 Rae Street  
Colac VIC 3250

### Contact information

Phone: (03) 5232 9400  
Email: [inq@colacotway.vic.gov.au](mailto:inq@colacotway.vic.gov.au)

Deliver application in person, by post or by electronic lodgement.

150 Seven Bridges Road  
GERANGAMETE VIC 3249

December 17, 2018

The Planning Department  
Colac Otway Shire  
2-6 Rae Street  
COLAC VIC 3250

Dear Sir / Madam

Please find enclosed my application for a planning permit for 150 Seven Bridges Road Gerangamete

**Applicant** – PG & SL Scott Pty Ltd as trustee for The Yaugher Farm Settlement trading as PG & SL Scott Pty Ltd.

**Purpose:** The purpose of this application is to seek a planning permit on behalf of TYFS to construct a chip processing plant on the farm at Gerangamete. The plant would be constructed within the existing shed structure on the property.

**Background:** PG & SL Scott have been growing potatoes at Gerangamete for over 30 years and have worked with the Victorian State Agricultural Department for over 20 years developing new breeds of potatoes. They own the license to breeds of colored potatoes and wish to value add to this product produced by them with the introduction of a chip processing plant.

**In Clause 21.05** the Colac Otway Planning Scheme seeks to protect agricultural industries and recognizes that they are critical to the economic and social well being of the Shire. The rural land strategy has acknowledged, *“that to maintain viability, many farms will have to increase in size or look to more intensive, alternative enterprises.*

The proposal for a potato chip processing plant on the property at 150 Seven Bridges Road is the introduction of an alternative enterprise to help maintain viability of an agricultural business. The purpose of the plant is to value add to the potatoes produced by the business of PG & SL Scott.

The property at 150 Seven Bridges Road sits within the Colac Otway potato protection district (PPD). There are only three declared PPD in Victoria one of which is in the Colac Otway Shire.

The viability of potato growing is continually under pressure and Aus Veg Report into *Pricing, Cost Structures, and Profitability in the Australian Vegetable Industry* shows that Victorians receive the least money per tonne of potatoes compared to other states and in some years such as 2008-09 the cost of production exceeded the return. Under these circumstances there is a need for farmers to investigate and implement alternative enterprises to maintain the viability of their farms.

As the plan is to incorporate the plant within the shedding structure already existing on the property there will be no loss of agricultural land in the development of this business. Previously the farm was a dairy potato farm but with the move from dairy to beef over the years and the focus on potatoes there is ample shedding to allow for the change of purpose without loss of agricultural land.

The plant would be inside the current shedding structure on the property. This application does not aim to change the land use of the 105 ha property which operates as a potato / cattle farm but to introduce an industry to value add to the product produced on the farm.

### **Production process**

The process involved in the production of purple potato chips is as follows

- Washed potatoes are brought into shed and placed in loading bin to conveyer belt
- They travel along conveyer to
- High speed cutters to cut prior to frying
- Frying – quick fry – in single fryer
- Centrifuge – to minimize the oil content of the chip
- Conveyer for inspection for product defect and removal if necessary
- Seasoning chamber – salting chips
- Automatic packer – packs into bags and weighs
- Check weigher – Second check on weight of bags and also tests for metal contamination (precaution only)
- Boxed, sealed and packed onto pallet

### **Products used in Process – below is a list of all products that will be required for processing with approximate quantities on site at one time**

• Coloured potato (purple) (max 200 tonnes pa)	50 tonnes.
• Oil (Australian Oil either Sunflower or Olive oil)	7,000 ltrs
• Sea Salt	2 pallets
• LPG Gas	10,000 ltrs
• Cardboard Boxes	11,000
• Foil bag	100,000

### **Residual products** from chip processing will be:

- used vegetable oil – end market on farm as cattle feed or to stock feed producer
- potato material – end market on farm for cattle feed ( potatoes are cooked with skin this should be minimal quantity)

### **Waste management –**

Small amount of packaging expected from packaging will be added to farm waste, which is currently placed in a skip sent to a licensed facility for disposal

**Noise** – plant selection will take noise into consideration. No noise should be heard outside the processing area as internal walls are being introduced. Noise will be monitored and ear protection made mandatory if required for staff.

**Dust** –As a potato farm a reasonable amount of dust can be expected as vehicles move around the outside shedding. In order to minimise dust it is planned to concrete inside the shedding and outside the processing plant area.

**Odour**– there is no odour from this process.

### Hours

The business sees itself commencing operating on a part time basis until it builds market share.

A range of hours that would allow flexibility for things such as breakdowns, early starts on hot days early finish to suit employees is preferred. The range of hours stated are hours that they would be operational between and not necessarily the hours that they would operate. As this is in an existing farming zone these hours would be normal business hours for adjoining properties.

6 am to 8 pm Monday to Friday.

6 am to 8pm Saturday

### Employment:

The introduction of this chip processing plant would result in the introduction of seven new jobs with six staff employed to operate the plant and one administration person. This plant will also ensure ongoing employment for current farm workers and create an additional job in potato production

### Traffic:

It is believed that the traffic produced by the business would have no impact on local residents.

Employees would travel to and from work at a maximum would be 14 car movements per operational day.

The key product is produced at the farm. There would be other deliveries such as of oil, gas, salt and packaging.

The business does not propose to have retail sales from the farm but wholesale sales only and through wholesalers and trucks to the fresh food market.

In summary it is believed that the total **monthly** vehicle movements produced by the business would be

Type	Ave Week	Ave Month
Employees car movement	60	240
Delivery Trucks	2	8
Wholesale trucks	2	8

### **Effects on adjoining landowners:**

It is believed that the development of a potato processing plant at 150 Seven Bridges Road, Gerangamete will have no effect on the adjoining landowners. The property where the proposed plant will be located is 105 hectares in size. It is one of only three properties along this 4.8-kilometer stretch of road with local residents. The closest resident to the proposed plant is approximately 450 meters away and the other is 670 meters away. Seven Bridges Road is a main link road between Colac Forrest Road and Forrest –Birregurra Road and has a reasonable amount of traffic. Both of these properties are dairy farms. Other adjoining properties are Yaughar Plantation currently leased to Hancocks Plantations and State Forrest. The Scott family has had discussions with resident neighbours and no objections have been raised.

**Cultural Heritage Management Plan (CHMP)**–advised that this does not apply to this property.

### **Landscape**

There will be no change to the landscape apart from concreting existing area outside the sheds which is currently part of hardstand and pasture area. No plants or vegetation will be removed except some grassed area may be concreted

### **Signage**

There is no change to the existing signage on the road way at the farm which currently has the residents' name and road number. The only exception to this will be the need for any signage to meet legal or safety requirements.

**EPA** – an approvals pathway form was completed and PG & SL Scott was advised that no works approval was required. EPA Reference 1003272

### **Please find attached the following documents as required**

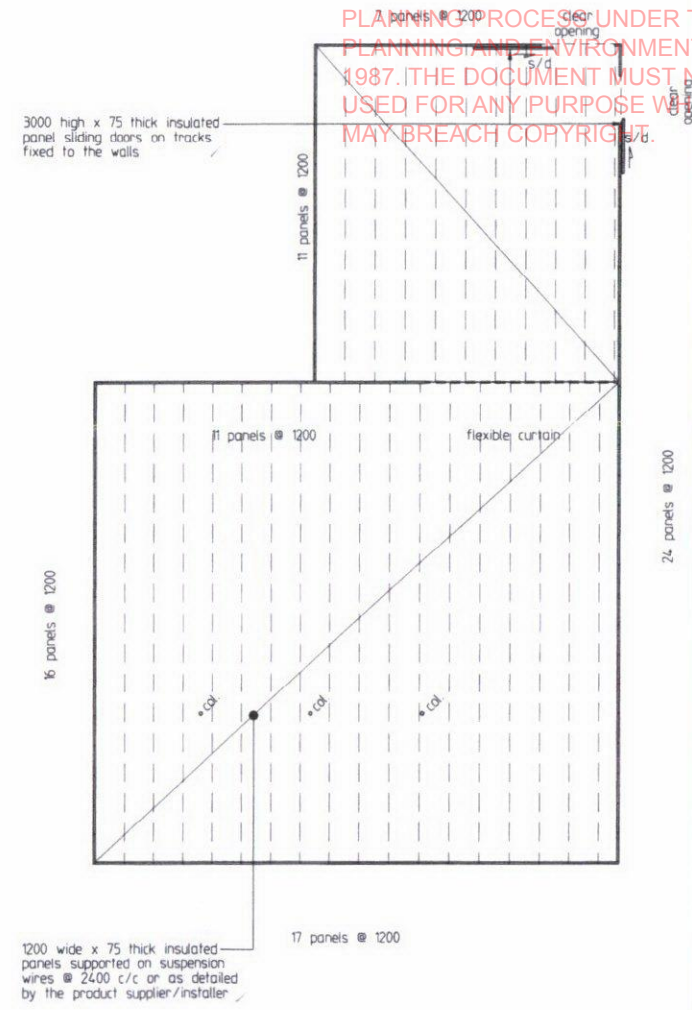
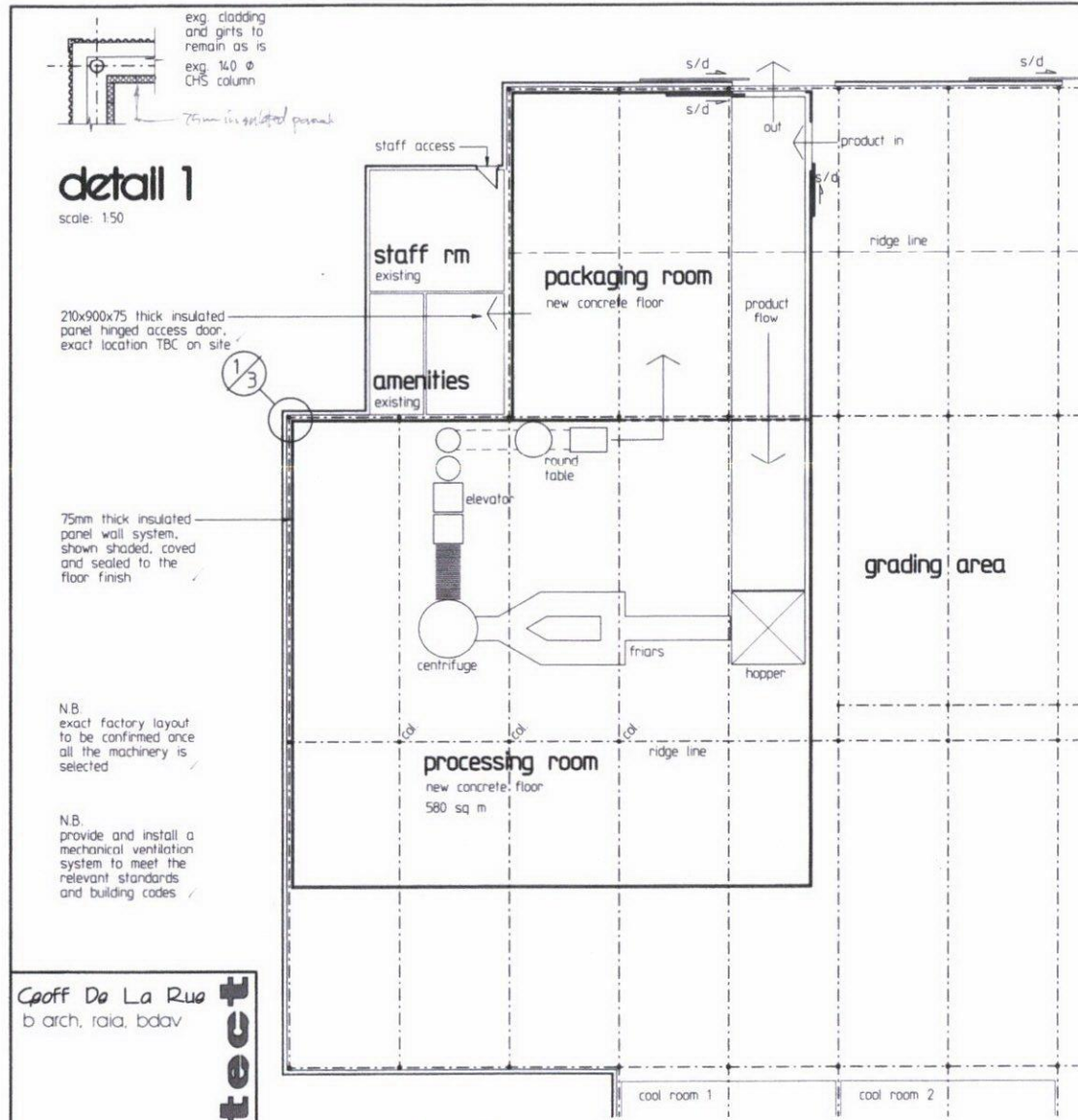
- **Current copy of title**
- **Application form (and fee)**
- **Site Plans**
- **Building Plans (for planning permit only)**
- **Geotechnical Assessment**
- **Business plan**
- **Application to reduce the number of car parks required**
- **Bushfire Emergency Plan**
- **Bushfire Management Statement**
- **Significant Landscape overlay Statement**

**Regards**

**PG & SL Scott**



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**electrical layout** T.E.F.  
scale: 1:200

**panel layout**  
scale: 1:200

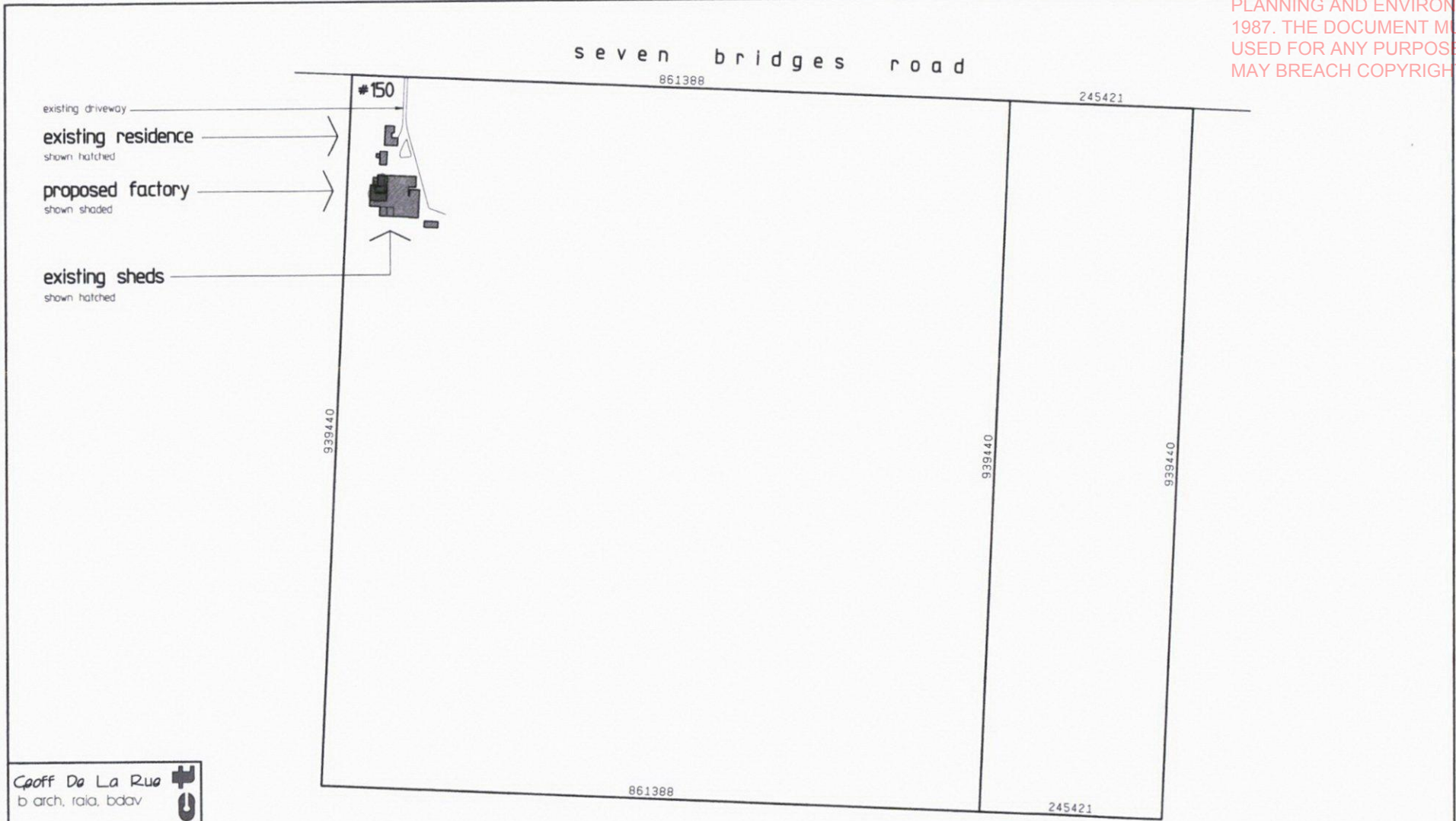
**Capoff De La Rue**  
b arch, raia, bdav

**architect**

26 murray street colac  
po box 92 colac 3250  
telephone 03 52314787  
mobile 0419 351 185  
email gdelarue@iinet.net.au

REVISIONS: _____ _____ _____	NOTES: DO NOT SCALE OFF THE DRAWINGS REFER TO FIGURED DIMENSIONS ONLY BUILDER TO VERIFY DIMENSIONS ON SITE CONFIRM ALL LEVELS, & SITE FEATURES NOTIFY DISCREPANCIES TO THIS OFFICE	 NORTH	PROJECT: proposed chip factory	DESIGN: G.DeLaRue	SCALE: AS SHOWN	18=49 PROJECT NUMBER 08 4 - 03 SHEET OF REV. FORMAT
			CLIENT: peter scott	DRAWN: LR	ISSUED: _____	
			SITE: 150 seven bridges road, gerangamete	CHECK: GAD	TO: _____	
			TITLE: DESIGN DRAWINGS - electrical layout	DATE: 12-12-18	FOR: _____	

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Goeff De La Rue  
b arch, raia, bdav

**architect**

site plan  
scale: 1:5000

26 murray street colac  
po box 92 colac 3250  
telephone 03 52314787  
mobile 0419 351 185  
email gdelarue@inet.net.au

REVISIONS:  
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CONFIRM ALL LEVELS, & SITE FEATURES  
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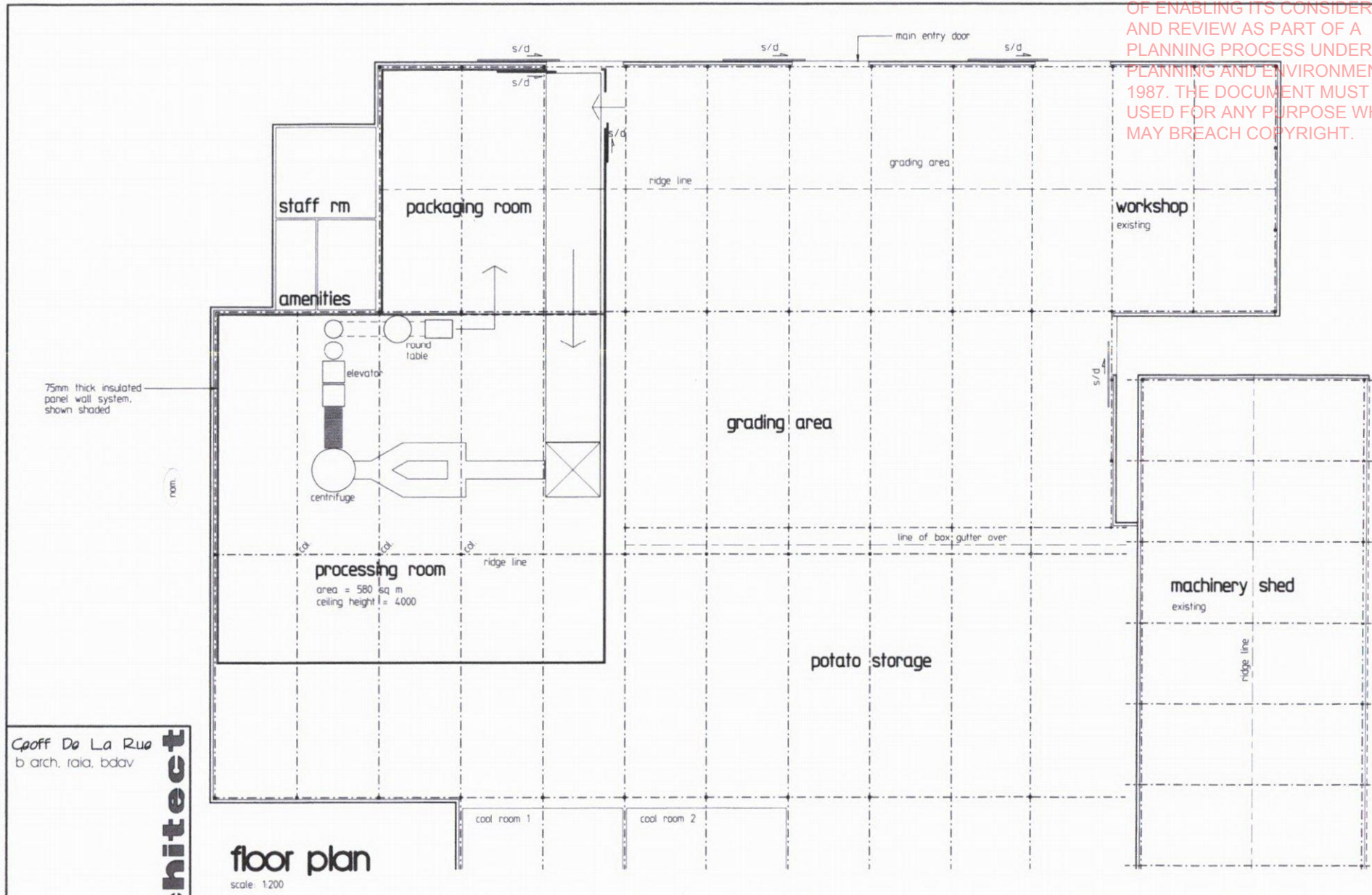
PROJECT: proposed chip factory  
CLIENT: peter scott  
SITE: 150 seven bridges road, gerangamete  
TITLE: DESIGN DRAWINGS - site plan

DESIGN: G.DeLaRue  
DRAWN: LR  
CHECK: GAD

SCALE: AS SHOWN  
ISSUED:  
TO:  
FOR:

18:49  
PROJECT NUMBER:  
01 4 - A3  
SHEET OF REV. FORMAT

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Gpoff De La Rue  
b arch. raia, bdav

**architect**

26 murray street colac  
po box 92 colac 3250  
telephone 03 52314787  
mobile 0419 351 185  
email gdelarue@inet.net.au

REVISIONS:


NOTES:  
DO NOT SCALE OFF THE DRAWINGS  
REFER TO FIGURED DIMENSIONS ONLY  
BUILDER TO VERIFY DIMENSIONS ON SITE  
CONFIRM ALL LEVELS, & SITE FEATURES  
NOTIFY DISCREPANCIES TO THIS OFFICE



