

PP20/2019-1

20 Roadknight Street BIRREGURRA

Lot: 1 TP: 949457 V/F: 826/297

Construction of a Single Storey Dwelling

Swanbuild Homes

Officer - Vikram Kumar

EXHIBITION FILE

This document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.

Submissions to this planning application will be accepted until a decision is made on the application.

If you would like to make a submission relating to a planning permit application, you must do so in writing to the Planning Department

Clear Form


Office Use Only

Application No.:

Date Lodged: / /

Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

 Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.

 Questions marked with an asterisk (*) must be completed.

 If the space provided on the form is insufficient, attach a separate sheet.

 Click for further information.

The Land


Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 20	St. Name: Roadknight Street
Suburb/Locality: Birregurra		Postcode: 3242

Formal Land Description *


Complete either A or B.


 This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.


A	Lot No.: 1	<input type="radio"/> Lodged Plan	<input checked="" type="radio"/> Title Plan	<input type="radio"/> Plan of Subdivision	No.: TP949457
OR					
B	Crown Allotment No.:		Section No.:		
Parish/Township Name:					

The Proposal

 You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.


 For what use, development or other matter do you require a permit? *

Construction of a single storey dwelling
Construction of a second driveway on a road zone category 1

 Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

 Estimated cost of any development for which the permit is required *

Cost \$ 274,223.31


 You may be required to verify this estimate. Insert '0' if no development is proposed.

Existing Conditions

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Existing dwelling to be decommissioned prior to arrival and construction of proposed dwelling.
Two existing sheds

 Provide a plan of the existing conditions. Photos are also helpful.


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Title Information

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- ☐ Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- ☐ No
- ☒ Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

Applicant and Owner Details

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Please provide at least one contact phone number *

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Name:

Title:

First Name: Amy

Surname: O'Connor

Organisation (if applicable): Swanbuild

Postal Address:

If it is a P.O. Box, enter the details here:

Unit No.:

St. No.:

St. Name: P.O Box 1349

Suburb/Locality: Swan Hill

State: VIC

Postcode: 3585

Contact information for applicant OR contact person below

Business phone: (03) 50360000

Email: planning@swanbuild.com.au

Mobile phone:

Fax:

Contact person's details*

Same as applicant ☒

Name:

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

If it is a P.O. Box, enter the details here:

Unit No.:

St. No.:

St. Name:

Suburb/Locality:

State:

Postcode:

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:

Same as applicant ☐

Title:

First Name: Lesley

Surname: Orrell

Organisation (if applicable):

Postal Address:

If it is a P.O. Box, enter the details here:

Unit No.:

St. No.: 16

St. Name: Gundowring Drive

Suburb/Locality: Seabrook

State: VIC

Postcode: 3028


Owner's Signature (Optional):

Date:

day / month / year

Declaration

This form must be signed by the applicant *

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature:



Date: 06/02/18

day / month / year

Need help with the Application?

General information about the planning process is available at planning.vic.gov.au

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer?

☒ No

☐ Yes

If 'Yes', with whom?:

Date:

day / month / year

Checklist

Have you:



Filled in the form completely?



Paid or included the application fee?



Most applications require a fee to be paid. Contact Council to determine the appropriate fee.



Provided all necessary supporting information and documents?



A full, current copy of title information for each individual parcel of land forming the subject site.



A plan of existing conditions.



Plans showing the layout and details of the proposal.



Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.



If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts).



Completed the relevant council planning permit checklist?



Signed the declaration above?