PROJECT: proposed chip factory  
CLIENT: peter scott  
SITE: 150 seven bridges road, gerangamete  
TITLE: DESIGN DRAWINGS - proposed plan

DESIGN: G.DeLaRue  
DRAWN: LR  
CHECK: GAD  
DATE: 12-12-18

SCALE: AS SHOWN  
ISSUED: \_\_\_\_\_  
TO: \_\_\_\_\_  
FOR: \_\_\_\_\_

18:49

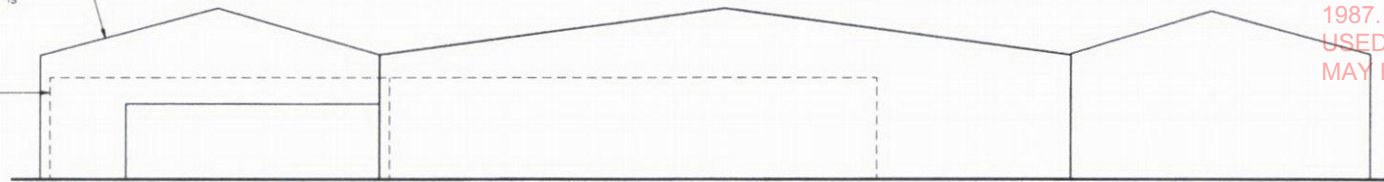
PROJECT NUMBER

02 4 - A3  
SHEET OF REV. FORMAT

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outline of existing shed complex, all to remain as is

nominal line of insulated panel enclosure to the new chip factory, shown dotted



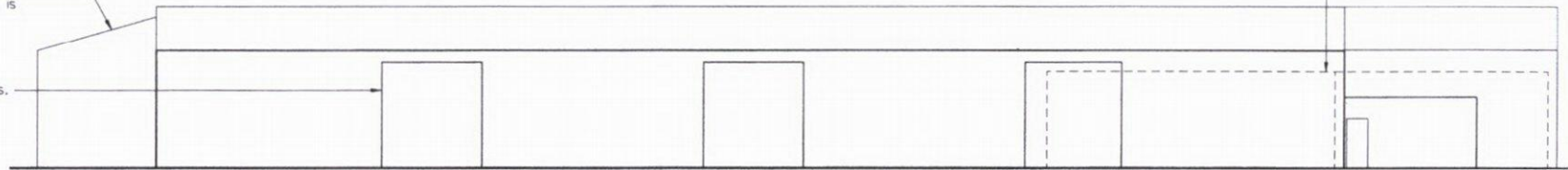
**west elevation**

scale: 1:200

outline of existing shed complex, all to remain as is

3 no. existing sliding doors, all to remain as is

nominal line of insulated panel enclosure to the new chip factory, shown dotted



**north elevation**

scale: 1:200

Gpoff De La Rue  
b arch, raia, bdav

**architect**

26 murray street colac  
po box 92 colac 3250  
telephone 03 52314787  
mobile 0419 351 185  
email gdelaruz@inet.net.au

REVISIONS:


NOTES:  
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BUILDER TO VERIFY DIMENSIONS ON SITE  
CONFIRM ALL LEVELS, & SITE FEATURES  
NOTIFY DISCREPANCIES TO THIS OFFICE



PROJECT: **proposed chip factory**  
CLIENT: peter scott  
SITE: 150 seven bridges road, gerangamete  
TITLE: DESIGN DRAWINGS - proposed elevations

DESIGN: G.DeLaRuz  
DRAWN: LR  
CHECK: GAD

SCALE: AS SHOWN  
ISSUED: \_\_\_\_\_  
TO: \_\_\_\_\_  
FOR: \_\_\_\_\_

**18:49**  
PROJECT NUMBER  
04 4 - A3  
SHEET OF REV. FORMAT

### **Application to reduce the number of Car Parking Required.**

The property at 150 Seven Bridges Road, Gerangamete in regard to the potato processing plant hereby make application to have the number of required car parking spaces reduced to as per the attached plans.

The area of the shedding which is classified as industry is 1,000 square meters and under The Car Parking Requirements set out in Clause 52.06 of the planning scheme would be required to have 29 allocated car parks. It is requested that this be reduced to 9 on the following grounds.

The proposed industrial site is located within the farm property at 150 Seven Bridges Road and as such is not open to members of the public other than those visiting the site on business.

The business has carried out a car parking demand assessment and found the following

- The business has identified that they will employ seven (7) staff on site. It has been identified that the plant will need 5-6 employees to run and one administration officer. There is no likelihood of this staff level changing.
- The business has allocated 9 car parks with safe and easy access to their point of work.
- It is planned for employees to work a full day shift
- There are no retail sales from the site.
- Adequate parking provision has been made for business visitors to the site, as it is believed that there would not be more than the occasional official visitor and normally one at a time.
- There is no public transport servicing this locality

In taking into consideration this request it should be noted that the site is located on a farm which has an access track of approximately 100 meters from the road. Should there be unforeseen parking requirement (such as an industry visit) this could be adequately catered for on the farm property without impacting on traffic on the roadway.

As this is not a residential area the reduction in car parking numbers will have no impact on local traffic management and as the land is farming zone on future development of the land. The reduction of car parking spaces to the 9 as per the plan will have no impact on the surrounding areas.

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 06800 FOLIO 806

Security no : 124075342532W

Produced 12/12/2018 11:19 AM

LAND DESCRIPTION

Crown Allotments 59A and 59B Parish of Gerangamete.  
PARENT TITLE Volume 05930 Folio 810  
Created by instrument 1970831 16/10/1945

REGISTERED PROPRIETOR

Estate Fee Simple  
Sole Proprietor  
PETER GERARD SCOTT of BARONGAROOK WEST  
J045504 27/06/1980

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE P172024V 05/05/1989  
NATIONAL AUSTRALIA BANK LTD

For details of any other encumbrances see the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP379755P FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

ADMINISTRATIVE NOTICES

NIL

eCT Control 16089P NATIONAL AUSTRALIA BANK LIMITED  
Effective from 22/10/2016

DOCUMENT END

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<b>TITLE PLAN</b>	<b>EDITION 1</b>	<b>TP 379755P</b>								
<b>Location of Land</b> Parish: GERANGAMETE Township: Section: Crown Allotment: 59A, 59B Crown Portion:  Last Plan Reference: Derived From: VOL 6800 FOL 806 Depth Limitation: NIL	<b>Notations</b>  ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN									
<b>Description of Land / Easement Information</b>		THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT COMPILED: 03/04/2000 VERIFIED: SO'C								
<p>The diagram shows a rectangular plot divided into two parcels, labeled 1 and 2. The plot is bounded by a 'GOVT ROAD' at the top. The left boundary is labeled '58<sup>A</sup>Z' and '4670'. The top boundary is labeled '4282' and 'E'. The right boundary is labeled '1220' and '59<sup>B</sup> 4670'. The bottom boundary is labeled '4282' and '1220'. The bottom-left corner is labeled '60'. Inside the plot, parcel 1 is labeled '59<sup>A</sup>' and parcel 2 is labeled '59<sup>B</sup>'. A note '256A BR 36P' is written near parcel 2. Handwritten annotations 'P/82' and 'P/83' are present at the bottom of the diagram.</p>										
<table border="1" style="margin: auto;"> <tr> <th colspan="2">TABLE OF PARCEL IDENTIFIERS</th> </tr> <tr> <td colspan="2">WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962</td> </tr> <tr> <td>PARCEL 1</td> <td>= CA 59A</td> </tr> <tr> <td>PARCEL 2</td> <td>= CA 59B</td> </tr> </table>			TABLE OF PARCEL IDENTIFIERS		WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962		PARCEL 1	= CA 59A	PARCEL 2	= CA 59B
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PARCEL 1	= CA 59A									
PARCEL 2	= CA 59B									
LENGTHS ARE IN LINKS	Metres = 0.3048 x Feet Metres = 0.201168 x Links	Sheet 1 of 1 sheets								

## SIGNIFICANT LANDSCAPE OVERLAY – 150 Seven Bridges Road

The planned development at 150 Seven Bridges Road is planned to be incorporated within the existing shedding structure.

It is understood that the purpose of this schedule is to maintain the landscape character of the region. This area is farm zone and whilst the proposed development is industrial it will be located in current farm shedding.

There is no plan to alter the landscape in any way apart from the removal of a small grassed area near the shedding which will be concreted to control dust and for pathways.

No plants in the area will be removed but there are no plans to plant low vegetation in the location of the shed structure. This is for two reasons:

- The shedding structure to the south of the proposed plant houses a plant breeding program which needs to have as sterile environment therefore no plants are planted in the vicinity that could encourage birds.
- Low vegetation would increase the risk in case of grass fire

No native animal vegetation or habitats will be effected by the development

A plan of the landscape is attached no details of the residential house and garden are included as these are not relevant to the proposal.

The existing farm shedding is screened from view at different angles as described below –



- from the roadside the view is of a residential property with a stand of ornamental and fruit trees -
- on the east the view is blocked by vegetation along the fence line a combination of small native gum (peppermint and grey) plums and random pine
- on the west side a row of healthy cypress block from view the existing shedding, the only exception is a small section that was removed for fire safety in light of overhead powerlines.

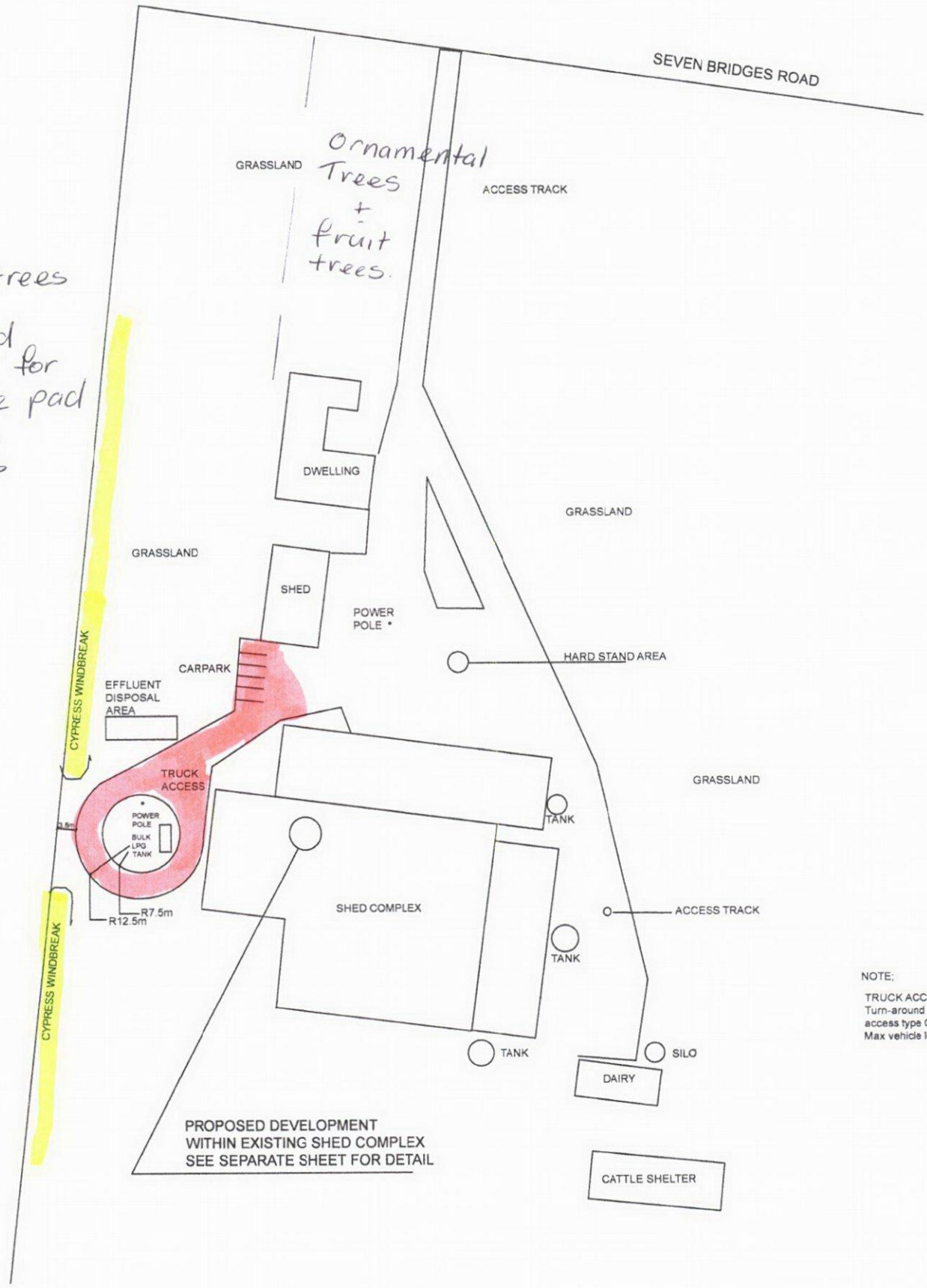
It is believed that the development of the processing plant in the existing shed structure will have no adverse impact on the landscape overlay.



# Landscape Plan.

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-  Cypress trees
-  Grassland removed for concrete pad + Truck access



PROPOSED DEVELOPMENT WITHIN EXISTING SHED COMPLEX SEE SEPARATE SHEET FOR DETAIL

NOTE:  
TRUCK ACCE  
Turn-around t  
access type C  
Max vehicle le

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Entrance to 150 Seven Bridges Road from Roadway

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Travelling west along Seven Bridges Road, cypresses screen sheds

Geelong/Melb, Victoria

Google, Inc.

Street View - Mar 2010



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12/19/2018

150 Seven Bridges Rd - Google Maps

Google Maps 150 Seven Bridges Rd

Travelling west along Seven Bridges Road, sheds are screened from view



Forrest, Victoria  
Google, Inc.  
Street View - Mar 2010



<https://www.google.com/maps/@-38.474433,143.6999805,3a,75y,906,906/data=!3m2!1e1!1e1!1NF3H4MTFQ9-LgM0Zlwe12e077113312986656>



# Business Plan

## DK's Potato chips

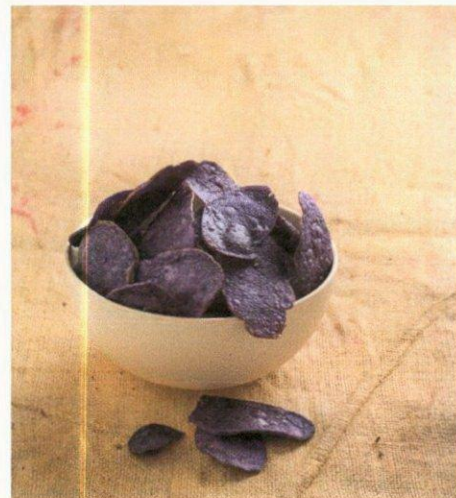
PG & SL Scott Pty Ltd as Trustees for The Yaugher Farms Settlement

150 Seven Bridges Rd, GERANGAMETE

**ABN:24757518429**

**ACN:07815764**

**Prepared:**October 2018



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## Business Plan Summary

### The Business

**Business name:** PG & SL Scott Pty Ltd as trustees for The Yaughar Farms Settlement and trading as PG & SL Scott

**Business structure:** *Company*

**ABN:** 24757518429

**ACN:** 078157641

**Business location:** 150 Seven Bridges Road, Gerangamete

**Date established:**

**Business owner(s):** PG & SL Scott Pty Ltd

#### Relevant owner experience:

Peter and Sandra have been operating a farm at Seven Bridges Road, Gerangamete for over 30 years. Over the years they have farmed dairy and beef cattle and grown potatoes. Peter and Sandra have over 33 years experience growing seed potatoes.

Currently they grow approximately 1,500 tonnes of potatoes per annum and carry approximately 300 head of stock.

Peter has worked with the Department of Agriculture on breeding new potatoes varieties with an aim to increasing nutritional value. As a result of this development PG & SL Scott now hold the licence over 4 varieties of potatoes for 25 years each.

#### Products:

In 2016 they launched the brand and product DK's Purple Potato Chips. This was processed by another processor and they produced just under 200,000 packets of chips over 3 trial runs.

Run 1	12,000 packets
Run 2	91,000 packets
Run 3	85,000 packets

These products sold successfully to the market and Run 3 sold out. At this stage they were no longer able to access a commercial factory.

PG & SL Scott Pty Ltd is now hoping to be able to process this brand from their property at Gerangamete.

## The Market

The product to be produced is a high end potato chip.

According to Roy Morgan Research potato chips have 41% of the snack market. The potato chip market in Australia is valued at over \$2bn per annum. DK's chips have identified a market for an Australian owned high quality chip.

## The Future

### **Vision statement:**

To successfully market coloured potato chips.

### **Goals/objectives:**

Value add to product to which we hold the licence and that was developed in conjunction with the State Government fulfil its market potential.

## The Finances

The raw product is grown by our company at seasonal cost of approximately \$450 per tonne. Each tonne will produce between 2800 and 3,200 tonne.

Based on sales of trial runs it is anticipated that we can sell over 500,000 packets of chips in the first twelve months of operation (allowing 6 weeks pre production).

Plant –	\$340,000
Building alterations	\$150,000
Operational costs per 500,000 -	\$633,000
Income from 500,000	\$1,250,000



## The Business

### Business details

**Vision statement:**

To successfully market coloured potato chips.

**Goals/objectives:**

Value add to product to which we hold the licence and that was developed in conjunction with the State Government fulfil its market potential.

**Products/services:**

The product is a purple potato chip where the potato has been bred and grown in Australia.

### Registration details

**Business name:**PG & SL Scott As Trustee For The Yaugher Farms Settlement

**Trading name(s):**The Yaugher Farms Settlement

**Date registered:**

**Location(s) registered:**

**Business structure:** Company

**ABN:**24757518429

**ACN:**078157641

**GST:**Registered 24 March 2000

**Domain names:**[Registered domain names.]

**Licences & permits:**this will be your licences as per the potato [List all the licences or permits you have registered]

### Business premises

**Business location:**

The business will be located at the registered address of PG& SL Scott Pty Ltd trading as The Yaugher Farm Settlement, which is a 256 ha farm at 150 Seven Bridges Road, Gerangamete being Allotment 59 in the Parish of Gerangamete. The property is located 20 minutes out of Colac and 10 minutes from Forrest on a sealed main road. Due to its location they are aware of local people who would be able to be employed.

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The aim of the processing plan is to value add to the potato that they have developed. Siting the business at the registered address will allow them to run this along with their core farming businesses of growing and developing seed and grazing cattle.

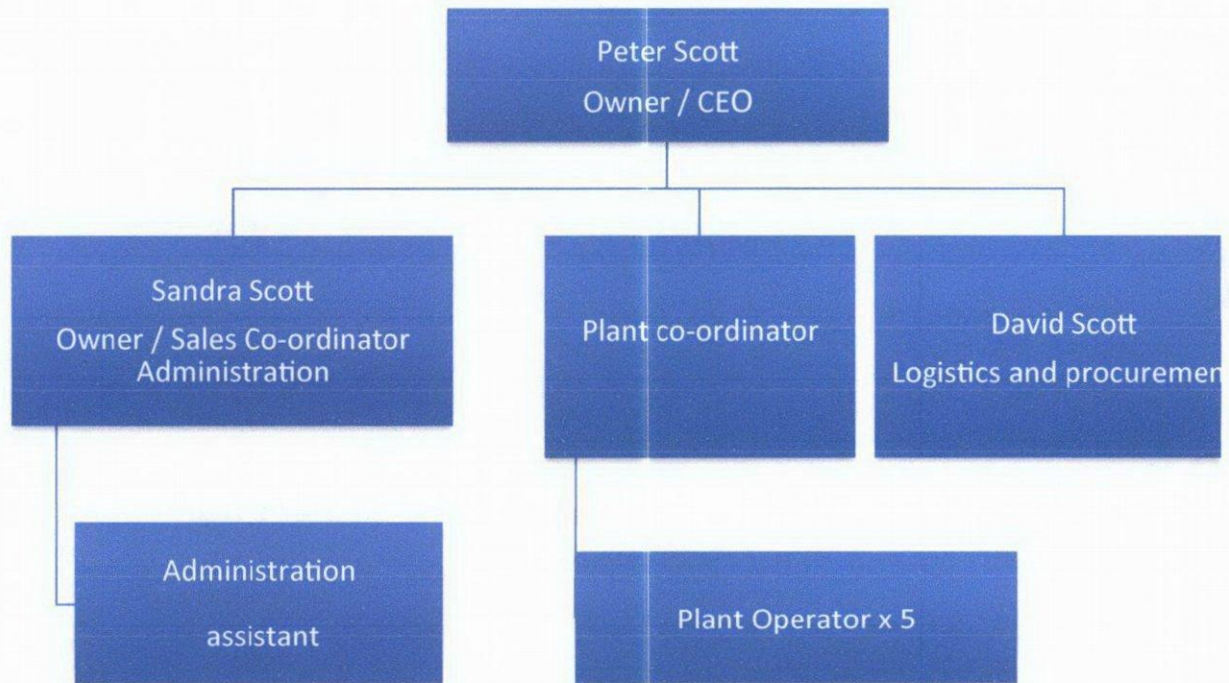
The premises is in a farming zone with the following overlays

- BUSHFIRE MANAGEMENT OVERLAY (BMO)
- EROSION MANAGEMENT OVERLAY (EMO)
- EROSION MANAGEMENT OVERLAY - SCHEDULE 1 (EMO1)
- SIGNIFICANT LANDSCAPE OVERLAY (SLO)
- SIGNIFICANT LANDSCAPE OVERLAY - SCHEDULE 1 (SLO1)
- LAND SUBJECT TO INUNDATION OVERLAY (LSIO)
- VEGETATION PROTECTION OVERLAY (VPO)

**Buy/lease:** PG & SL Scott own the property and they are looking to incorporate the processing plant within the existing shed structure on the property. This structure will require internal structure amendments such as new internal walls, alterations to plumbing and power.

### Organisation chart

**Figure 1: Example Organisation Chart.**



### Management & ownership

**Names of owners:** PG and SL SCOTT PTY LTD as trustees for The Yaughar Farms Settlement and trading PG & SL Scott. Peter G Scott and Sandra L Scott of Seven Bridges Road, Gerangamete own PG & SL SCOTT PTY LTD.

**Details of management & ownership:** Peter Scott as one of the owners of the business will be *Chief Executive Officer of the business*. Sandra Scott as one of the owners of the business will be the *administration manager of the business*.

**Experience:** Peter and Sandra have been operating a farm at Gerangamete for more than 30 years. Over this period they have employed up to 15 casual employees at different periods.

Peter has been the main operational manager planning and organising day-to-day activities on their property. Peter has successfully worked to develop markets for his seed and table potatoes across the eastern states of Australia and South Australia. The business currently grows upwards of 1500 tonnes of potatoes each year. This has included working to minimize the risk and or effects of such things as drought, floods and disease amongst cattle and plants.

During the last 20 years they have worked developing new varieties on behalf of the State Government breeding program. The aim of the program is to develop breeds of potato with higher nutritional value. Over the last six-years they have worked with State Government departments to breed their own varieties. They currently hold over 3,000 breeding lines or test varieties at their farm for evaluation. Currently they hold the licence on four varieties of potato, which are owned by the State Government.

Peter interacts regularly with the University of LaTrobe and State Agriculture department in regard to the development of new varieties. Peter is an active member and past branch president of the Potato Growers Association and a past president of United Dairy farmers of Victoria (UDV).

Sandra has played a key role in the operation of the business over the past 30 years. Sandra has experience in book keeping, payment of wages, accounts payable and receivable. Sandra continues to work with their accountant to ensure that all the appropriate records are kept and employees are paid under the relevant awards.

Closest residential house would be over 400 metres away from the processing plant

## Key personnel

### Current staff

David Scott has been employed in the primary industry for the last 12 years. He has a diploma in horticultural production – potato product. David is the current holder of the following licences: Chemical administration, endorsed truck licence, forklift licence and first aide certificate. David has been actively involved with potato production and marketing of their products. David was selected by the Australian Vegetable growers association to be part of an industry tour of USA and Canada.

### Janet Forbes

Janet has experience in administration working with private industry, local and state government. Janet has worked as a project and operations manager. She has experience in managing a budget to the values of \$2.5 million per annum.

Job Title	Name	Expected staff turnover	Skills or strengths
Production and procurement	David Scott	5 yrs.	Diploma in horticultural production – potato product. 12 years experience in Potato production Licences include truck tractor forklift First Aide Certificate Selected by the AUSVeg for industry tour of USA and Canada
Quality	Janet Forbes	[12-18 months]	Budgeting Standard Operation Procedures Contract Management

### Required staff

The business has identified the need for the following staff initially and expecting to increase staff to 10-15 EFT within two years

Job Title	Quantity	Expected staff turnover	Skills necessary	Date required
Processing manager	1	3 yrs	Experience in food processing – this person has been identified	[Month/Year]
Processing staff	6	18 mths		[Month/Year]

### Recruitment options

The Yaughar Farms Settlement have employed up to 20 casuals at a time over the time they have been farming at Gerangamete and believe that the local community is able to supply the additional 6 casual employees. The business has already identified a local resident with previous experience working in food processing. This person who lives locally has indicated a keen interest in the position should it become available.

Colac is a well know base for manufacturing and food production and suitable employees should be able to employ excellent quality employees in that field.

The business plan has identified that the original need for staff would be 7 additional staff on a part time basis initially with this developing into fulltime work within 12 months as markets open and develop.

The production of these chips will also provide additional jobs in growing the purple potato variety. This will provide an additional 1 EFT.

## Training programs

Current negotiations with plant suppliers are for them to set up the plant on site. At this stage all key personnel in the business would be trained including Peter, Sandra, David and other production staff employed at the time. This would give the business a strong fall back position should key staff leave if both owners of the business are trained to use the plant.

A training program and standard operating procedures will be developed on delivery of the plant for all roles detailing job requirements and plant monitoring.

All new staff will have an induction onto the site, training which will be recorded on the plant. There will also be a procedures manual implemented. The plant will require six staff when operating and the plan is to rotate jobs on the floor so as all staff can carry out all roles.

## Products/services

Product	Description	Price
DK's Purple potato chips	Purple potato crisp	\$2.20 to \$2.50 excluding GST wholesale

**Market position:** High-end potato chip.

### Unique selling position:

Previous test runs of the product have indicated that we have a product that will sell at the high end of the market. Due to the purple colour of the chips they have a stronger potato flavour and do not require the same amount of salt as other chips.

Processing them in our own plant where they cannot be contaminated by other products on the processing line will mean that they can be marketed as nut free, animal protein and gluten free.

Our research indicates that these will be the only potato chips on the market grown and manufactured by an Australian owned company.

PG & SL Scott have worked to source fully Australian sunflower oil and salt so as they can produce a 100% Australian product.

### Anticipated demand:

At the conclusion of previous test runs the company was selling up to 1200 packs a day with limited market outlets having been established. At this stage we were unable to meet the demand of the market and had to cease sales.

Since this time wholesalers and distributors have continually contacted the Company to find out when the product would be available again. Given that we have now been able to establish a distribution network we believe that we will be able to double these sales in the first year. Our anticipated sale in the first 12 months is 500,000 packs. This is based on the first month of production being for testing and ensuring that the plant is operating to produce the best product possible. Therefore we anticipate sales of 200,000 in the first six-month and 300,000 in the second six month.

Sales of potato chips can fluctuate depending on the season and we will need to take this into account in our final plans

#### **Pricing strategy:**

Previously DK's Purple potato chips wholesaled at \$2.50 plus GST, retail price was set by the store and varied between \$3.95 and \$6.00. By processing at Gerangamete productions and transportation costs can be reduced and the wholesale price will remain at \$2.50 ex GST which will allow retailers to sell at under \$5. Retailers have advised that they can make comfortable mark-ups at this price and has the product sitting in a saleable retail price.

**Value to customer:** Customers view these as a high quality snack.

Our marketing company have advised that keeping the cost similar to a cup of coffee makes them affordable in people's minds.

Being able to market as nut free, animal protein free, soy free and gluten free and with a lower salt percentage than mainstream chips will add value.

#### **Growth potential:**

The test range of DK's purple potato chips that we were able to produce over 18 months in three batches gave us an indication of the market place share available for this product in the market. When we produced the initial 12,000 bags we worked hard to establish markets, when we produced the last batch of 85,000 bags with limited distributors demand exceeded supply.

Based on these sales and the calls and interest shown from the market it is the companies we anticipate the following sales

Year 1	500,000 packs
Year 2	750,000 packs
Year 3	1,000,000 packs

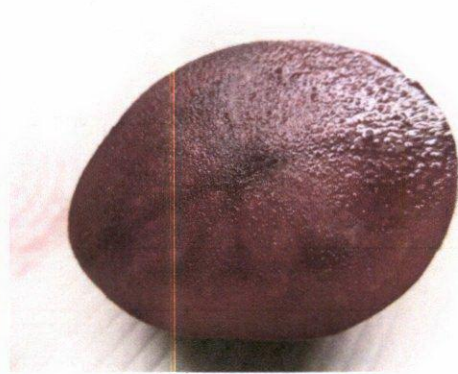
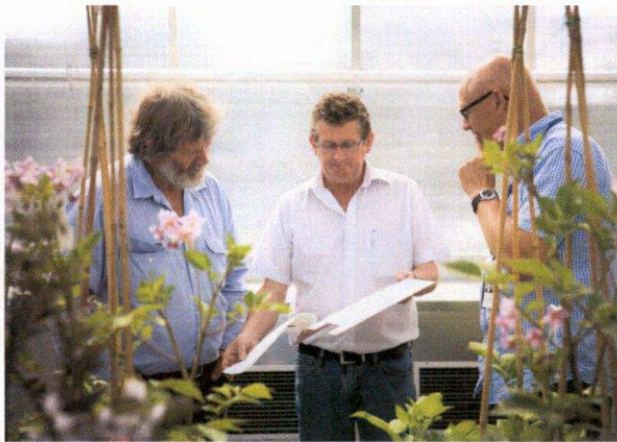
## Innovation

### Research & development (R&D)/innovation activities

PG & SL Scott Pty Ltd as the parent company continue to work with State Government agencies who breed new varieties and produce tubers from tissue culture.

The core business is currently investigating a mini laboratory involved with the production of potato breeds to bring some of the work back from LaTrobe for convenience and to increase their ability to develop new varieties. Currently PG& SL Scott Pty Ltd holds the plant breeding licences of four varieties of potatoes. As part of their research and development they currently have 3000 breeding lines in test stages.

The aim of the research and development is to breed potatoes with higher nutritional value for both manufacturing and fresh consumption



**Peter and son David are continuing to develop further varieties with a number of industry bodies.**

### Intellectual property strategy

The variety of potato used for the purple potato chip is owned by the State Government and PG & SL Scott Pty Ltd hold the licence. The licence is for 25 years with 24 years left on this breed.

Current testing on new breeds indicates that they will have other breeds ready for production prior to the licence running out.

A copyright on the brand name DK's was taken out in 2016.

## Insurance

**Workers compensation:** Currently held with CGU based on Gross wages and Industry still under discussion and some changes may be required. Previously all workers have been classed as farm workers.

**Public liability insurance:** Elders

**Professional indemnity:** Not required

**Product liability:** Has been held and negotiations have been had with Elders for a new policy prior to production. Currently suspended until production commences.

**Business assets:** Elders

**Business revenue:** Not required

## Risk management

Risk	Likelihood	Impact	Strategy
Potato Disease	Low	Low	Diligence in crop management Potatoes maintained in protected potato area
Introduction of a similar product	Low	Low-	No similar product or breed is currently in Australia. Continue to Monitor industry through networks and industry groups
Product Supply	Unlikely	Medium	Management skills Monitoring conditions
Production methodology	Likely	Low	Keep Stock on hand levels available to meet up to 14-21 days supply. Keep batch sizes smaller
Financial default of distributor	Unlikely	Med	Range of distributors who are well know in the industry



## Legal considerations

The following have been identified as relevant to the business

- Food Act 1984
- OHS Act 2004, OHS Regulations 2007 and 2017
- Environment Protection Act 1970
- Food Beverage and Manufacturing award
- Australian Taxation Law
- Corporations Act 2001
- National Measurement Act

## Operations

### Production process

The process involved in the production of purple potato chips is as follows

- Potatoes will be received at the plant having been washed in high pressure water
- Final inspection table – visual check of potatoes prior to processing
- High speed cutters to cut prior to frying
- Frying – quick fry
- Centrifuge – to minimize the oil content of the chip
- Conveyor for inspection for product defect and removal if necessary
- Seasoning chamber – salting chips
- Automatic packer – packs into bags and weighs
- Check weigher – Second check on weight of bags and also tests for metal contamination (precaution only)
- Boxed, sealed and packed onto pallet

### Suppliers

Product	Supplier	Notes
Purple potato	PG & SL Scott Pty Ltd	Own the licence to grow these potatoes for the next 24 yrs.
Sunflower Oil	100% Australian oil – supplier to be confirmed	To be stored in stainless steel tank
LPG Gas	Riordans / Origin energy	Need for product to be finalised
Power	Current supplier	Three phase power
Foil bags	Perfection Packing	
Cardboard Boxes	Visy Cardboard	
Sea Salt	Supplier to be confirmed	

**Plant & equipment**

Equipment	Purchase date	Purchase price '000
Cutter, Fryer and centrifuge	Feb -19	600
Electric fork lift		10
Bag packer, weigher		65
Foil and Box Stamp		3
Inspection Table		4
Seasoning chamber		8
Stainless Steel tank for oil (currently at premise)		
<b>Total</b>		<b>690</b>

**Inventory**

Listed below is the start up inventory required to produce 100,000 packs.

Inventory item	Unit price	Quantity in stock	Total cost
Purple potatoes	\$450 per tonne	40	\$18,000
Sunflower Oil - delivered	\$2.70 litre	5000	\$13,500
Gas	.55	20000	\$10,100
Foil Bags	\$65.70 per 10,000	100,000	\$700
Boxes	\$606 per 1000	10,000	\$600
Salt		1 pallet	\$3,000
<b>Total</b>			<b>\$45,900</b>

**Technology (Software):**

A new accounting package would be required to keep detailed transaction of the business. This would be purchased following discussion with out accountant. The business will not have a retail outlet so point of sale is not required. A website and facebook page are already established. The business would use the existing phone, fax computer etc. of the parent company PG & SL Scott Pty Ltd.

### **Communication channels:**

Wholesalers and distributors have access to email, fax, phone, consumers are able to contact DK's through our established website or facebook

**Payment types accepted:** As a wholesale business we operate with Bank Transfers or Business pay pal.

**Credit policy:** The credit policy of the company is payment 30 days from invoice

### **Warranties & refunds:**

Full refund or replacement on damaged product.

Once distributor has accepted the product, products damaged after that in transit are the responsibility of the distributor.

**Quality control** In order to meet quality control and ensure safety standards the following steps will be implemented

- Equipment will be purchased with computerised temperature controls, displays and recording ability
- Test oil temperatures will be record
- Visually inspections
- Metal detector
- Frying will kill any bacteria

### **Memberships & affiliations:**

The owners of the Business are affiliated with the following groups

- Potato growers association
- VicSPA
- AUSVeg
- Seed potatoes Victoria
- Otway Harvest Trail

## Sustainability plan

### **Environmental/resource impacts**

The processing plant is planned to be located within the existing shed structure at 150 Seven Bridges Road, Gerangamete. There will be no additional building footprint.

**Native Vegetation** – plant will be located within already constructed shed and so will have no impact on existing native vegetation, visibility.

**Aboriginal Heritage** – the processing plant will be operating within the current shed structure.

**Residual products** from chip processing will be:

- used vegetable oil – end market on farm as cattle feed or to stock food company
- potato wash water – no additives to water will be captured and used for irrigation on farm
- Waste water – will be captured and sent through gully trap septic tank system
- potato material – end market on farm for cattle feed ( potatoes are cooked with skin this should be minimal quantity)

**Waste management –**

Small amount of packaging expected from packaging will be added to farm waste, which is sent to a licenced facility for disposal

**Noise** – plant selection will take noise into consideration. The only noise anticipated is the safety warnings on equipment such as the beeps when loader backing. No noise should be heard outside the processing area as internal walls are being introduced. Noise will be monitored and ear protection made mandatory if required.

**Dust** –As a potato farm a reasonable amount of dust can be expected as vehicles move around the outside shedding. In order to minimise dust it is planned to concrete inside the shedding and outside the processing plant area.

**Vegetable Oil Spill** – it is planned to install a sump pit so that in the case of a spill oil can be captured and disposed of appropriately.

**Water** – The property is self sufficient for water supply with the capacity to capture large quantities of water from shedding.

**EPA** – The Enviroment Protection Authority have advised that a work permit is not required – they will be advised of any change of plans or quantities. EPA pathway outcome for PG & SL Scott Pty Ltd (Reference - 1003272)

**Community impact & engagement**

The plan is to contain the business within the existing buildings on the farming property so there is no additional visual impact on the community.

The planned location for the business is on an operating potato and cattle property. The property is on 256 hectare farm at 150 Seven Bridges Road Gerangamete. Seven bridges road is a sealed main road running between Colac Forest Rd and Forrest – Birregurra Road.

The main product is produced by the owners of this property there would be no additional traffic movements. In fact there would be much less than when the farm was operating as a dairy farm.

The intent is to have wholesale sales only with no intention to retail the product from the farm gate.

The Only impact on the local community would be the opportunity for employment

Safety plan to be developed once the site is approved and plan commenced

## Risks/constraints

Bush Fire Management Plan has been developed in conjunction with the CFA.

Gas tank - Riordan LPG Now Pty Ltd and Origin Energy are working closely with the Scott Family in their capacity as an LPG Gas Supplier is to provide a solution, fire action plan and emergency plans for the proposed LPG Facility.

## Strategies

As the footprint of the buildings already exists there is no additional environmental impact apart from the direct operation of the plant.

The business is still identifying the use of power for the fryers, which is likely to be either power or LPG gas.

Sump Pit will be installed in case of oil spills

Concrete pad to be installed to minimise dust

## Action plan

Sustainability Goals
Packaging to be minimised or recycled where possible
Alternate use to be found for waste products where possible
Concrete pad to be installed to cut down dust
Electric fork lift for work floor
Sump pit to be installed in case of oil spill
Used oil to be captured in stainless steel tanks for use as animal fodder

## The Market

### Market research

In 2016/2017 DK's purple potato chips were introduced into the market in small quantities. Marketing of the product at this stage found that outlets such as quality fresh food markets, tourist food trails and independent stores supplied the most successful outlets for the chips. The number of calls from distributors looking for supplies has verified this.

### Market targets

	Quarter 1	Quarter 2	Quarter 3	Quarter 4	Total
Year one	100,000	120,000	130,000	150,000	500,000
Year two	175,000	185,000	190,000	200,000	750,000
Year three	220,000	240,000	260,000	280,000	1,000,000

### Environmental/industry analysis

Morgan Research data shows that potato chips are 42% of the Australian snack market. A market that is worth over \$2bn per annum. Our test product showed consumers had a keen interest in reducing the amount of Salt and oil whilst increasing the flavour of the chip.

Feedback from consumers has indicated that our purple chip fills a high end market.

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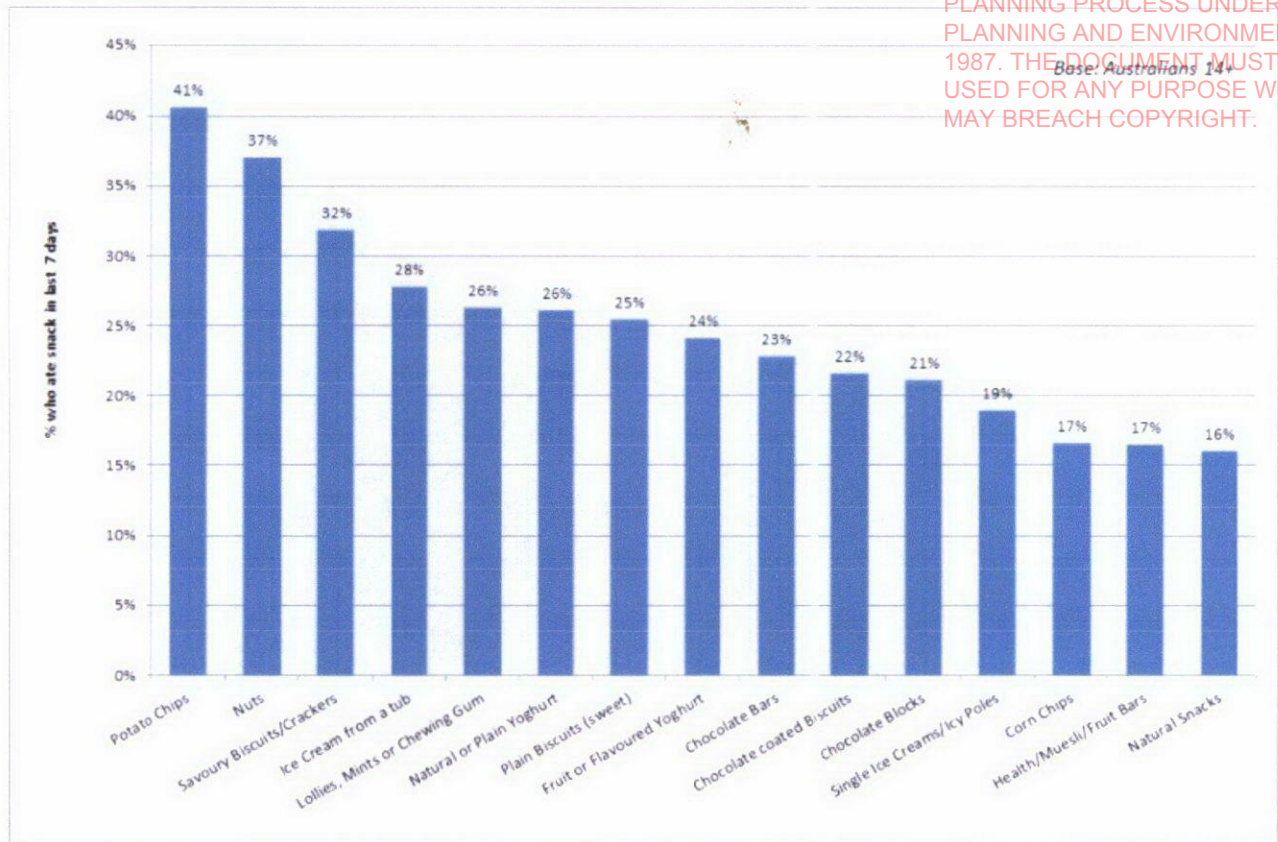


Table comparing snack product published by Morgan Research



## Your customers

### Customer demographics

DK's Chips appeal to a wide range of customers, our test marketing found they sold well as a quality snack in

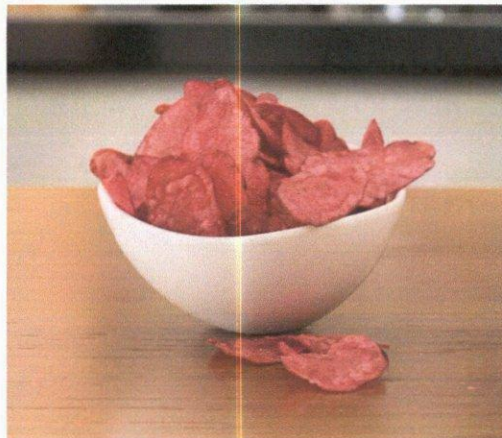
- Independent stores
- Good quality fruit and vegetable markets
- Health food and alternate food stores
- Tourist locations
- Gourmet food shops, wineries and boutique breweries
- Nut free, soy product and animal protein free

### Key customers

DK's Purple potato chips will be marketed through distribution outlets, which have already been established.

### Customer management

For direct contact with our customers DK's already have an established website and facebook page.



## S.W.O.T. analysis

[List each of your businesses strengths, weaknesses, opportunities or threats in the table below and then outline how you plan to address each of the weaknesses/threats.]

<b>Strengths</b>	<b>Weaknesses</b>
<p><i>Proven product – already tested market for high endsnack sales and sold out</i></p> <p><i>Leader in potato development and new brands</i></p> <p><i>Unique product that can impact on various ranges of snack products i.e. potato chip, beetroot, sweet potato</i></p> <p><i>Australian owned – only one</i></p>	<p><i>Lack of experience in the processing sector</i></p>
<b>Opportunities</b>	<b>Threats</b>
<p><i>Extend the market for colourede potato chips</i></p> <p><i>Able to market as Nut free, soy free and animal protein free</i></p> <p><i>Value add onto the product developed and produced at the farm</i></p>	<p><i>Start up capital is an issue</i></p> <p><i>Plant breakdown</i></p> <p><i>Qualified staff</i></p> <p><i>Potato shortage</i></p>

## Your competitors

### Competitor details

**DK's potato chips will be one of the only Potato chip manufacturers in Australia that is wholly Australian owned.**

Competitor	Strengths	Weaknesses
Snack Brands	Relatively cheap, massed produced Australian Made	Owned overseas
Smiths	Relatively cheap, massed produced Australian Made	Owned by Pepsi-Coke
Telco	Established market	Wholely imported and expensive by comparison
	Vegetable chips	Vegetable alternatives – not potato different market

## Advertising & sales

### Advertising & promotional strategy

**Previous experience has indicated that we cannot be too aggressive with promotion so as to ensure supply. Previous campaigns have successfully sold the product and a mix of the following advertising will be used at this stage**

Planned promotion /advertising type	Expected business improvement	Cost (\$)
Website (maintenance only)	This is monitored by our marketing agency and updated regularly	\$5,000
Tasting samples – in new areas	This has proved successful in previous years when introducing into new markets	\$1,500
Posters for sales site	Allowing people to see an Australian owned chip, low in salt and with no nut, soy or animal protein	\$ 500

### Sales & marketing objectives

Currently using Geelong marketing team for development of website and packaging

### Unique selling position

The potato chip market in Australia is worth over \$2bn per annum. This product does not aim to compete with commercial brands but to establish as a high end product for discerning customers.