Lodgement

Lodge the completed and signed form, the fee and all documents with:

Colac Otway Shire
PO Box 283
Colac VIC 3250
2-6 Rae Street
Colac VIC 3250

Contact information

Phone: (03) 5232 9400
Email: inq@colacotway.vic.gov.au

Deliver application in person, by post or by electronic lodgement.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 11333 FOLIO 534

Security no : 1240760339870
Produced 07/02/2019 08:12 AM

LAND DESCRIPTION

Lot 1 on Title Plan 949457W.
Created by Application No. 101451B 14/02/2012

REGISTERED PROPRIETOR

Estate Fee Simple
TENANTS IN COMMON
As to 99 of a total of 100 equal undivided shares
Sole Proprietor
IAN CHARLES TRIGG of 16 GUNDOWRING DRIVE SEABROOK VIC 3028
As to 1 of a total of 100 equal undivided shares
Sole Proprietor
LESLEY ORRELL of 16 GUNDOWRING DRIVE SEABROOK VIC 3028
Application No. 101451B 14/02/2012

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AJ488487S 14/02/2012
WESTPAC BANKING CORPORATION

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

Warning as to Dimensions

Any dimension and connecting distance shown is based on the description of the land as contained in the General Law Title and is not based on survey information which has been investigated by the Registrar of Titles.

DIAGRAM LOCATION

SEE TP949457W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 20 ROADKNIGHT STREET BIRREGURRA VIC 3242

ADMINISTRATIVE NOTICES

NIL

eCT Control 16320Q WESTPAC BANKING CORPORATION
Effective from 23/10/2016

DOCUMENT END

Imaged Document Cover Sheet

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TITLE PLAN				EDITION 1		TP949457W	
LOCATION OF LAND PARISH: BIRREGURRA TOWNSHIP: SECTION: 22 CROWN ALLOTMENT: B (PT) CROWN PORTION: LAST PLAN REFERENCE: DERIVED FROM: DEPTH LIMITATION: NIL				NOTATIONS WARNING AS TO DIMENSIONS: ANY DIMENSION AND CONNECTING DISTANCE SHOWN IS BASED ON THE DESCRIPTION OF THE LAND CONTAINED IN THE GENERAL LAW TITLE AND IS NOT BASED ON SURVEY INFORMATION WHICH HAS BEEN INVESTIGATED BY THE REGISTRAR OF TITLES.			
EASEMENT INFORMATION						THIS PLAN HAS BEEN PREPARED BY LAND VICTORIA FOR TITLE DIAGRAM PURPOSES Checked by: PE Date: 15/02/2012 Assistant Registrar of Titles	
E ENCUMBERING EASEMENT. R ENCUMBERING EASEMENT (ROAD). A APPURTENANT EASEMENT.							
Easement Reference	Purpose / Authority	Width (Metres)	Origin	Land benefited / In favour of			

LOT 1

90°00' 140.82

0°00' 86.22

180°00' 86.22

270°00' 140.82

71.09

STREET

ROADKNIGHT

KETTLE LANE

LENGTHS ARE IN METRES	SCALE	DEALING / FILE No: AP101451B	DEALING CODE: 14
	—	GOVERNMENT GAZETTE No:	SHEET 1 OF 1

Colac Otway Shire

Ref: PP20/2019-1

Contact: Vikram Kumar

PLANNING APPLICATION FOR 20 ROAD KNIGHT STREET BIRREGURRA

Referring to the further information request sent out on the 12th of March 2019.

An amended set of drawings are attached with:

- Setbacks to proposed machinery shed and garage. (Chook run has been removed from plans as they are now going a portable construction that can be moved around the site. To contain roughly 6 chickens)

1. Clarification on the Art studio

- a. The existing building on the block (north-east corner) is the original house. It's our intention to retain this building, but repurpose the rooms – all for private use. The kitchen will be decommissioned by removing the stove.
- b. The new room purposes. In summary:
 - i. Proposed home cinema – currently the lounge room
 - ii. Proposed home gym – currently the main bedroom
 - iii. Proposed home study – currently the dining room
 - iv. Proposed storeroom – currently the laundry
 - v. **Proposed art/craft/sewing room – currently the kitchen**
 - vi. Proposed second home study – currently the second bedroom
 - vii. Bathroom, toilet, back porch and hallway to remain
- c. The existing access to the old house at the north-eastern corner of the property will remain open. We plan to remove at least 50% of the existing internal fence (from the western end) to allow greater access through that area.