### Sales & distribution channels

Channel type	Percentage of sales (%)	Advantages	Disadvantages
Distribution network in Victoria Consists of Freshfood markets and registered distributors – to independent businesses	50%	Low transportation costs Fresh food market deals with quick payment turnaround	Number of various distributors.
Distributor in Tas. WA	20%	Established distributors network one in each state	Transport costs -
Currently in discussion with distributors in NSW Qld where you have warehouse in place	25%	Distribution network and sales points already established	<i>[What challenges do you expect to face using this channel? How will you overcome them?]</i>
Overseas	5%		

## The Future

### Vision statement

To successfully market coloured potato chips.

### Mission statement

To successful process and market coloured potatoes as a high quality snack food

### Goals/objectives

Value add to product to which we hold the licence and that was developed in conjunction with the State Government fulfil its market potential.

### Action plan

**Please note:** This table does not include sustainability milestones as they are listed in the sustainability section above.

<b>Milestone</b>	<b>Date of expected completion</b>	<b>Person responsible</b>
Approval for planning	<i>[When do you expect to complete them?]</i>	<i>[Who is responsible for delivering this milestone?]</i>
Plan for whole building as Buidling	<i>[When do you expect to complete them?]</i>	<i>[Who is responsible for delivering this milestone?]</i>
Purchase and install plant	<i>[When do you expect to complete them?]</i>	<i>[Who is responsible for delivering this milestone?]</i>
Test of plant - selection	<i>[When do you expect to complete them?]</i>	<i>[Who is responsible for delivering this milestone?]</i>
Health Plan and certification		
Installation of Gas etc		
Plant operation procedures development etc		
Employment of staff –person qualified in operation plant and training		

## The Finances

### Key objectives & financial review

#### Financial objectives

*To successful add value to the purple potato by producing purple potato chips and to cover capital costs within five years*

#### Finance required

*Includes outside labour for 6 weeks which will allow for training. Plant and majority of materials are at current market prices.*

*Insurance is based on being able to pay part year payments. It is anticipated that first payment for products will be at the end of the second month of operation.*

Finance Required	000
Plant	\$340
Building Alterations	\$150
Labour	\$25
Supplies	\$46
Insurance	\$10
Contingency 15%	\$86
Total	\$657

## Assumptions

Where possible quotes have been received and used to calculate the cost of plant and material.

The following assumptions have been made in calculation of figures where quotes were not available

- the ability to develop the processing plant at the property at 150 Seven Bridges Road, Gerangamete. The ability to do so will reduce the cost of buildings and labour.
- The labour cost is based on 7 part times employees for 6 weeks as a start up fund prior to income being earnt.
  - Labour has been based on 7 part time employees working 12 hours per week on average casual rate of \$30. The current award rate is \$27 per hour.
  - There has been included an administration labour cost of 10 hours per week.
  - Workcover has been calculated at the the published chip processing rate of 4.9%
  - The figures are currently based on Gas frying as the preferred option, however this decision has not been finalised.
  - A contingency of 15% has been included to offset un-foreseen costs.
  - Testing over three periods previously has shown that a tonne of potatos can produce between 2,800 and 3,200packets of 90gm chips. In our figures we have calculated the production rate at 3000 packets per one tonne.
  - Use of oil has been calculated at 1000 litres per 10,000 packets of chips
  - An initial start up process of six weeks
  - The minimum processing capacity of 1000 packets per hour (industry advises between 1000 – 1500)
  - Terms are payment 30 days from invoice so payments are anticipated at the beginning of the 3 month
  - Fresh market sales are normally pay on delivery so this will assist with cash flow.



## Start-up costs for 2018

Start up Costs	\$	Equipment/Capital Costs	\$
Business Name	1,000	Buildind Alterations	150,000
Computer Software	5,000	Cutter, Fryer and centrifuge	600,000
Wages	25,000	Electric fork lift	10,000
Stock Raw Material	42,300	Packer weigher & bagging	65,000
Insurance (including workers Comp)	16,000	Foil and Box Stamp	3,000
Building and Contents	5,000	Inspection Table	4,000
Product Liability	10,000	Seasoning chamber	8,000
Registration Bar Code	300		
Accountant / solicitors	10,000		
	<b>113,600</b>		<b>840,000</b>

## Profit and loss forecast

	Year 1	Year 2	Year 3
<b>Sales/ Income</b>	\$1,100,000	\$1,650,000	\$2,200,000
<b>Expenses</b>			
Stock	\$200,620	\$300,930	\$401,240
Fuel	\$50,000	\$75,000	\$100,000
Transport	\$5,000	\$7,500	\$10,000
Labour inc oncost	\$190,000	\$246,000	\$293,000
Workers Compensation	\$6,207	\$8,036	\$9,571
Insurance	\$15,000	\$20,000	\$23,000
Stationary	\$2,000	\$2,500	\$3,000
Lease on shed & share technology	\$13,000	\$15,000	\$17,500
Power	\$10,000	\$15,000	\$18,000
Bank Fees	\$10,000	\$11,000	\$12,000
Maintenance & Repairs	\$12,000	\$15,000	\$20,000
Interest on 600k @15%	\$90,000	\$90,000	\$90,000
Miscellaneous	\$10,000	\$10,000	\$10,000
Accountant / Solicitor	\$20,000	\$15,000	\$18,000
Expenses sub total	\$633,827	\$830,966	\$1,025,311
Company Tax 30%	\$139,852	\$245,710	\$352,407
<b>Profit</b>	<b>\$326,321</b>	<b>\$573,324</b>	<b>\$822,282</b>

# Bush Fire Emergency Plan

PG & SL Scott Pty Ltd  
as trustees for  
The Yaughar Farm Settlement

trading as

PG & SL Scott Pty Ltd

DK's Potato Chips

150 Seven Bridges Road, Gerangamete

Version 2 - 17 December 2018

## PREMISES DETAILS

This plan for PG & SL Scott Pty Ltd, DK's Potato Chip Plant at Gerangamete has been designed to assist the management to protect life and property in the event of a bush fire.

This plan outlines procedures for both evacuation and shelter-in-place (remaining on site) to enhance the protection of workers from the threat of a bush fire.

The primary action to follow under normal bush fire conditions is to evacuate.

The property is on Seven Bridges Road with the closest, safely accessible main town being Birregurra, main city Colac. Whilst the township of Forrest is closer the route is heavily treed and at this stage there is no recognised safer place to shelter. The closest route to Colac is along Colac – Apollo Bay Road. This road is heavily treed and would not be the safest route to shelter in the event of a bushfire.

Address: 150 Seven Bridges Road, Gerangamete Victoria

Map Reference :

Contact person: Peter Scott

Position: Owner /Manager

Contact numbers: 5236 6287

Facility Type: Potato Chip Processing Plant

Number of Buildings: 1

Number of Employees: 7 casual employees

Number of Occupants: 0

## ROLES AND RESPONSIBILITIES

The following outlines who has the responsibility of implementing the Emergency Procedures in the event of a bushfire.

Role	Person Responsible	Area of Responsibility	Contact
Chief Warden	Owner / Manager	Plan for whole of property	
Deputy Warden	Administration Manager	Processing Plant	
Deputy Warden	Plant processing supervisor	Processing Plant	

## COMMUNICATIONS PLAN / PHONE CONTACTS

### Communications Plan

The communication plan will include the ability to monitor web sites, fire ready app, a local emergency broadcaster or contact the Victorian Bushfire Information Line (VBIL).

### For all emergencies phone 000

Organisation	Phone Number
Country Fire Authority (CFA)	(03) 9262 8444
CFA District 7	(03) 5240 2700
Victorian Police Force-Colac	(03) 5231 5599
Victorian Ambulance Service	(03) 5338 5000
Colac Otway Shire Council	(03) 5232 9400
State Emergency Service	132 500
Colac Area Health	(03) 5232 5100
Hesse Health - Winchelsea	(03) 5267 1200
Victorian Bushfire Information Line	1800 240 667

Organisation	Position	Name	Contact Number
Victorian Bushfire Information Line (VBIL) Emergency Broadcaster			1800 240 667
		774 ABC Radio	
Local CFA	Captain		0437 944 836

### Mobile Phone Coverage

Network	Mobile Phone Coverage	Mobile Data
Telstra	Yes/No	3G / 4G
Optus	Yes/No	3G / 4G
Vodafone	Yes/No	3G / 4G

**Do you have phone coverage at the site for the above mobile phone carriers?**

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## Websites

Organisation	Website Address	Type of Info provided
VicEmergency Management (Warnings, incidents and planned burns)	<a href="http://www.emergency.vic.gov.au">www.emergency.vic.gov.au</a>	Warnings, incidents and planned burns are all displayed on the VicEmergency website - the single location for all emergency information in Victoria.
Country Fire Authority	<a href="http://www.cfa.vic.gov.au/">http://www.cfa.vic.gov.au/</a>	Fire related information warnings and fire restrictions, planning and preparing for fire,
Country Fire Authority	<a href="http://www.cfa.vic.gov.au/warnings-restrictions/information-services/">http://www.cfa.vic.gov.au/warnings-restrictions/information-services/</a>	CFA link page to other Emergency related Web sites
Department of Environment, Land, Water and Planning (Old DEPI)	<a href="http://www.depi.vic.gov.au">www.depi.vic.gov.au</a>	Latest information on current fires on public land, including threat alerts, warnings and community meetings
Parks Victoria	<a href="http://www.parkweb.vic.gov.au">www.parkweb.vic.gov.au</a>	This site includes information about closures to roads, tracks, visitor sites and picnic areas
Emergency Alert (telephone warnings)	<a href="http://www.emergencyalert.gov.au">www.emergencyalert.gov.au</a>	Emergency Alert is the national telephone warning system used by emergency services.
Bureau of Meteorology	<a href="http://www.bom.gov.au/vic/">www.bom.gov.au/vic/</a>	Victorian Weather and Warnings
State Emergency Service (SES)	<a href="http://www.ses.vic.gov.au">www.ses.vic.gov.au</a>	Floods, severe storms, earthquakes, road accident rescue, search and rescue and other emergency support.
Ambulance Victoria	<a href="http://www.ambulance.vic.gov.au">www.ambulance.vic.gov.au</a>	
Australian Red Cross	<a href="http://www.redcross.org.au">www.redcross.org.au</a>	Includes information about relief centres, registering and comforting evacuees and first aid care.
Energy Safe Victoria	<a href="http://www.esv.vic.gov.au">www.esv.vic.gov.au</a>	Includes information on electricity and gas safety advice during fires and incidents

**PG & SL Scott Pty Ltd t/a The Yaughter Farm Settlement**

<b>Fire Danger Rating Central</b>	<b>Potential Impact</b>	<b>Discussion</b>	<b>Actions</b>
<b>Code Red</b>	These are the worst conditions for a bush or grass fire. Avoid forested areas, thick bush or long, dry grass	Management monitoring Websites/Bushfire Info line for fire risk 4 days out/ 2 days out.  Should staff come to work and should plant operate on these days?	<b>Staff advised not to come in on Code Red Day</b>
<b>Extreme</b>	Expect extremely hot, dry and windy conditions. If a fire starts and takes hold, it will be uncontrollable, unpredictable and fast moving. Spot fires will start, move quickly and come from many directions.	Management monitoring Websites/Bushfire Info line for fire risk 4 days out/ 2 days out.	<b>Staff advised not to come in on days of Extreme Fire Danger</b>
<b>Severe</b>	Expect hot, dry and possibly windy conditions. If a fire starts and takes hold it may be uncontrollable.	Management monitoring Websites/Bushfire Info line for fire risk 4 days out/ 2 days out and advise staff accordingly.	- Fuel reduction works maintained around the property to required prescriptions. - Management monitoring Websites/Bushfire Info line and localised condition.
<b>Very High</b>	If a fire starts, it can most likely be controlled in these conditions and homes can provide safety.	Management monitoring Websites/Bushfire Info line for fire risk 4 days out/ 2 days out and advise staff accordingly.	- Fuel reduction works maintained around the property to required prescriptions. - Management monitoring Websites/Bushfire Info line and localised condition.
<b>High</b>	If a fire starts, it can most likely be controlled in these conditions and homes can provide safety.	Management monitoring Websites/Bushfire Info line for fire risk 4 days out/ 2 days out and advise staff accordingly.	- Fuel reduction works maintained around the property to required prescriptions. - Management monitoring Websites/Bushfire Info line
<b>Low/Moderate</b>	If a fire starts, it can most likely be controlled in these conditions and homes can provide safety.	Management monitoring Websites/Bushfire Info line for fire risk 4 days out/ 2 days out and staff guests accordingly.	- Fuel reduction works maintained around the property to required prescriptions. - Management monitoring Websites/Bushfire Info line

**Warnings & Advice**

In some cases a voice message may be received on our landline or a text message on a mobile phone via the national "Emergency Alert System". The messaging comprises three levels of alerting.

Warning Level	Risk Level	Actions
Advice	There is a fire in your local area. Access information and monitor conditions.	<p>Staff to contact management immediately for advice on appropriate response.</p> <p>Management to activate response plan as required.</p>
Watch & Act	Fire is heading towards you. Conditions are changing and you may need to start taking action now to protect yourself.	<p>Staff to contact management immediately for advice on appropriate response.</p> <p>Management to activate response plan as required. Consider evacuation to an alternate location <b>IF TIME PERMITS</b> or implement shelter in place option.</p>
Emergency Warning	You are in imminent danger and need to take action immediately. You will be impacted by fire.	<p>Staff to contact management immediately for advice on appropriate response.</p> <p>Management to activate response plan as required. It is likely <b>TOO LATE</b> to evacuate to an alternate location. Consider implementation of <b>Shelter In Place</b> option.</p>



## EVACUATION PROCEDURES

Evaluation of the safety of employees and occupants has determined that it would be safer for all persons to EVACUATE to a planned evacuation site.

**Time required to evacuate premises:** 10 Minutes

**Designated Assembly Point:** Employee car parking area

### Transportation Arrangements:

Transportation provided by: Staffs own vehicles and one property vehicle

### Planned Evacuation Site

Name of primary venue: Birregurra Park, Birregurra  
 Address of venue: 35-39 Main Street (Corner of Strachan Street) Birregurra  
 Nearest cross-street: Strachan Street, Birregurra  
 Map reference: Melways Map X907 F11  
 Drive time to site: 22 minutes

### Alternate Evacuation Site

Name of primary venue: City of Colac  
 Route: Forrest Birregurra Road- 42kl  
 Address of venue:  
 Nearest cross-street: Princes Hwy  
 Map reference: Melways Map X907 F11  
 Drive time to site: 36 minutes

## EVACUATION ACTION STATEMENT

### At the Commencement of the Bushfire Danger Period:

1. Ensure that manager and owner's representative are prepared in accordance with the Bushfire Emergency Plan.
2. Ensure that all persons are informed of the evacuation and fall back shelter-in-place procedures.
3. Ensure that all signage onsite is up to date and is in place.
4. Ensure that all staff are provided with copies of the procedures on commencement of employment, and that the manager explains these procedures to them.
5. Ensure that the plant location is protected and maintained to a BAL-12.5 and the surrounding defensible spaces are maintained being 19metres on north & south, 22 metres on west and 25 metres on west sides of the shedding.
6. Update contact details of manager and owner's representatives.
7. Contact and update emergency services of the premises contact details.
8. Contact off-site evacuation locations for potential use during a bush fire emergency.
9. Advise staff that they will be advised not to come to work on days declared a code red fire danger day.

## **During a Bushfire – Evacuation Procedures**

In the event of a bushfire in the surrounding area, occupants of the premises shall follow the procedure outlined below.

When aware that a bushfire is in the local area the manager shall:

- Using the appropriate media ie Bushfire info Line, Website , Phone App etc determine the current/predicted bushfire situation.
- Inform the staff of the fire situation.
- Ensure that the person in charge has a mobile phone and is contactable.
- Make arrangements for transportation in the unlikely event that staff did not arrive in their own vehicles.

In the event of a bushfire threatening where it has been decided an evacuation will take place, the manager of the site shall follow the procedure outlined below.

- Keep staff inside with doors and windows closed.
- Remain calm and explain to staff what is happening, whether over the phone or in person.
- Inform emergency services of evacuation. If there was a fire running in the area
- Staff to proceed to the Designated Assembly Area – staff car park
- Ensure that all persons are accounted for (using list of staff members present that day).
- Evacuate to the designated evacuation location.

## **After the Bush Fire Emergency:**

When the bushfire threat has passed and the area is deemed safe by emergency services:

- No person should re-enter any evacuated building until advised by the Officer in Charge of the emergency service.
- The manager to check with all staff and account for their location.

## SHELTER-IN-PLACE PROCEDURES

In the event of a bush fire in the nearby surrounding area where there is insufficient time to arrange an evacuation, staff on site shall follow the procedure outlined below.

- Go to the main shedding on property
- Ensure all occupants are wearing appropriate clothing ie all limbs covered, non synthetic materials
- Shelter in the main shedding located furthest from the fire front and close to an exit.
- Remain calm and explain to staff what is happening either via phone or in person.
- Ensure adequate drinking water for occupants is taken with them
- Ensure alternate lighting is available in case of power outage
- Ensure all occupants are provided with appropriate protective equipment
- As soon as it is safe to do so move through the shedding onto **Burnt Ground**
- If it is safe to do so return to the building site, extinguish any burning embers, materials up to and around the building.
- Ensure all persons are accounted for (using list of staff members)

## INTERNAL FIRE PROCEDURES

On employment at the plant the manager or fire warden will instruct the staff members on operation of fire extinguishers and procedures.

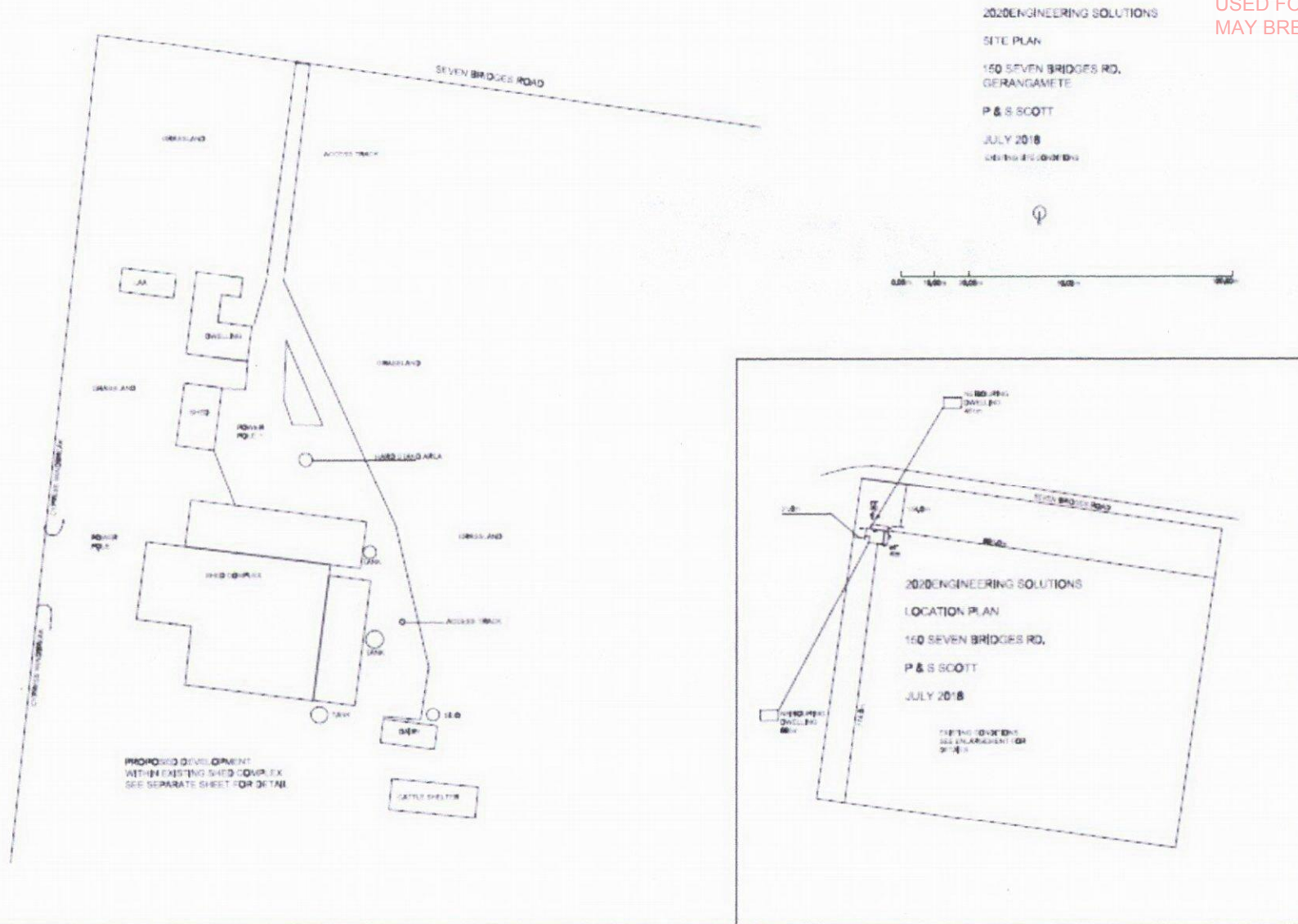
In the event of an internal fire:

- Phone 000 and advise them that there is a fire on the site.
- Turn off any gas supply to the building if safe to do so
- If the manager is not present at the plant at the time of the fire, staff members can endeavour to put out the fire with the fire equipment if they **feel comfortable doing so**.
- If the staff members are unable to extinguish the fire, or are not comfortable doing so, they should exit the building ensuring all doors are closed behind them and assemble at the staff car park
- Ensure that all staff members are accounted for.
- Phone the manager or owner's representative and inform them of the situation.
- Do not return into the site until the fire has been extinguished and the CFA has deemed it safe to enter.

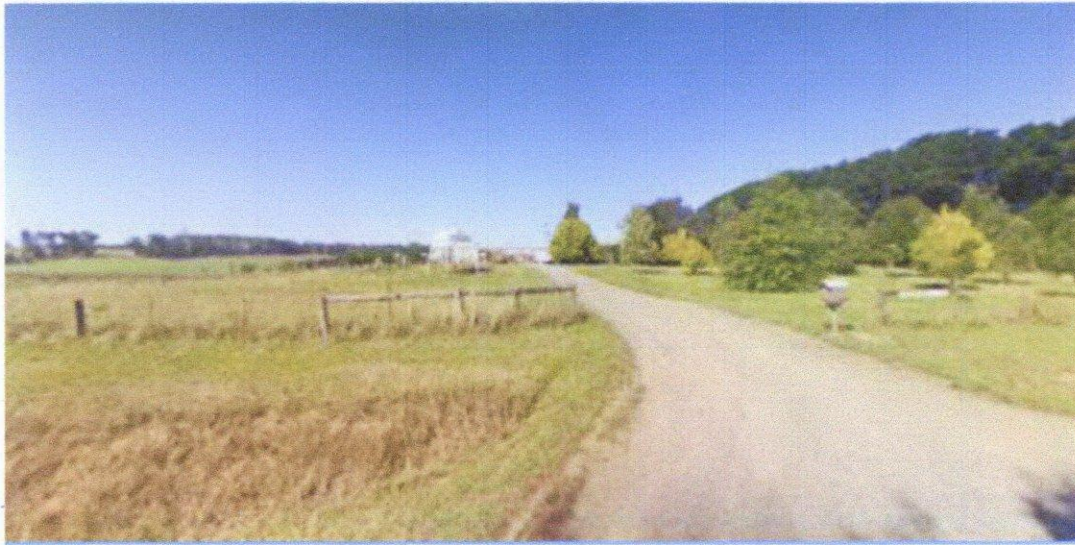


### ATTACHMENT 3: SITE LAYOUT OF PREMISES –

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Driveway



# Bushfire Management Statement

## PATHWAY 2 APPLICATION

- Construction of a dwelling (including an extension or alteration to a dwelling)
- Dependant Persons Unit
- X Industry
- Office
- Retail Premises

**Property Address:** 150 Seven Bridges Road, Gerangamete, Victoria.  
**Applicant/Owner Name:** P & S Scott  
**Date:** 8/08/2018

**Prepared by:**  
**Name:** M DelahuntyBEng  
**Address:** 1745 Colac Forrest Rd. Colac, Victoria.  
**Telephone:** 0428 14 14 41  
**Email:** info@2020es.com Report ES18182

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## Introduction

This Bushfire Management Statement has been prepared in response to the requirements of Clause 44.06-1 – Bushfire Management Overlay, and in accordance with the application requirements of Clause 52.47 – Planning for Bushfire.

The statement contains three components:

1. A **bushfire hazard landscape assessment** including a plan that describes the bushfire hazard of the general locality more than 150 metres from the site. Photographs or other techniques may be used to assist in describing the bushfire hazard.
2. A **bushfire hazard site assessment** including a plan that describes the bushfire hazard within 150 metres of the proposed development. The description of the hazard must be prepared in accordance with Section 2.2.3 to 2.2.5 of AS3959:2009 Construction of buildings in bushfire prone areas (Standards Australia). Photographs or other techniques maybe used to assist in describing the bushfire hazard.
3. A **bushfire management statement** describing how the proposed development responds to the requirements of Clause 44.06 and 52.47.

## Application Details

<b>Municipality:</b>	Colac Otway Shire
<b>Title description:</b>	Allot 59A Parish of Gerangamete
<b>Overlays:</b>	BMO – Bushfire Management Overlay (whole) EMO – Erosion Management Overlay (part) SLO – significant Landscape Overlay (whole)
<b>Zoning:</b>	FZ – Farm Zone

## Site Description

<b>Site shape:</b>	Rectangular
<b>Site Dimensions:</b>	800meters x 1020 meters with the building site covering 3000 square meters
<b>Site Area</b>	105.28 hectares with the building being located in the top north west of the property
<b>Existing use and siting of buildings and works on and near the land:</b>	Extensive farming operation involving grazing and potato production.  A residence farm sheds and dairy are located in the north-west corner of the property close to Seven Bridges Road
<b>Existing vehicle arrangements:</b>	Heavy vehicle access from Seven Bridges Road.
<b>Location of nearest fire hydrant:</b>	>120m
<b>Any other features of the site relevant to bushfire considerations:</b>	Open, cleared, farmland with extensive shedding, access tracks and farm dams. There are trees on the property providing shelter belts for cattle. Ornamental trees located in front of the house.  The permit is for construction inside the existing shedding area which is kept clear of vegetation.  The property is located on Seven Bridges road and is approximately 7kl from Barwon Downs and 8.5 kl from Forrest.  The sheds form part of a building area which consists of house, farm and machinery sheds. The house and sheds sit on a rise of above the Gerangamete flats to the south. The topography of the area is demonstrated

	<p>in There is cleared area around these sheds</p> <p>The new Forest Fire Management Victoria base at Barwon Downs will provide rapid response to bushfires and other emergencies in the Otway District. There is no recent fire history and there is no designated Neighbourhood Safer Place in Forrest, although the open farmland around Forrest or Barwon Downs could be a suitable refuge.</p>
--	---

**Refer to Attachment 1 for a scaled plan that shows the following:**

- 150 metre assessment around the location of proposed buildings and around reasonable siting options for proposed buildings (if they are available)
- Property boundaries
- Orientation
- Contours
- Classifiable vegetation within the assessment area
- Excludable vegetation within the assessment area
- Distance between the classifiable vegetation and the proposed buildings
- Slope under the classifiable vegetation (slope is based on the slope under the classifiable vegetation and not the slope between the vegetation and the building)

## Bushfire Landscape Assessment

Refer to pages 17 to 25 of Practice Note 65 for details to assist in developing a Bushfire Hazard Landscape Assessment.

**Which landscape scenario represents the site?** (Refer to Practice Note 65 for descriptions)

The landscape scenario that represents this is Scenerio 1.

**What is the likely fire behaviour impacting the site?**

The most likely fire to impact the site would be a grassfire.

Grass fires in rural areas are unpredictable in that there are a range of ignition sources from power lines, machinery, lightning, peat fires, etc. Regardless of the source, the proposed industry development could be subject to a grass fire approaching from almost any direction. A fire from the north would have to cross the Barwon River West Branch, likewise a fire from the SW. The nearest classified vegetation, aside from grassland, is a small area of bush 400m from the site and unlikely to generate a significant hazard.

## Bushfire Hazard Assessment

Classify the vegetation within 150 metres of the proposed development in accordance with AS3959:2009 Construction of buildings in bushfire prone areas.

	Direction (Aspect)			
	Northern	Southern	Eastern	Western
<b>Vegetation</b> (within 150 metres of proposed building / works)	Excludable / Low Threat	Excludable / Low Threat <input type="checkbox"/>	Excludable / Low Threat <input type="checkbox"/>	Excludable / Low Threat <input type="checkbox"/>
	Modified <input type="checkbox"/>	Modified <input type="checkbox"/>	Modified <input type="checkbox"/>	Modified <input type="checkbox"/>
	Forest <input type="checkbox"/>	Forest <input type="checkbox"/>	Forest <input type="checkbox"/>	Forest <input type="checkbox"/>
	Woodland <input type="checkbox"/>	Woodland <input type="checkbox"/>	Woodland <input type="checkbox"/>	Woodland <input type="checkbox"/>
	Scrub (tall) <input type="checkbox"/>	Scrub (tall) <input type="checkbox"/>	Scrub (tall) <input type="checkbox"/>	Scrub (tall) <input type="checkbox"/>
	Shrubland (short) <input type="checkbox"/>	Shrubland (short) <input type="checkbox"/>	Shrubland (short) <input type="checkbox"/>	Shrubland (short) <input type="checkbox"/>
	Mallee <input type="checkbox"/>	Mallee <input type="checkbox"/>	Mallee <input type="checkbox"/>	Mallee <input type="checkbox"/>
	Rainforest <input type="checkbox"/>	Rainforest <input type="checkbox"/>	Rainforest <input type="checkbox"/>	Rainforest <input type="checkbox"/>
	Grassland <input checked="" type="checkbox"/>	Grassland <input checked="" type="checkbox"/>	Grassland <input checked="" type="checkbox"/>	Grassland <input checked="" type="checkbox"/>
<b>Effective Slope</b> (under the classifiable vegetation within 150 metres)	Upslope / Flat <input checked="" type="checkbox"/>	Upslope / Flat <input checked="" type="checkbox"/>	Upslope / Flat <input type="checkbox"/>	Upslope / Flat <input type="checkbox"/>
	<b>DOWNSLOPE</b>	<b>DOWNSLOPE</b>	<b>DOWNSLOPE</b>	<b>DOWNSLOPE</b>
	>0 to 5° <input type="checkbox"/>	>0 to 5° <input type="checkbox"/>	>0 to 5° <input type="checkbox"/>	>0 to 5° <input checked="" type="checkbox"/>
	>5 to 10° <input type="checkbox"/>	>5 to 10° <input type="checkbox"/>	>5 to 10° <input checked="" type="checkbox"/>	>5 to 10° <input type="checkbox"/>
	>10° to 15° <input type="checkbox"/>	>10° to 15° <input type="checkbox"/>	>10° to 15° <input type="checkbox"/>	>10° to 15° <input type="checkbox"/>
	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>
	>20° <input type="checkbox"/>	>20° <input type="checkbox"/>	>20° <input type="checkbox"/>	>20° <input type="checkbox"/>
<b>Distance (m) to Classifiable Vegetation</b>	19m BAL12.5	19m BAL12.5	25m BAL12.5	22m BAL12.5

## Bushfire Management Statement

### 52.47-2.1 Landscape, Siting and design objectives

- Development is appropriate having regard to the nature of the bushfire risk arising from the surrounding landscape.
- Development is sited to minimise the risk from bushfire.
- Development is sited to provide safe access for vehicles, including emergency vehicles.
- Building design minimises vulnerability to bushfire attack.

#### Approved Measure AM 2.1 - Landscape

##### Requirement

The bushfire risk to the development from the landscape beyond the site can be mitigated to an acceptable level.

Proposed development is to install a processing plant for chip production. The processing plant would be located within an existing enclosed steel framed and clad shed, on a cleared farming property. Resiting options are limited.

The property is bordered by farmland on both the north and west sides and by bushland to the south and east. The location of the proposed plant is in the north west corner of the property approximately 770 meters away from the closest bushland to the south and 1000 meters to the east. The property sits on a slight incline above what is generally known as the Gerangamete flats. (refer aerial map)

The landscape surrounding the development which is grassland will be maintained and kept to a minimal level. The land surrounding the building on three sides is made up of concrete and gravel tracks surrounded by grassland. There are a number of mature cypress trees to the west of the building approximately 30 meters away .

Has Approved Measure AM 2.1 been met?

Yes

No



#### Approved Measure AM 2.2 - Siting

##### Requirement

A building is sited to ensure the site best achieves the following:

- **The maximum separation distance between the building and the bushfire hazard**

Classified vegetation is 400m away from the shed for the processing plant

The shed for the processing plant is in the north west section of the property at the furthest point to the bushland which is approximately 700 meters from the forest on the south side and 950 metres from the timber plantation on the west side.

The site for the processing plant within the property is surrounded by cleared space and grassland with a gravel drive for access and defensible space on all sides

- **The building is in close proximity to a public road**

The building is approximately 130 meters from a public roadway on a heavy duty access track designed for use by semi-trailers, with a turning circle and passing capacity

- **Access can be provided to the building for emergency service vehicles**

There is an access track from Seven Bridges road to the building. The track has been built to be suitable for semi-trailers to enter and turn so will provide clear access for emergency vehicles. There is a turning circle approximately 90 meters from the roadway which turns in front of the shedding and another approximately 50 meters further along the track

Existing access for heavy vehicles will be maintained this track access is clearly visible in Attachment 2 Bushfire Hazard Plan map

#### Any other comments

The development is to be sited in the existing farm shedding on the property.

**Has Approved Measure AM 2.2 been met?**

Yes  No

#### Approved Measure 2.3 – Building Design

##### Requirement

A building is designed to reduce the accumulation of debris and entry of embers.

Construction to AS3959:2009 Section 5.

The section of the shedding being used for the manufacturing/frying/packing will fall into a Class 8- Industry. The remaining area of the building will be treated as a Class 8 – Farm Building.

The building is steel in structure with concrete floors and the clean room where the chips will be processed will be designed and built to Industry Standard Class 8 with the rest of the shedding updated to Class 8 – Farm Building.

All requirements under the building codes will be met.

**Has Approved Measure AM 2.3 been met?**

Yes  No

## 52.47-2.2 – Defendable Space and Construction Objective

- Defendable space and building construction mitigate the effect of flame contact, radiant heat and embers on the building.

### Approved Measure AM 3.1 – Bushfire Construction and Defendable Space

#### Requirement:

A building provides the defendable space in accordance with Column A, B, C of Table 2 to Clause 52.47-3 wholly within the title boundaries of the land.

The building will be provided with defendable space in accordance with Column A

The defendable space distance required is 19/22/25 metres this is shown in the Bushfire Management Plan at Attachment 4. The building is surrounded by gravel tracks and cleared grassland meets the required 19/22/25 metres.

Are there significant siting constraints that would allow Column D of Table 2 to Clause 52.47-3?

Yes                      No    X                      Not Applicable   

[Click here to explain the significant siting constraints that would allow Column D of Table 2 to Clause 52.47-3](#)

#### A building is constructed to the bushfire attack level:

- That corresponds to the defendable space provided in accordance with Table 1 to Clause 52.47-3. The building will be constructed to BAL 12.5

Is the defendable space wholly contained within the boundaries of your property?

Yes    X                      No     if no, see Alternative Measure 3.3

#### Any other comments

The building will be sited in an existing shedding structure.

Has Approved Measure AM 3.1 been met?

Yes    X                      No



## Alternative Measures

### Alternative Measure AltM 3.3 – Defendable Space on adjoining land

#### Requirement:

Adjoining land may be included as defendable space where there is reasonable assurance that the land will remain or continue to be managed in that condition as part of the defendable space.

[Click here to explain how the adjoining land meets the requirement.](#)

Add photos to support the inclusion of the adjoining land for defendable space

Has Alternative Measure AltM 3.3 been met?    Yes     No     N/A

### Alternative Measure AltM3.4 – Calculate defendable space using Method 2 of AS3959-2009

#### Requirement:

Defendable space and the bushfire attack level is determined using Method 2 of AS3959:2009 Construction of buildings in bushfire prone areas (Standards Australia) subject to any guidance published by the relevant fire authority.

[Click here to explain how defendable space and bushfire attack level has been determined. Evidence will need to be provided to substantiate and variation to the model inputs.](#)

Has Alternative Measure AltM 3.4 been met?    Yes     No     N/A

### Alternative Measure AltM 3.5 – Dwellings subject to direct flame contact

#### Requirement:

A building used for a dwelling (including an extension or alteration to a dwelling) may provide defendable space to the property boundary where it can be demonstrated that:

- The lot has access to urban, township or other areas where:
  - Protection can be provided from the impact of extreme bushfire behaviour
  - Fuel is managed in a minimum fuel condition
  - There is sufficient distance or shielding to protect people from direct flame contact or harmful levels of radiant heat
- Less defendable space and higher construction standard is appropriate having regard to the bushfire hazard landscape assessment
- The dwelling is constructed to a bushfire attack level of BAL-FZ

This alternative measure only applies where the requirements of Approved Measure 3.1 cannot be met.

[Click here to provide your response to the requirements that may allow Alternative Measure 3.5 to be used.](#) Included must be an explanation why Approved Measure 3.1 cannot be met

**Has Alternative Measure AltM 3.5 been met?    Yes     No     N/A**

**Other unspecified Alternative Measures**

[Click here to provide your response](#)

## 52.47-2.3 – Water Supply and Access Objectives

- A static water supply is provided to assist in protecting property.
- Vehicle access is designed and constructed to enhance safety in the event of a bushfire.

### Approved Measure AM 4.1 – Water Supply and Access

#### Water Supply Requirement

A building used for a dwelling (including an extension or alteration to a dwelling), a dependant person's unit, industry, office or retail premises is provided with a static water supply for fire fighting and property protection purposes as specified in Table 4 to Clause 52.47-3.

The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for fire fighting water supplies.

Lot Size (m <sup>2</sup> )	Hydrant Available	Capacity (litres)	Fire Authority Fittings & Access Required	Select Response
Less than 500	Not Applicable	2,500	No	<input type="checkbox"/>
500 – 1000	Yes	5,000	No	<input type="checkbox"/>
500 – 1000	No	10,000	Yes	<input type="checkbox"/>
1001 and above	Not Applicable	10,000	Yes	<input checked="" type="checkbox"/>

Note: a hydrant is available if it is located within 120 metres of the rear of the building

Note: Fittings must be in accordance with the published requirements of the relevant fire authority

<b>Confirm Static Water Supply meets the following requirements</b>	<b>X</b>	Is stored in an above ground water tank constructed of concrete or metal
	<b>X</b>	All fixed above ground water pipes and fittings for fire fighting purposes must be made of corrosive resistant metal.
	<b>The following additional requirements apply when 10,000 litres of static water is required:</b>	
	<b>X</b>	Incorporate a ball or gate valve (British Standard Pipe (BSP 65mm) and coupling (64mm CFA 3 thread per inch male fitting)
	<b>X</b>	The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed
	<b>X</b>	Be readily identifiable from the building or appropriate identification signage to the satisfaction of CFA must be

	<p>provided.</p> <p><b>X</b> Any pipework and fittings must be a minimum of 65mm (excluding the CFA coupling)</p>
--	---

**Additional Information:**

See site plan for tank location

The water tank is 14,000 litres and is gravity fed by another 500,000 litre water supply.

There are six static water points with a total of plus 100,000 litres in the shedding structure. Plumbing will be altered if necessary to meet Building Code 8 and CFA as required.

**Has Approved Measure AM 4.1 (Water Supply) been met?**      Yes       No

**Access Requirement**

A building used for a dwelling (including an extension or alteration to a dwelling), a dependant person’s unit, industry, office or retail premises is provided with vehicle access is designed and constructed as specified in Table 5 to Clause 52.47-3.

Column A	Column B
Length of access is less than 30 metres	<input type="checkbox"/> There are no design and construction requirements if fire authority access to water supply is not required under AM 4.1
Length of access is less than 30 metres	<input type="checkbox"/> Where fire authority access to the water supply is required under AM 4.1 fire authority vehicles must be able to get within 4 metres of the water supply outlet <p style="color: red; text-align: center;"><a href="#">Click here to explain how a fire authority vehicle can get within 4 metres of the water supply outlet</a></p>

<b>Length of access is greater than 30 metres</b>	<p>The following design and construction requirements apply:</p> <ul style="list-style-type: none"> <li>X All weather construction</li> <li>X A load limit of at least 15 tonnes</li> <li>X Provide a minimum trafficable width of 3.5 metres</li> <li>X Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically</li> <li>X Curves must have a minimum inner radius of 10 metres</li> <li>X The average grade must be no more than 1 in 7 (14.4%)(8.1°) with a maximum grade of no more than 1 in 5 (20%)(11.3°) for no more than 50 metres</li> </ul>
<b>Length of access is greater than 100 metres</b>	<p>A turning area for fire fighting vehicles must be provided close to the building by one of the following:</p> <ul style="list-style-type: none"> <li>X A turning circle with a minimum radius of eight metres</li> <li>X A driveway encircling the dwelling</li> <li>X The provision of other vehicle turning heads such as a T head or Y Head – which meet the specification of Austroad Design for an 8.8 metre service vehicle.</li> </ul>
<b>Length of access is greater than 200 metres</b>	<ul style="list-style-type: none"> <li><input type="checkbox"/> Passing bays must be provided at least every 200 metres.</li> <li><input type="checkbox"/> Passing bays must be a minimum of 20 metres long with a minimum trafficable width of 6 metres.</li> </ul>

**Additional Information:**

There are two turning circles on the access track one just before the shed structure and one after the shed structure. The track is surrounded by cleared grassland on either side and there is capacity for vehicles to pass. The access track can be clearly seen in the Bushfire Site Hazard plan Attachment 2 and meets all requirements for tracks greater than 100 metres.

**Has Approved Measure AM 4.1(Access) been met?**

Yes X No

# Attachment 1 – Bushfire Landscape Assessment



Aerial Map with site topography (planning maps online)

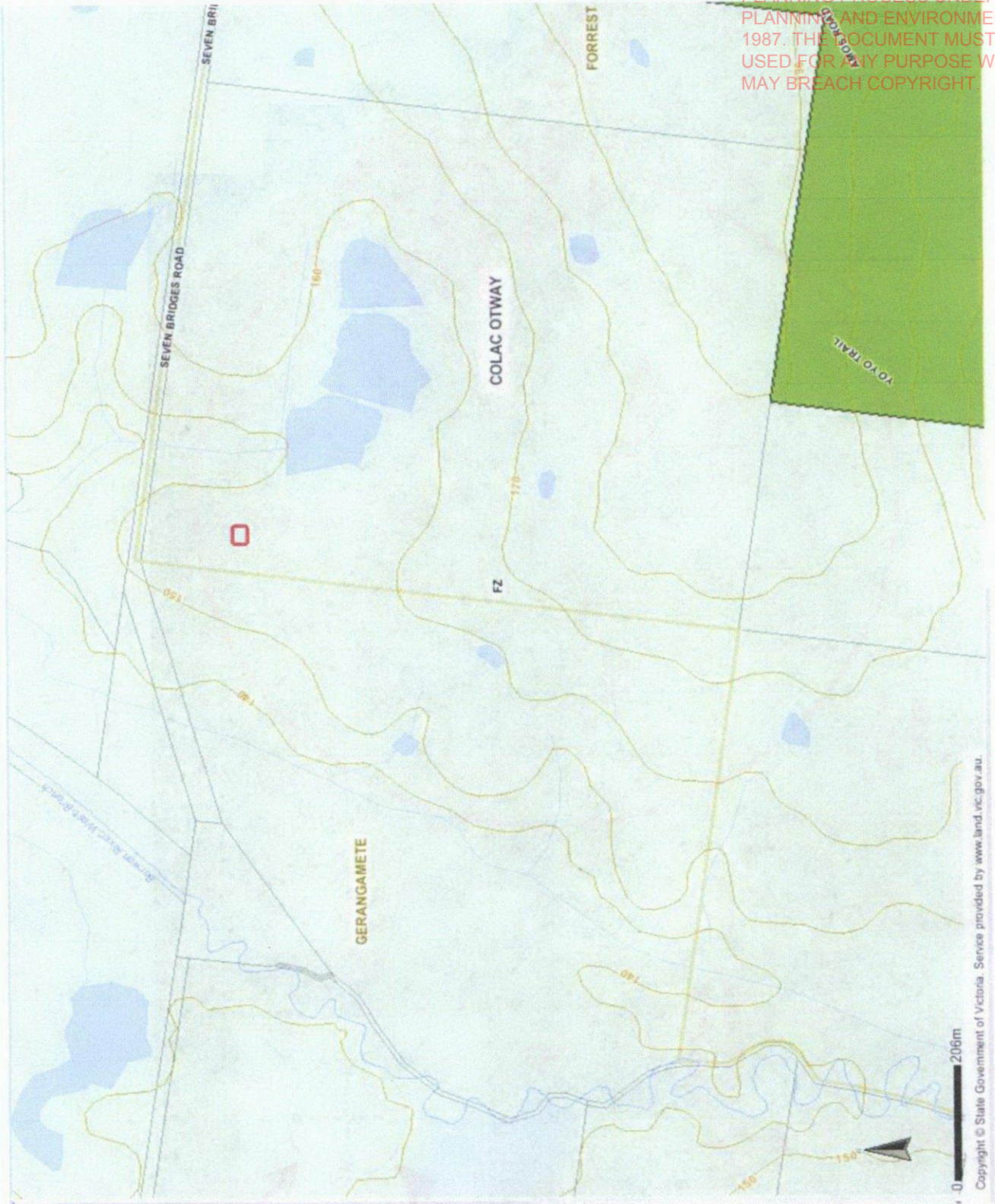


Large scale landscape plan showing site location (Planning Maps Online)

0 13km  
Copyright © State Government of Victoria. Service provided by www.land.vic.gov.au.