2. Clarification on the sheds:

- a. Intended use of the existing shed – storage and personal workshop (woodwork and metal work) – photo of shed attached.
- b. Proposed sheds
 - i. Enduro (Machinery) shed – drawings attached
 - ii. Garage – drawings attached

3. Access – two accesses from the Road Zone Category 1 (RDZ1) may not be supported by VicRoads:

Council approved the previous planning application for the creation of the second driveway. VicRoads supported the application. The works were completed several years ago. The new, second driveway is complete from road to gate (over the existing drain). The new planning permit shows a 'proposed driveway' from the existing gate to the proposed garage and proposed dwelling. Copies of letter from Colac Otway about the planning permit and VicRoads approval are attached.

The following is a response from the our clients and owners of the property in regards to council issue 2.

Too many buildings in a small Farming Zone (FZ) land.

We propose that we are not reducing the agricultural use of the block in any material way.

If we look at our block at 20 Roadknight Street, it has not been productive in the classic agricultural cropping or grazing way in living memory, if ever:

There is no stock watering infrastructure, piping/troughs etc; and no evidence that there has ever been any installed.

The pasture shows no sign of having been improved in any fashion and shows no evidence of being cultivated in the recent ownership.

The previous owners (1984 to 2011) bred greyhounds and some of the infrastructure from this (dog run foundations/whelping yard) were still in place when we purchased the block. We have removed some of it and plan to remove all of what is left. Apart from dog breeding the only apparent activity on the majority of the three acres (outside the old house yard) appears to have been grazing a single horse, probably a children's pet.

All existing fencing was in a dilapidated state and was no longer serviceable. During our ownership we have replaced some internal fencing and the external fencing on the western, southern and eastern boundaries. Along with removing the extensive blackberry infestations and clearing the fallen trees we have improved the block in many ways. This has been noted by our current neighbours.

The south-eastern corner of the block is subject to minor inundation, due to water ingress from the roadside table drain, which limits its agricultural uses. Our intention is to plant trees in this area. There are several areas within the block where water flowing in from neighbouring properties to the west and north makes areas of the soil very soft to the point of being unsuitable for cattle grazing due to the impact of their footprints/pugging.

In the time of our ownership we have had an agreement with the previous owner of the block to the west, who grew-out Angus steers, to allow access for the steers to our block as part of our fire vegetation management plan. We found this agreement had to include removal of the steers during any period where the soils became waterlogged due to the damage the steers were doing. The current lessee asked to continue this arrangement, but because they are grazing fully-grown cattle we have declined; but did allow them to cut the block for hay as part of our fire vegetation management plan. We allow them to use our block to move cattle between their



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leased land on our western boundary and their main block directly across Roadknight Street. It is our intention to continue to allow this if it is possible.

The neighbouring properties to the north and south are both residential in nature and we believe our proposal for a new dwelling, set back as per the permit application, will not impact on their amenity or land use in any way.

It is also worth noting that the two blocks immediately to the north have both been granted planning and building permits in the last two years, with new houses being recently built.

The block immediately to our north is of particular interest as it is a similar size and aspect to ours. It is was offered for sale in 2015 by Barwon Water, with a planning permit for a dwelling that we have been told did not mention or include any restrictions requiring continuation of farming activity. Originally this block belonged to the now defunct State Rivers and Water Supply Commission and contained a house for the district Water Bailiff, assorted workshops, horse stabling, chook shed and cow shed/yard (some of which have been reused as shedding). The old house was removed after being condemned prior to 2011. As this block had basically been used as an industrial tip by Barwon Water, its current use as 'lifestyle' living is much more appreciated.

The fact that our block in Birregurra is not zoned township appears to be a bit of a historical anomaly. There is no reason that anyone can tell us why the township zone boundary stopped where it does and didn't include the existing houses and residential blocks on the western side of Roadknight Street, extending to include the railway station and the industrial area (butter factory and timber mill) to the north of the railway line. In the Council Structure Plan in effect when we purchased the block in 2011, reference is made to a 'Settlement Boundary' which includes our block and all of the smaller blocks to the west of Roadknight Street and the railway station/northern gateway industrial precinct. There were areas of current farming zone that were identified (including the blocks immediately to our west) as having potential for development/rezoning but our block is not included in these areas.