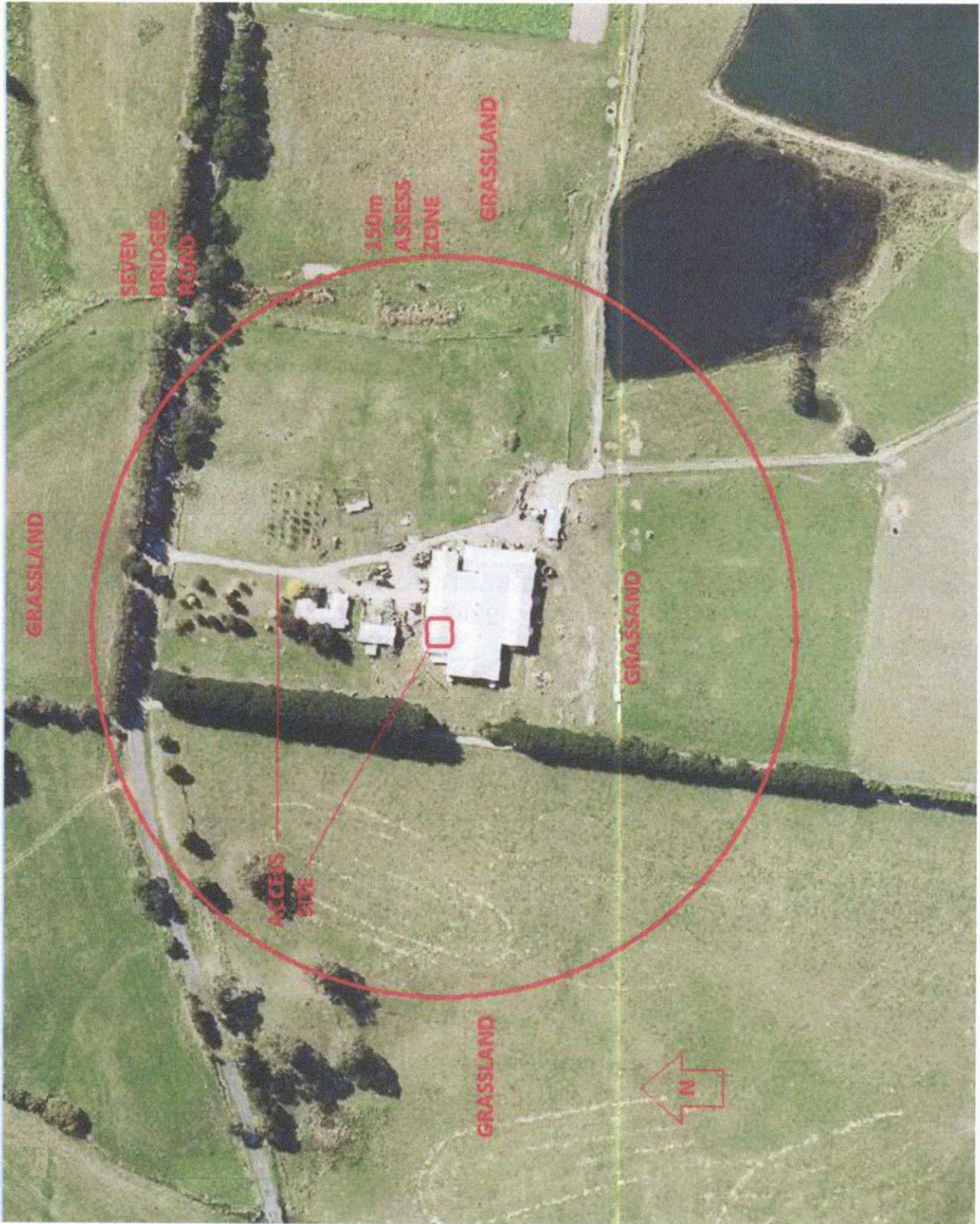




Site and surrounds topography. Site in red. (Planning Maps Online)

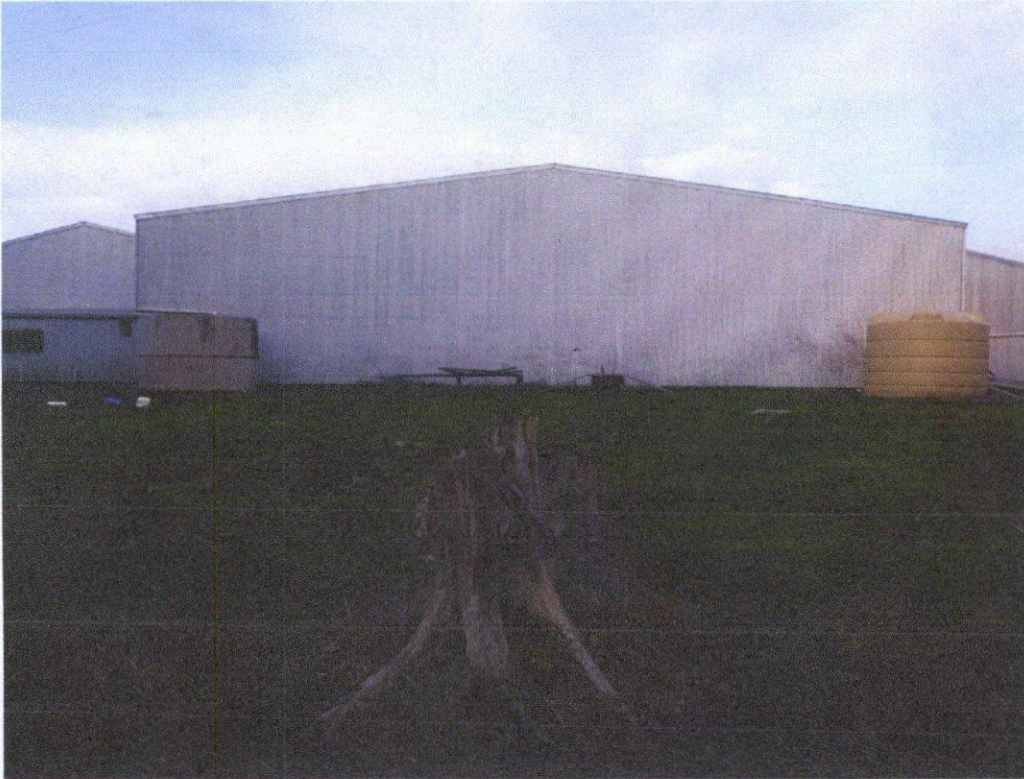
# Attachment 2 – Bushfire Site Hazard Plan

With 150 m Arc



Site hazard assessment (Planning Maps Online)

### Attachment 3 – Site Photos



View from western boundary to existing shed showing grassland(Author)



View from west side of shed facing adjoining property



View from shedding structure to the east of the property



View from shedding structure looking to the South East



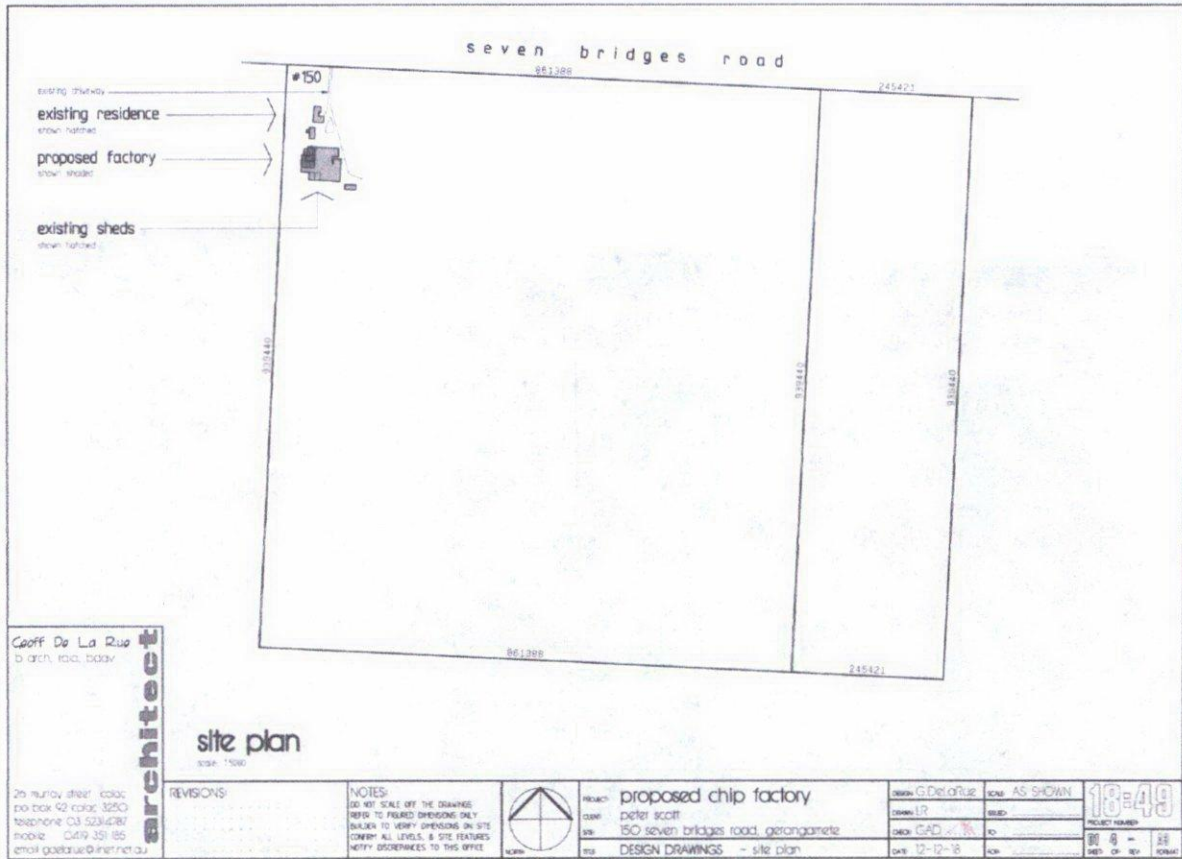
View to the south from the sheds



From the shedding structure looking to the south east

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# Attachment 3a – Site plan, Floor plan and Building Elevations



outline of existing shed complex, all to remain as is

outline of insulated panel enclosure to the new chip factory, shown dotted

**west elevation**

scale 1:200

outline of existing shed complex, all to remain as is

5 no. existing sliding doors, all to remain as is

outline of insulated panel enclosure to the new chip factory, shown dotted

**north elevation**

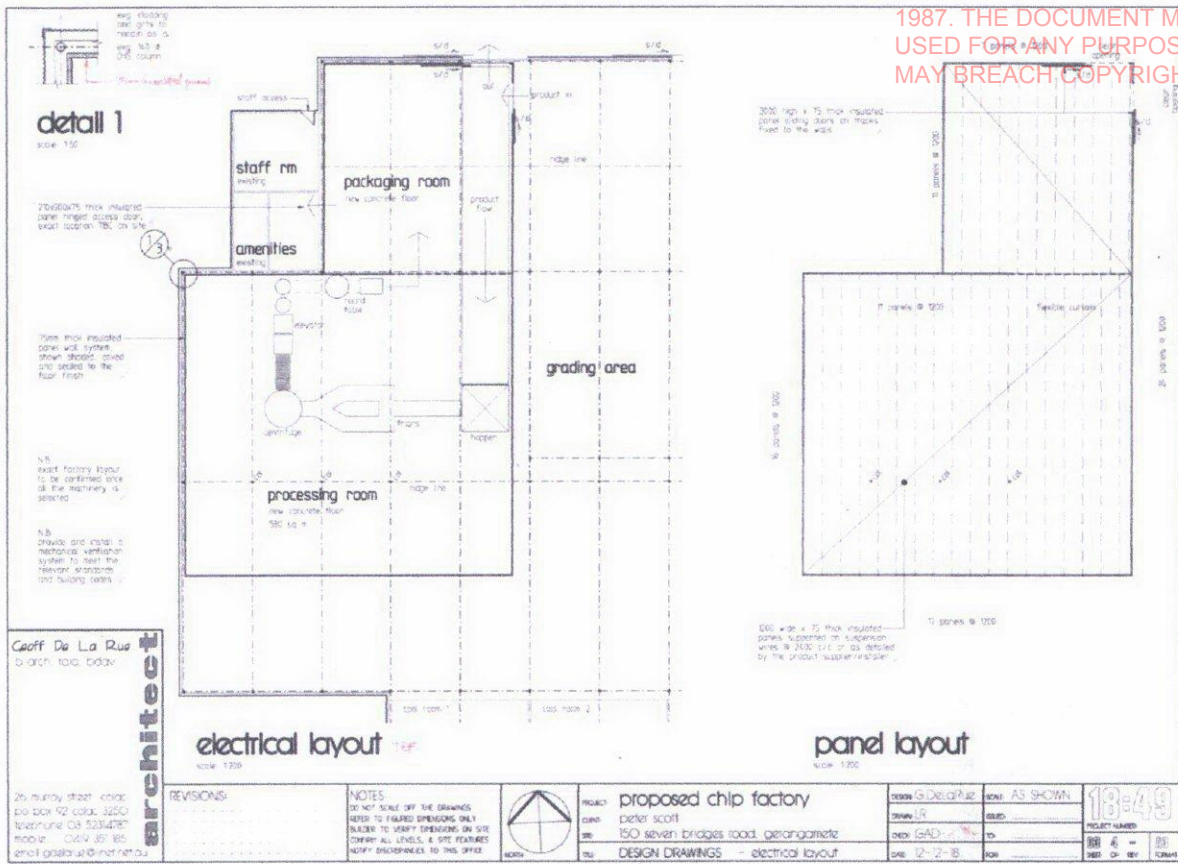
scale 1:200

**Caoff Da La Rue**  
 b' arch, i'oi, ba'v

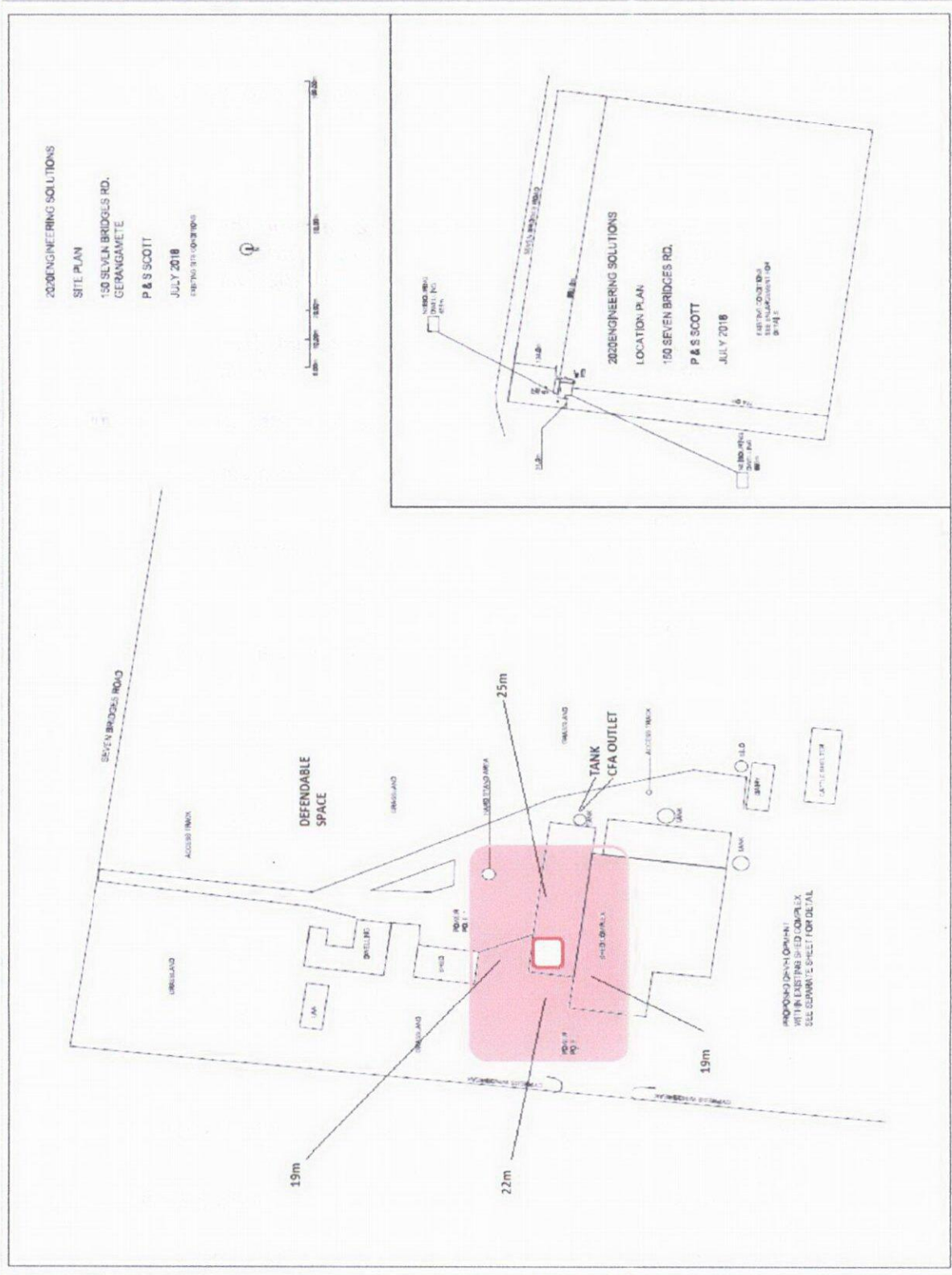
**architect**

REVISIONS: . . .	NOTES: DO NOT SCALE OFF THE DRAWINGS REFER TO DIMENSIONS ONLY BUILDER TO VERIFY DIMENSIONS ON SITE CONFIRM ALL LEVELS & SITE FEATURES NOTIFY DISCREPANCIES TO THIS OFFICE	<p>North</p>	PROJECT: <b>proposed chip factory</b> CLIENT: peter scott SITE: 150 seven bridges road, geelong/arratt DATE: 2/12/18	DRAWN: G.DELORJUE CHECK: GAD DATE: 2/12/18	SCALE: AS SHOWN PROJECT NUMBER: 18-49 SHEET: 08 OF 28
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# Attachment 4 – Bushfire Management Plan



**NOTE STANDARD CFA CONDITIONS ONLY SPECIFIC SITE CONDITIONS TAKE PRIORITY**

Before the development starts, *[a bushfire management plan]* must be submitted to and approved by the Responsible Authority. The plan must be endorsed to form part of the permit and show the following bushfire mitigation measures, unless otherwise agreed in writing by the CFA and the Responsible Authority:

*Insert relevant mitigation measures (refer to the sub-set of conditions below under the sub-headings of defendable space, access, water supply, construction)*

**a) Defendable space**

*Defendable space is provided for a distance of 19/22/25 around the proposed building/or to the property boundary where vegetation (and other flammable materials) will be modified and managed in accordance with the following requirements:*

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

**b) Construction standards**

Structure designed and constructed to a minimum Bushfire Attack Level BAL 12.5 to all elevations

**c) Water supply**

*The following conditions apply*

Show **10,000 litres** of effective water supply for fire fighting purposes which meets the following requirements:

- Is stored in an above ground water tank constructed of concrete or metal.
- All fixed above-ground water pipes and fittings required for fire fighting purposes must be made of corrosive resistant metal.

*Additional conditions to apply if CFA fittings and access is required (delete if N/A)*

The water supply will –

- Incorporate a ball or gate valve (British Standard Pipe (BSP) 65mm) and coupling (64 mm CFA 3 thread per inch male fitting).
- The outlet/s of the water tank must be within 4m of the accessway and be unobstructed.
- Be readily identifiable from the building or appropriate identification signage to the satisfaction of CFA must be provided.
- Any pipework and fittings must be a minimum of 65 mm (excluding the CFA coupling).

#### d) Access

*Conditions where tailored access is required and driveway is less than 100m (delete if N/A)*

Access for fire fighting purposes meets the following requirements:

- Curves must have a minimum inner radius of 10m.
- The average grade must be no more than 1 in 7 (14.4 per cent) (8.1 degrees) with a maximum of no more than 1 in 5 (20 per cent) (11.3 degrees) for no more than 50m.
- Have a minimum trafficable width of 3.5m of all weather construction.
- Be clear of encroachments for at least 0.5m on each side and 4m above the accessway.
- Dips must have no more than a 1 in 8 (12.5 per cent) (7.1 degrees) entry and exit angle.

*Additional conditions where tailored access is required and driveway is more than 100m (delete if N/A)*

- a turning area for fire fighting vehicles is available close to the building

## Draft conditions remote outlets on BMO tanks

---

**Version:** 1.5 July 2017

In CFA's BMO Conditions replace the standard Water Supply Condition with:

#### **c) The Water supply will be constructed to meet all of the following conditions**

Show a minimum of 10,000 litres of effective water supply for fire fighting purposes including:

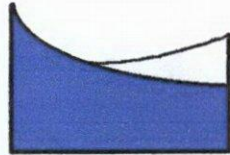
- The location of the CFA outlet, the occupier's outlet and the pipeline between the tank and the CFA outlet, and
- The material of manufacture and nominal diameter of all piping and fittings.

The water supply must be installed so that it meets the following requirements:

- The static water supply must be stored in a tank constructed of concrete or metal.
- The static water supply must be provided with an outlet for the CFA (CFA outlet) that includes a 64 mm CFA 3 thread per inch male coupling.
- The static water supply must also include an outlet which incorporates a ball or gate valve separate to the CFA outlet for use by the owner/occupier of the land.
- The CFA outlet must be:
  - a) Easily accessible by a firefighter in the event of a bushfire,
  - b) Clear of all vegetation for a distance of 1.5 metres,
  - c) Setback from flammable objects (including timber fences and timber retaining walls) for a minimum distance of 1.5 metres,
  - d) Located a minimum distance of 10 metres and no more than 60 metres from

- the dwelling, and
- e) Oriented horizontally.
- The internal diameter for the fitting connecting the tank to the pipeline must be equivalent to or greater than the internal diameter of the pipeline between the tank and the fire authority outlet.
  - The centreline of the CFA outlet must be:
    - a) A minimum of 300mm and maximum 600mm in height above the finished ground level, and
    - b) Located below the level of the outlet on the tank.
  - The riser for the CFA outlet must be supported by a galvanised steel post at least 50mm x 50mm or equivalent which is concreted in the ground to a depth of at least 450mm.
  - A 65mm British Standard Pipe (BSP) ball or gate valve must be provided at the CFA outlet to control the flow of water to the CFA coupling. Any other valves between the CFA outlet and the tank must be locked in the open position.
  - The CFA outlet must be easily identifiable from the entrance to the property or signage must be provided that meets the following requirements:
    - a) Has an arrow pointing to the location of the fire authority outlet,
    - b) Has dimensions of not less than 310mm high and 400mm long,
    - c) Is red in colour, with a blue reflective marker attached, and
    - d) Is labelled with a 'W' that is not less than 15cm high and 3cm thick.
  - The CFA outlet must include a fade-resistant or engraved sign that:
    - a) Is fixed to the post supporting the fire authority outlet riser,
    - b) Has a minimum height of at least 1.5m from the ground surface level, and
    - c) Includes the words "FIRE WATER TANK OUTLET" in lettering that is a minimum of 50mm in height and white on a red background.
  - A blue reflective disc at least 50mm in diameter must be attached to the post holding the sign. The blue reflective disk must be located immediately below the sign.
  - All below-ground water pipes must be installed to provide at least the following cover below the finished surface:
    - a) 300 mm for pipes subject to vehicle traffic,
    - b) 75 mm for pipes under dwellings or concrete slabs, and
    - c) 225 mm for all other locations.

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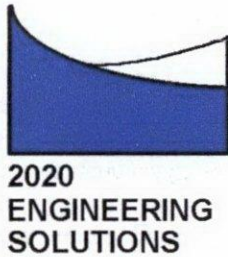
## GEOTECHNICAL ASSESSMENT



SITE;	150 SEVEN BRIDGES ROAD GERANGAMETE, VICTORIA. 3249
DEVELOPER;	P & S SCOTT
REPORT NUMBER;	ES18157
DATE;	24/07/2018

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8.0 Plausible Failure Modes		
8.1.Elements at Risk		
8.2 Failure Analysis.		
9.0 Risk Analysis		
9.1 Consequence Analysis		
9.2 Probability Analysis		
9.3 Vulnerability Analysis		
9.4 Spatial factor		
9.5 Risk Analysis		
10.1 Footing structure and Foundation Materials		
10.2 Cut and Fill Earthworks		
10.3 Soil Retention Structures		
10.4 Drainage		
10.5 Building Design and Structural System		
10.6 Vegetation		
10.7 Wastewater Management		
10.8 On-going Maintenance and Mitigation Measures		
10.9 Development Timeframe		
10.10 Additional Geotechnical Requirements		
11.0 Landslip Risk Assessment Statement		
12. Report Recommendations		
13. Report Restrictions		
14. Professional Compliance Statement		
15. Controlling and Referenced Documents		
16. SiteConditions- Site Photo (Author)	17..Geotechnical Declaration.	
18. The Geotechnical Assessment / Landslip Risk Assessment		



2020Engineering Solutions  
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## GEOTECHNICAL ASSESSMENT



SITE;	150 SEVEN BRIDGES ROAD GERANGAMETE, VICTORIA. 3249
DEVELOPER;	P & S SCOTT
REPORT NUMBER;	ES18157
DATE;	24/07/2018



## **Executive Summary**

Maximum Annual probability of loss of life, Barely Credible  
This figure is below the advised acceptable limit  
Property Risk would be Very Low  
This is also below the advised acceptable limit.

## **Succinct Recommendations**

- a) The proposal be allowed as the calculated risk is within the acceptable ranges for Life and Property
- b) Landslip Risk Assessment is not required

## **Preamble**

Note; This document reports to Schedule One to the Erosion Management Overlay as in operation at the time of commissioning.

*The Shire contains areas of land that are susceptible to landslip..... In areas susceptible to landslips, it is necessary to assess the potential impact of buildings, works and vegetation removal on the environment, in order to minimise risk to life and property.*  
(EMO Policy Basis)

The proposal comprises the development of a potato crisp production facility, within existing shed complex.

This report considers the geotechnical implications of the proposal.

## 1.0 Consultant

Michael Daniel Delahunty  
'Culliamurra'  
1745 Colac – Forrest Road  
Colac Victoria Australia.

### 1.1 Details of Qualifications, Experience and Expertise

Bachelor Degree in Mining Engineering University of Ballaratt.

2001-2003 Civiltest, Geotechnical technologist

2006- to current 2020 Engineering Solutions P/L  
Managing Director, Principal Engineer

Member Institute of Engineers Australia Member # 2274072

### 1.2 Specific Expertise

Over the past eighteen years I have personally conducted several hundred site and soil investigations across SW Victoria. This work, along with academic qualifications, has equipped me with an understanding of typical and atypical sub-soil conditions.

The author has valid professional indemnity insurance at the time of inspection and reporting. As part of a commitment to on-going professional development the author is undertaking the process of accreditation and attainment of chartered status.

### 1.3 Equipment

Kobelco 007 hydraulic mounted auger  
100mm hand auger  
GMC Digital spirit level  
Manual measuring devices  
Computer hardware and software

## 2.0 Date of Assessment

18<sup>th</sup> June 2018

### 2.1 Reporting Date

24<sup>th</sup> July 2018

### 3.0 Site Description

Overall the subject land comprises, open, cleared, farmland but with extensive shedding, dwelling and wind breaks.

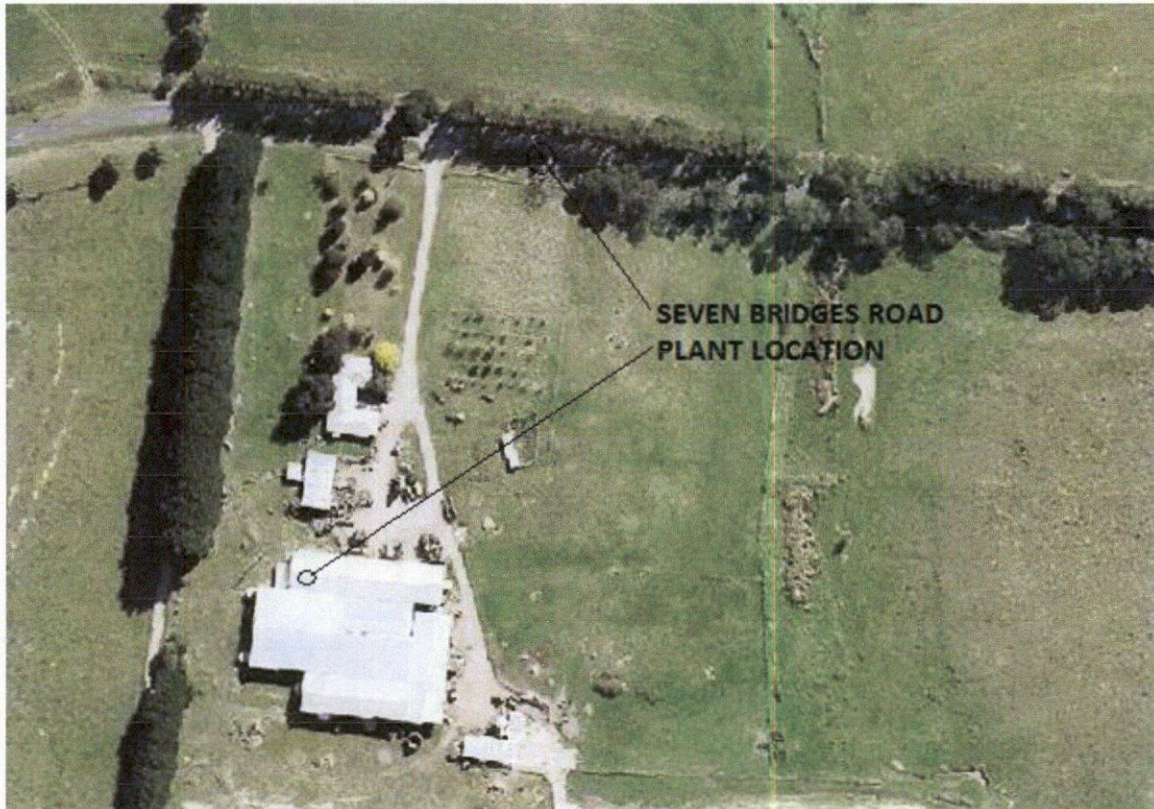


Fig 1. Proposed development location. (Planning maps on line)

The proposal comprises the development of a potato crisp production facility, within existing shed complex.

#### 3.1 Address

150 Seven Bridges Road,  
Gerangamete, Victoria. 3249

#### 3.2 Title Details

Allot 59A  
Parish of Gerangamete

### **3.2.1 Property Owner**

P & S Scott

### **3.3 Developer**

P & S Scott

### **3.4 Responsible Authority**

Colac Otway Shire  
Rae St Colac 3250

#### **3.4.1 Planning Details**

Planning Application; TBA.

### **4.0 Site Assessment Plans**

See associated planning documents including detailed site plans.

### **5.0 Surface Conditions**

Build site comprises concrete shed floor.

### **5.1 Subsurface Conditions**

Not applicable as site concreted

### **5.2 Groundwater**

No discharge areas were noted on the subject land in the regions where the plant is proposed.

### 5.3. Geology

Published geological maps of the area indicate the property covers a range of Tertiary Age, Gellibrand Marl.

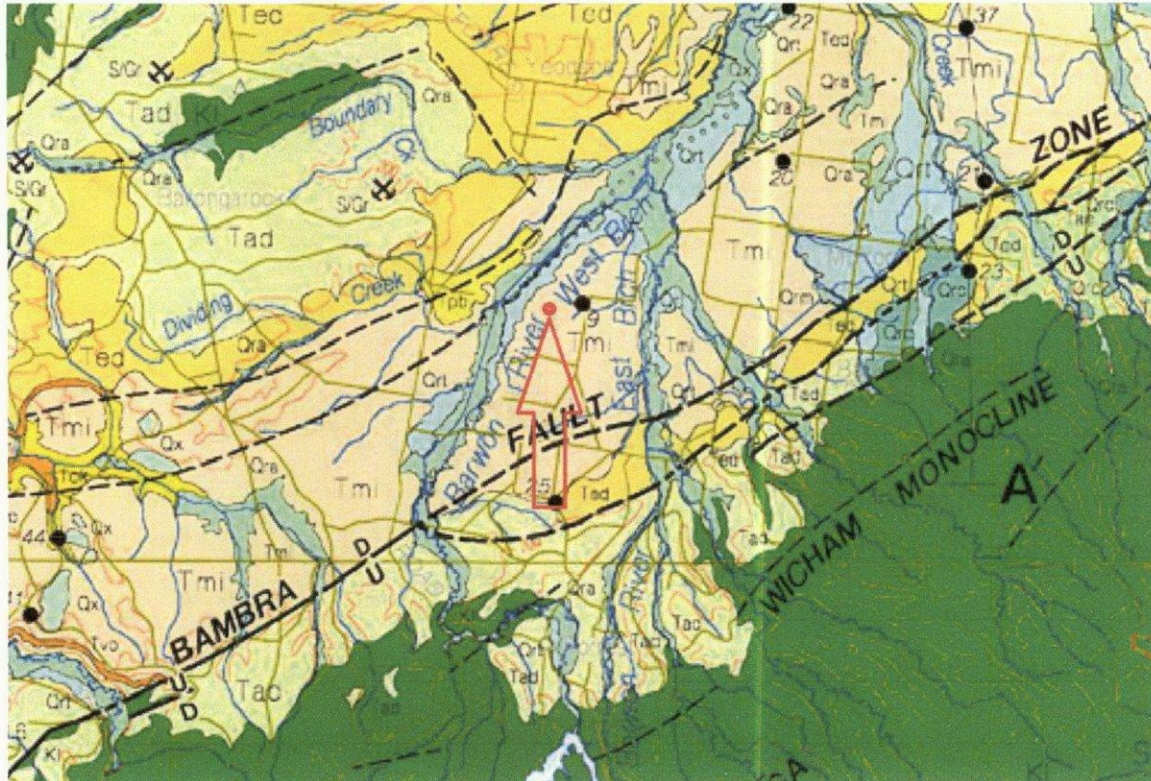


Fig 2.Site Geology, subject land in red dot.(Source; Geovic).

### 5.4 Geomorphic Process

Generally the geomorphic process that takes place throughout the Otways involves deeply weathered material, due to high rainfall, on steep slopes being subjected to a 'trigger' event such as extreme rainfall or anthropogenic activity. This proposed construction zone envelope is on Gellibrand Marl sediments which have a moderate to elevated tendency to display mass movement but generally when subject to high slope angles and trigger circumstances.

Mitigating this risk will involve ongoing management of drainage and overflow water from the sheds.

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## 6.0 Regional Instability

### 6.1 Mapped

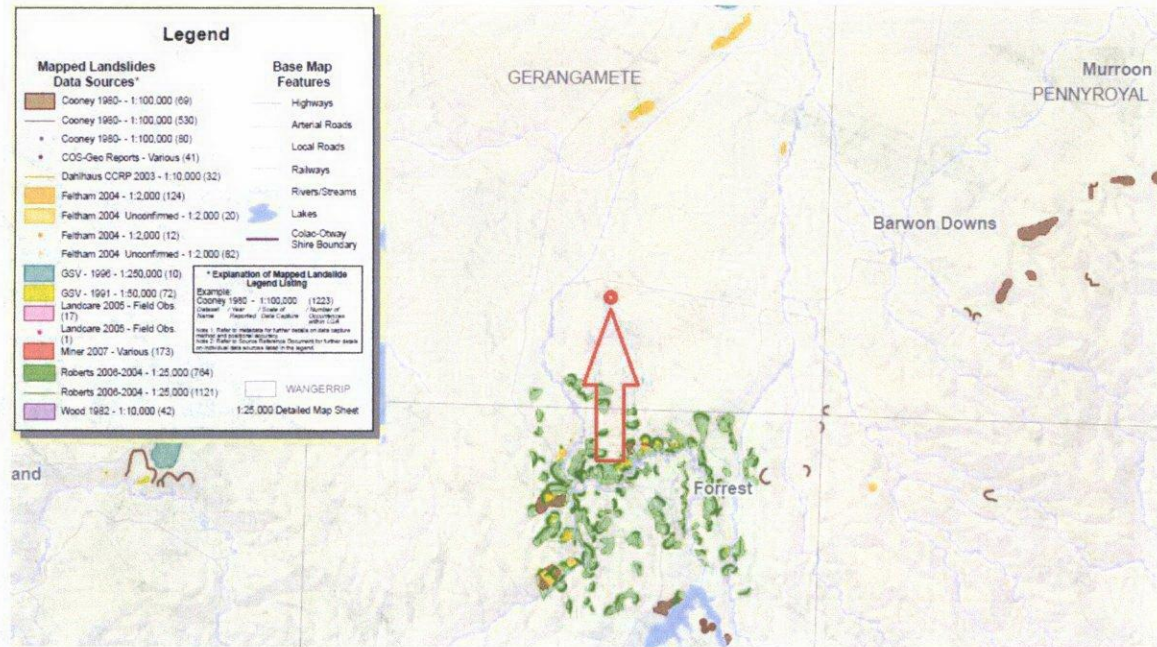


Fig 3. Mapped Slip Systems (Source; Colac Otway Shire)

Inventory of Landslides, Colac Otway Shire Map, shows no slip systems on or near the subject land, shown in red.

### 6.2 Unmapped

No evidence of mass land instability was noted on or near the subject land proposed for the development.

## 7.0 Assessment Methodology

The principal assessment methodology of instability analysis for this development was visual.

### 7.1 Slope Model

No slope model was developed as the site comprises a flat concreted shed floor.

## 8.0 Plausible Failure Modes

Of the 10 types of landslide systems, AGS Figure B1, and with reference to the information obtained during the site investigation there are no plausible failure modes.

### 8.1 Elements at risk

Life will be an element at a minute risk, as will the proposed development. No third party exposure is expected.

### 8.2 Failure analysis

No failure is foreseeable therefore no analysis is possible.

## 9.0 Risk Analysis

Risk Analysis brings together Probability and Consequence

### 9.1 Consequence Analysis

No failure therefore no consequence

### 9.2 Probability Analysis

Barely credible

### 9.3 Vulnerability Analysis

Not applicable as no foreseeable failure.

### 9.4 Spatial Factor

Not applicable as no foreseeable failure.

### 9.5 Risk analysis

Maximum Annual probability of loss of life, Barely Credible

This figure is below the advised acceptable limit

Property Risk would be Very Low

This is also below the advised acceptable limit.

### **10.1 Footing structure and Foundation Materials**

N/A

### **10.2 Cut and Fill Earthworks**

No significant earthworks

### **10.3 Soil Retention Structures**

None anticipated.

### **10.4 Drainage**

As per existing arrangements.

### **10.5 Building Design and Structural System**

Existing steel framed and clad.

### **10.6 Vegetation**

No vegetation.

### **10.7 Wastewater Management**

N/A

### **10.8 On-going Maintenance and Mitigation Measures**

This report does not recommend specific on-going erosion mitigation measures apart from general good practice in maintaining plumbing fittings.

### **10.9 Development Timeframe**

There is no geotechnical timeline for this development

### **10.10 Additional Geotechnical Requirements**

Additional geotechnical requirements not required.



## 11.0 Landslip Risk Assessment Statement

Landslip Risk Assessment is not required due to the flat slope angles on the subject site and surrounds. It should also be noted that annual risk to life from the development is extremely low.

## 12. Report Recommendations

a) The proposal be allowed as the calculated risks are within the acceptable range.

## 13. Report Restrictions

Should the final proposal differ substantially from the assessed proposal, the testing and resultant recommendations, may not be valid. It also assumes the 'as tested' conditions are consistent across the site. If this is not the case, the client would be advised to contact the author, should encountered conditions vary from those reported. 2020Engineering Solutions takes no responsibility for errors or omissions contained in sourced material. This report should be read in entirety and not selectively reproduced.

## 14. Professional Compliance Statement

The author has valid professional indemnity insurance at the time of inspection and reporting. As part of a commitment to on-going professional development the author is undertaking the process of accreditation and attainment of chartered status.

## 15 Controlling and Referenced Documents;

AS1726-1993 (incorporating amendments to #2-1994)

AS4360-2005 Risk Management Set

AS4200-2000 General Conditions of Contract for Engagement of Consultants

AS2870-2011 Residential Slabs and Footings

Colac Otway Shire

Planning Scheme, Erosion Management Overlay Procedures (EMO)

Schedule 1

Geographic Information System (GIS) Data base

Geological Survey of Victoria (GSV)

Colac 7621-3 Zone 54

1:50,000 Map Series

Tickell S.J. 1990.

Report 103 (Department of Agriculture, Energy and Minerals)

2020ES JSA 01.04.05.18

[www.dse.vic.gov.au](http://www.dse.vic.gov.au)

2020Engineering Solutions site plans.


#### 16. Site Condition Photos.



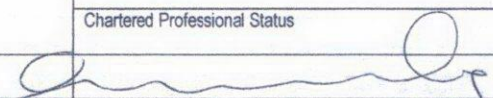
View of complex See associated planning documents for plan details.(Source: Author)

## 17. Geotechnical Declaration

Page 1 of 2

<b>FORM</b>	<b>A</b>	<b>Geotechnical Declaration and Verification Development Application</b>	
Office Use Only			
<p><b>To be submitted with planning application.</b> It must accompany the Geotechnical Assessment and/or Landslip Risk Assessment. This form is essential to verify that the Geotechnical Assessment and/or Landslip Risk Assessment has been prepared in accordance with CI 44.01 of the Colac Otway Planning Scheme and that the author of the Assessment/s is a geotechnical engineer or engineering geologist as defined by this clause.</p>			
<b>Section 1</b>		<b>Related Application</b>	
Planning Application Number (if known)	TO BE ADVISED		
Site Address	150 SEVEN BRIDGES ROAD, GERANGAMETE. VICTORIA. 3249		
Applicant	P & S SCOTT		
<b>Section 2</b>		<b>Geotechnical Assessment and/or Landslip Risk Assessment</b>	
Details	Report Title: <b>GEOTECHNICAL ASSESSMENT</b>		
	Author's Company/ Organisation Name: <b>2020 ENGINEERING SOLUTIONS</b>	Report Reference No:	<b>ES18157</b>
	Author: <b>MR MICHAEL DELAHUNTY</b>	Dated:	<b>25/07/2018</b>
<b>Section 3</b>		<b>Checklist</b>	
Geotechnical Requirements (Tick as appropriate either Yes or No)	<p>The following checklist covers the minimum requirements to be addressed in a Geotechnical Assessment and/or Landslip Risk Assessment. The report must also cover any additional matters required by Clause 44.01. This checklist must accompany each report. Each item is to be cross-referenced to the section or page of the Geotechnical Assessment and/or Landslip Risk Assessment which addresses that item.</p>		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	A review of readily available history of slope instability in the site or related land as per <SECTION 6 >		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	An assessment of the risk posed by all reasonably identifiable geotechnical hazards as per <SECTION 6.1 >		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Plans and sections of the site and related land as per <SECTIONS 17 >		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Presentation of a geological model as per <SECTION 8 >		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Photographs and/or drawings of the site as per < SECTION 16 >		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	A conclusion as to whether the site is suitable for the development proposed to be carried out either conditionally or unconditionally as per <SECTION 12 >		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	If any items above are ticked No, an explanation is to be included in the report to justify why < >		
<b>Is the approval subject to recommendations and conditions relevant to:</b>			
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Selection and construction of footing systems.		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Earthworks.		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Surface and sub surface drainage.		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Recommendations for the selection of structural systems consistent with the geotechnical assessment of the risk.		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Any conditions that may be required for the ongoing mitigation and maintenance of the site and the proposal from a geotechnical viewpoint.		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Highlighting and detailing the inspection regime to provide the <PCA> and builder with adequate notification for all necessary inspections.		
FIFTY _____ Years	State the Design Life of the Structure adopted in the Geotechnical Assessment and/or the Landslip Risk Assessment.		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Are the risk mitigation measures as recommended in the Geotechnical Assessment and/or the Landslip Risk Assessment suitable for the design life of the structure?		
<b>NOTE:</b>	<Add Reference> - Add in the relevant section or page number of the listed Geotechnical Assessment and/or Landslip Risk Assessment which addresses each item		

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<b>FORM</b>	<b>A</b>	<b>Geotechnical Declaration and Verification Development Application</b>			
<b>Section 4</b>		<b>List of Drawings referenced in Geotechnical Assessment and/or Landslip Risk Assessment</b>			
Design Documents		Description	Plan or Document No.	Revision or Version No.	Date
		<i>PROPOSED DEVELOPMENT LOCATION</i>	<i>FIG 1.</i>		<i>PLANNING MAPS ON LINE</i>
		<i>SITE GEOLOGY</i>	<i>FIG 2.</i>		<i>GEOVIC</i>
		<i>MAPPED SLIP SYSTEMS</i>	<i>FIG 3.</i>		<i>COS</i>
<b>Section 5</b>		<b>Declaration</b>			
Declaration (Tick all that apply)		I am a geotechnical engineer or engineering geologist as defined by the Colac Otway Planning Scheme and on behalf of the company below:			
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	I am aware that the Geotechnical Assessment and/or Landslip Risk Assessment I have either prepared or am technically verifying (referenced above) is to be submitted in support of a planning application for the proposed development site (referenced above) and its findings will be relied upon by the Colac Otway Shire Council in determining the planning application			
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> N/A	I prepared the Geotechnical Assessment and/or Landslip Risk Assessment referenced above in accordance with the Colac Otway Planning Scheme and the AGS Guidelines 2007 as defined in the planning scheme.			
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> N/A	I technically verify that the Geotechnical Assessment and/or Landslip Risk Assessment referenced above has been prepared in accordance with the Colac Otway Planning Scheme and the AGS Guidelines 2007 as appropriate.			
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	I technically verify that the Geotechnical Assessment prepared for the planning application for the site confirms the land can meet the acceptable risk criteria specified in the schedule to Clause 44.01 of the Colac Otway Planning Scheme taking into account the total development and site disturbance proposed.			
<input type="checkbox"/> Yes	<input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	I technically verify that the Landslip Risk Assessment prepared for the planning application for the site confirms the land can meet the tolerable risk criteria specified in the schedule to Clause 44.01 of the Colac Otway Planning Scheme taking into account the total development and site disturbance proposed.			
<b>Section 6</b>		<b>Geotechnical Engineer or Engineering Geologist Details</b>			
Company/Organisation Name		2020 ENGINEERING SOLUTIONS PTY LTD			
Name (Company Representative)		Surname: DELAHUNTY		Dr / Mr / Mrs / Ms / Miss	
		Given Name(s) MICHAEL			
		Chartered Professional Status		Registration Number	
Signature				Dated: 25/07/2018	

Reference: AGS Guidelines 2007c "Practice Note Guidelines for Landslide Risk Management", Australian Geomechanics Society, Australian Geomechanics. V42. N1 March 2007.

Note: N/A = Not Applicable

April 2013.

## 18. The Geotechnical Assessment

The initial level of assessment requires a report known as a "Geotechnical Assessment". A primary purpose of the Geotechnical Assessment is the collection of base information about the site. This is to include:

- A detailed site description typically including aspects of the site geomorphology, site drainage and site physiography including slope and aspect.
- It is expected that the site description also includes other site features such as existing development, access roads, retaining walls and site excavations and/or fills.
- Site assessment plans and cross sections of the subject site and related lands that may contribute to or be affected by instability at the site. This should include contours and ground slopes drawn to scale and dimensioned from a survey and recent field measurements. The plan and section should be separate from any geological model or stability model provided as additional analysis/assessment information.
- A detailed assessment of subsurface conditions including both surface and subsurface geology. Such information is vital in developing a geological model for the site and should include any exposures or outcrops as well as groundwater discharges or seeps
- The above information should then be summarised in a description of a geological/ geotechnical model for the site
- Details of all site investigations and any other information used in developing the Geotechnical Assessment.

The purpose of the base information is to effectively describe key aspects of the site in detail so as to clearly establish a context for the site conditions prior to the proposed development.

The next aim of the Geotechnical Assessment is to establish relevant features of the slope stability conditions of the site. This should include:

- A statement indicating whether there are natural slopes on or immediately adjacent to the subject lot which exhibit evidence of possible or past slope instability such as landslide, rockfall or erosion.
- The Geotechnical Assessment should list all credible, potential modes of failure.

By combining an understanding of the site conditions and aspects of slope stability, a primary finding from the Geotechnical Assessment must be:

- A statement indicating risks for all slope stability hazards identified are of an ACCEPTABLE RISK level (as defined by the schedule) and that these risks will remain at an ACCEPTABLE RISK level over the design life of the development.

An ACCEPTABLE RISK level by necessity must be defined by COS, but is expected to be in line with risk levels recommended in the Australian Geomechanics Society's (AGS) Landslide Risk Management Guidelines (AGS 2007c and d). For a typical low rise residential development, ACCEPTABLE levels of risk as recommended by AGS are as follows:

Risk Type for low rise residential development	ACCETABLE RISK level (as per AGS 2007 c and d)
Risk to Property and Infrastructure (Qualitative Assessment)	LOW
Risk to Life for existing slopes and development (Quantitative Assessment)	1 x 10 <sup>-5</sup>
Risk to Life for new slopes and new development (Quantitative Assessment)	1 x 10 <sup>-6</sup>

Note other combinations of building importance and slope conditions can result in different levels of ACCEPTABLE risk (e.g. a hay shed has less stringent criteria whilst heavily used building such as schools or recreation centers will require more stringent criteria). The AGS guidelines offer detailed recommendations on this aspect of ACCEPTABLE RISK.

If the Geotechnical Assessment cannot make the statement regarding ACCEPTABLE RISK levels for all slope hazards, then the assessment must proceed to a second more detailed assessment known as a "Landslide Risk Assessment".

It is generally not expected that detailed risk calculations would be included in a Geotechnical Assessment however a consultant may choose to include some calculations if they feel the need to justify the required statement regarding ACCEPTABLE RISK levels.

Other recommendations regarding the development must also be included in the Geotechnical Assessment where they have influence on the final recommendation for approval. These include:

- Determination of appropriate founding depths
- Location and depth of cuts and fills,
- Construction of retention systems
- Details of surface and sub-surface drainage
- Vegetation retention
- Drainage and effluent disposal
- Need for ongoing mitigation measures
- Timeframes for completion of works
- Any other geotechnical approvals

Finally the Geotechnical Assessment must include a statement on whether or not the next level assessment i.e. a Landslip Risk Assessment is required.

### **The Landslip Risk Assessment**

A Landslip Risk Assessment may be required in one of two ways:

1. Where the Geotechnical Assessment cannot make the statement regarding all potential slope hazards are at an ACCEPTABLE risk level and hence the call for a more detailed assessment or;
2. Where landform data indicates the natural slopes on or immediately adjacent to the subject lot exceed certain slope angle thresholds for various geologic units (as defined in the schedule). In the case of the spatially extensive Eumeralla Formation (Otway Group) this threshold angle is 14°.

The Landslip Risk Assessment must include the initial Geotechnical Assessment OR must include all information required in a Geotechnical Assessment where the initial level of assessment was bypassed by the slope threshold requirement.

The Landslide Risk Assessment then requires a full risk assessment in accordance with the requirements of the AGS2007 guidelines.

This includes an assessment for risks for all reasonably identified geotechnical hazards and must be undertaken for risks to life and risk to property/infrastructure. Qualitative and quantitative calculations must be included in this assessment.

The Landslip Risk Assessment must include a specific statement as follows:

- A statement that the subject lots are suitable or can be made suitable for the proposed development and that the subject lot or the proposed development can meet the TOLERABLE RISK criteria as defined in the schedule.

As before, a TOLERABLE RISK level will need to be defined by COS but is again expected to be in line with risk levels recommended in the Australian Geomechanics Society's Landslide Risk Management Guidelines (AGS 2007c and d). For a typical low rise residential development TOLERABLE levels of risk as recommended by AGS are as follows:

<b>Risk Type for low rise residential development</b>	<b>TOLERABLE RISK level (as per AGS 2007 c and d)</b>
Risk to Property and Infrastructure (Qualitative Assessment)	MODERATE
Risk to Life for existing slopes and development (Quantitative Assessment)	1 x 10 <sup>-4</sup>
Risk to Life for new slopes and new development (Quantitative Assessment)	1 x 10 <sup>-5</sup>

It is again noted that different combinations of building importance and slope conditions may result in different levels of tolerable risk.

## 19. Report Limitations

### 2020 Engineering Solutions Pty Ltd ("2020") Geotechnical Report Limitations

The report to which this document has been attached assesses risks arising from land slope instability and proposes risk minimisation solutions. Absolute risk avoidance cannot be assured, principally due to assessment cost factors. It is therefore necessary to rely on instructions and make assumptions.

#### Changed Conditions

The report may be invalidated by changed conditions including:-

1. topography.
2. soil moisture content.
3. above or below ground structures.
4. soil and substrate profiles.
5. location of site boundaries.

#### Causes of Changed Conditions

Changed conditions may occur due to:-

1. extreme conditions such as flood, drought, cold, heat or fire.
2. human activities.
3. natural processes.
4. planning or design requirements.

#### Client to inform 2020 of any changes

2020 will endeavour to identify any reasonably foreseeable risk factors on the site which may cause changed conditions. Samples are taken at reasonable intervals bearing in mind the cost to the client. In the absence of specific instructions or patent conditions it will be assumed that conditions observed in samples are consistent across the site.

This document is provided to inform the client that their responsibility for risk is shared with 2020. The client will be responsible for inaccurate instructions or failure to instruct in relation to changed conditions, events that may cause changed conditions or when it becomes evident that assumptions may be invalid. Failure to do so could result in substantial and costly damage and disputes.

#### Interpretation

The report must be considered in its entirety. Each part of the report may be dependent on other parts for meaningful interpretation. The report should also only be used by the client. It may not be relied upon by any other person without first conferring with 2020. The report should only be acted upon and interpreted by persons qualified and competent in the activities contemplated in the report.



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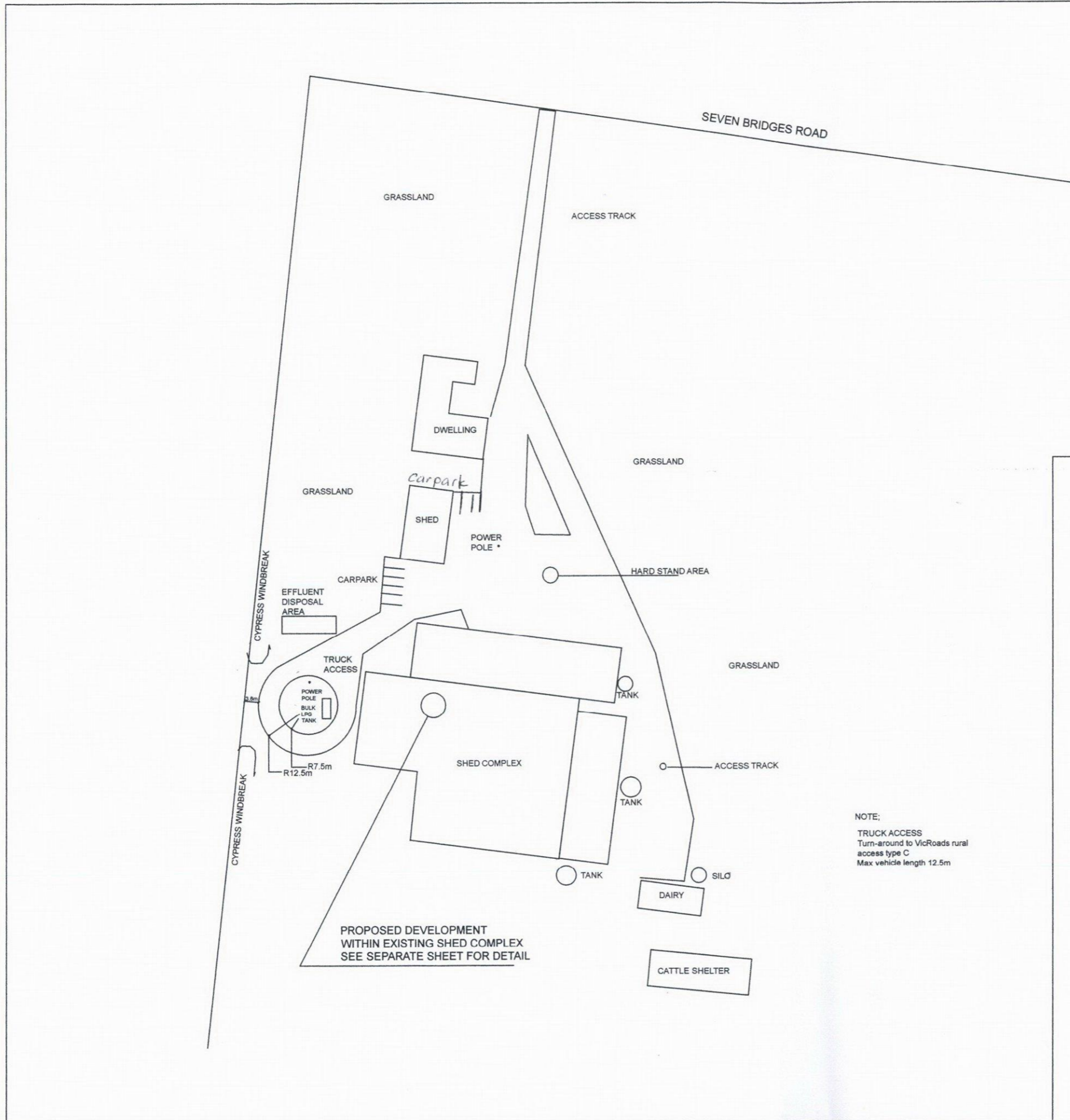
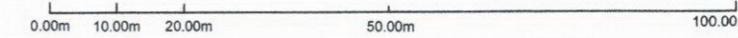
SITE PLAN

150 SEVEN BRIDGES RD.  
GERANGAMETE

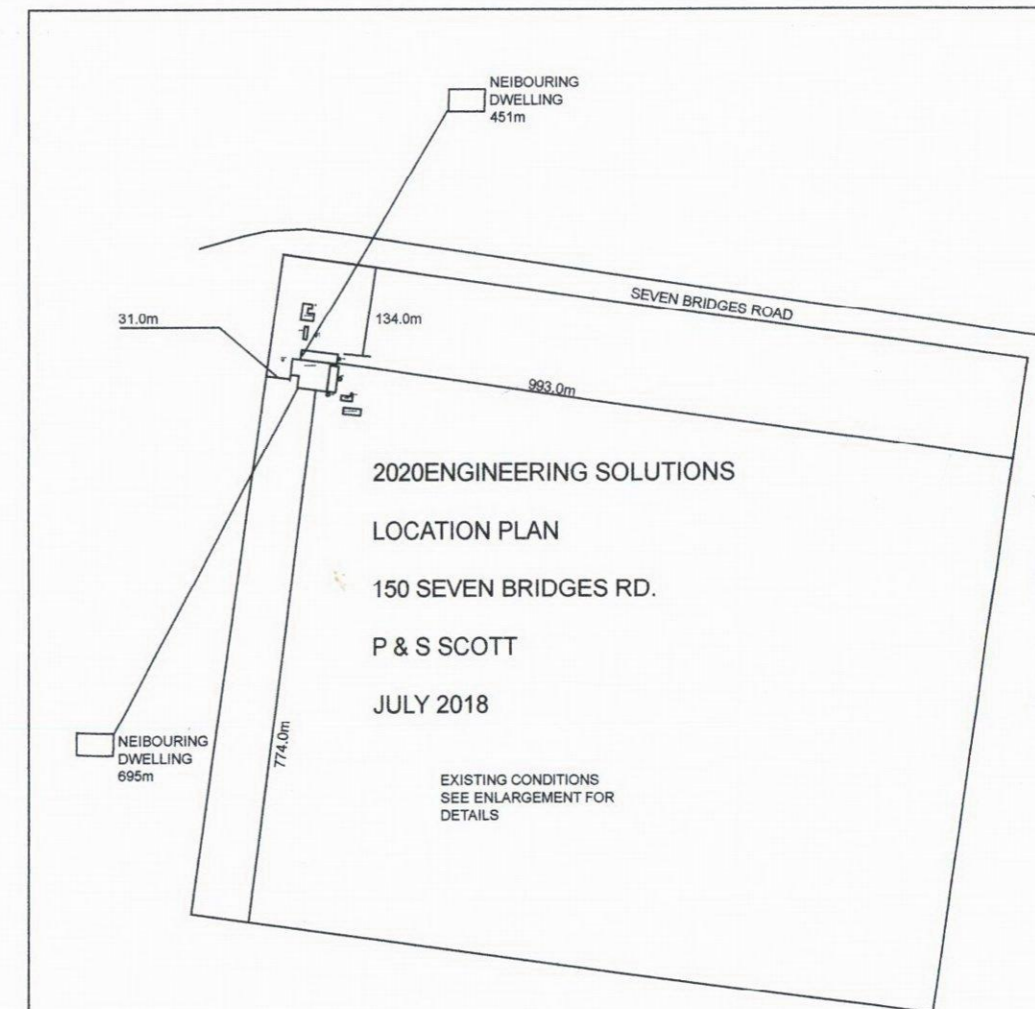
P & S SCOTT

JULY 2018

EXISTING SITE CONDITIONS



NOTE:  
TRUCK ACCESS  
Turn-around to VicRoads rural  
access type C  
Max vehicle length 12.5m



2020ENGINEERING SOLUTIONS

LOCATION PLAN

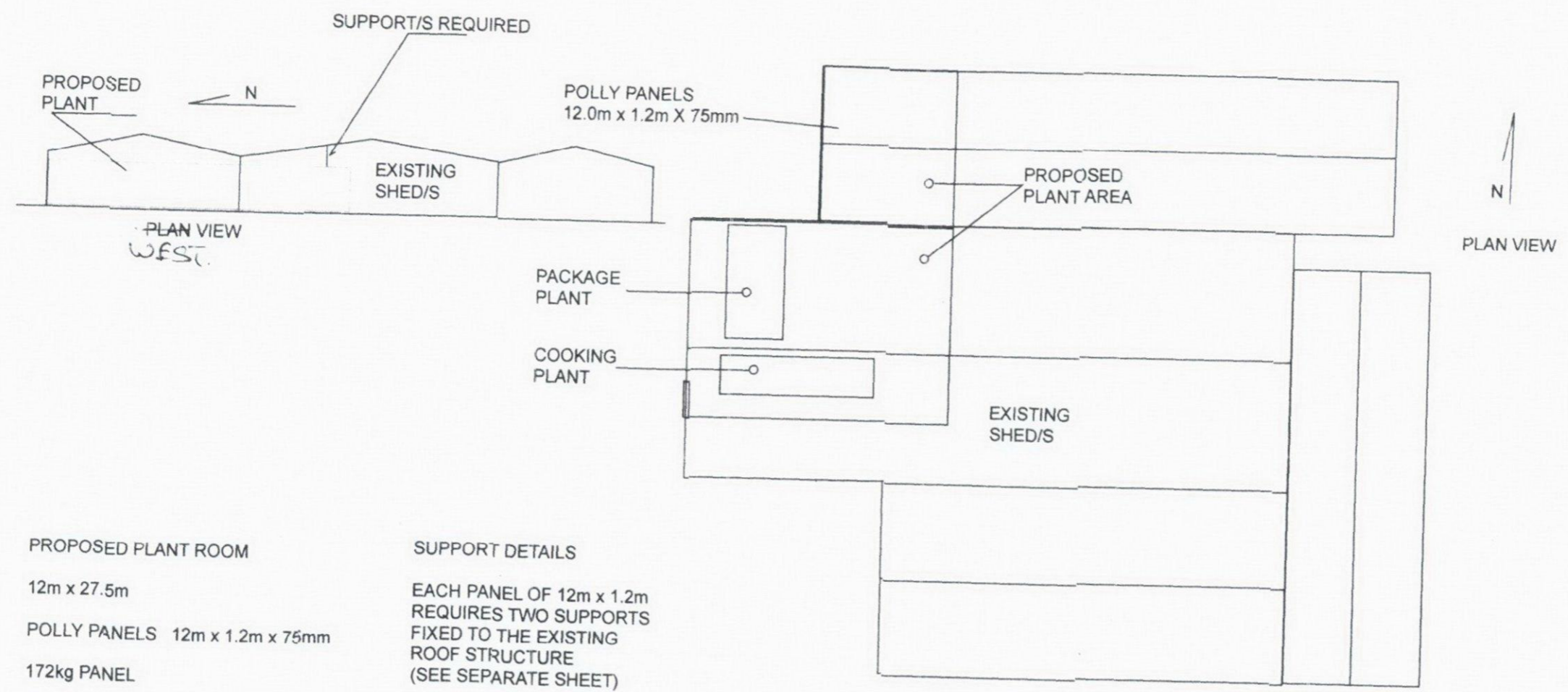
150 SEVEN BRIDGES RD.

P & S SCOTT

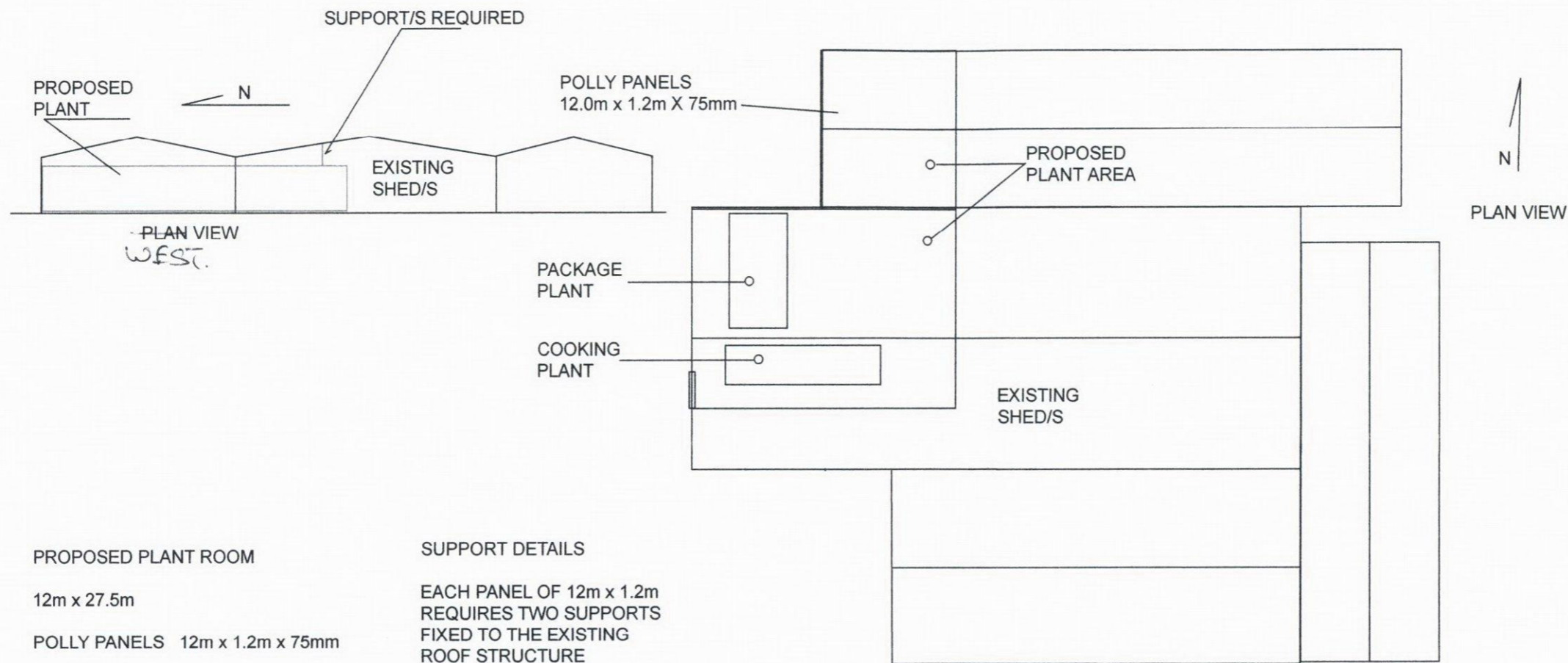
JULY 2018

EXISTING CONDITIONS  
SEE ENLARGEMENT FOR  
DETAILS

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0.0m 50.00m



PROPOSED PLANT ROOM

12m x 27.5m

POLLY PANELS 12m x 1.2m x 75mm

172kg PANEL

13.0 kg/m<sup>2</sup>

SUPPORT DETAILS

EACH PANEL OF 12m x 1.2m REQUIRES TWO SUPPORTS FIXED TO THE EXISTING ROOF STRUCTURE (SEE SEPARATE SHEET)

PROPOSED CHIP FACTORY  
P & S SCOTT  
GERANGAMETE