Please let us know if you required anything else.

Regards,
Amy O'Connor



Swanbuild
H O M E S

PLANNING REPORT

Client: Ian Trigg & Lesley Orrell

Site Address: 20 Roadknight Street Birregurra VIC 3242

Swanbuild Pty Ltd

ABN: 32 159 730 748

1800 008 024

210-214 Karinie St Swan Hill, VIC 3585

swanbuild.com.au

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Disclaimer

This planning report has been prepared by Swanbuild homes for the land and building owner and should be read in conjunction with any preliminary drawings supplied.

Site Details

Project: Proposed New Residence
Client: Ian Trigg & Lesley Orrell
Address: 20 Roadknight Street Birregurra VIC 3242
Title Description: Lot 4 / 242947U
Local Government: Loddon
Development type: Residential

Zone

FARMING ZONE (FZ)

SCHEDULE TO THE FARMING ZONE (FZ)

Planning Overlays

NO OVERLAYS

Applicant & Owner

Applicant: Swanbuild
Address: 210-214 Karinie St, Swan Hill, Victoria 3585
Ph: 1800 008 024
Email: planning@swanbuild.com.au
Project: Proposed New Residence
Client: Ian Trigg & Lesley Orrell

The Proposal Brief

This report contains the following

Farming Zone

- Farming Zone Response

Further Documentation

- Proposed Drawings
 - o Existing Site Conditions
 - o Proposed Site Plan
 - o Proposed Site Enlargement Plan
 - o Floor Plan
 - o Elevations North & South
 - o Elevations East & West
 - o Perspectives

Description of existing site, features and surrounds

The site located at 20 Roadknight Street Birregurra. The block is a 1.21 hectare site of open paddock farmland with managed grassland vegetation covering the site. A few trees are located in the north east corner and along the east and north boundaries.

The lot of rectangular shape with the east short side facing Roadknight Street. Proposed access and driveway are from Roadknight Street.

There is a small neighbouring property on the south boundary with a single storey residence. The north neighbouring property contains sheds close to the boundary with all other property's being open paddock small farmland lots.

The site contains a single storey dwelling which is proposed to be reconfigured to remove kitchen and to be decommissioned as a dwelling and become an art studio for client personal usage only.

The site contains existing infrastructure from the existing single storey dwelling. Water tanks and a new septic system are proposed.

The site is relatively flat. The site falls towards the east.

Proposal and Design Response

Our client wishes to construct a two-bedroom single storey dwelling on the property to replace the decommissioned dwelling.

The proposed building is a country style rectangular shape with a protruding family area, it is elevated to 550mm above natural ground level. External walls are cladding with a cement weatherboard profile with the hip roof of colorbond custom orb or similar. Skillion verandahs with timber posts skirt the perimeter of the dwelling with an enclosed sub floor.

The dwelling is setback from Roadknight Street at 76.59m.

The dwelling is setback into the spacious small farm lot and will fit in well with the existing streetscape of single story country weatherboard clad homes.

Farming Zone Issues

The dwelling requires a planning permit due to a few listed issues

100m minimum setback from a dwelling not in the same ownership

The dwelling is within 70m of a dwelling not in the same ownership. As the farm lot is of small size and limited space within the outskirts of the township.

100m minimum setback from a road zone category 1

The setback from a road zone category one is 76.59. Which is under the minimum. Due again to the small nature of the site with a desire to preserve the open feel of the site and farm landscape.

Minimum area. 40 Hectares.

The property is only 1.21 hectares from being on the outskirts of the small town of Birregurra as are many other sites within the area.

Conclusion

Apart from the outlined issues with the Farming Zone above, the application meets or responds to the local and state planning policies. It acknowledges the Farming Zone and responds the issues.

The build will also follow all building regulations and requirements therefor should therefore should be considered in a favourable light towards construction.

Regards,

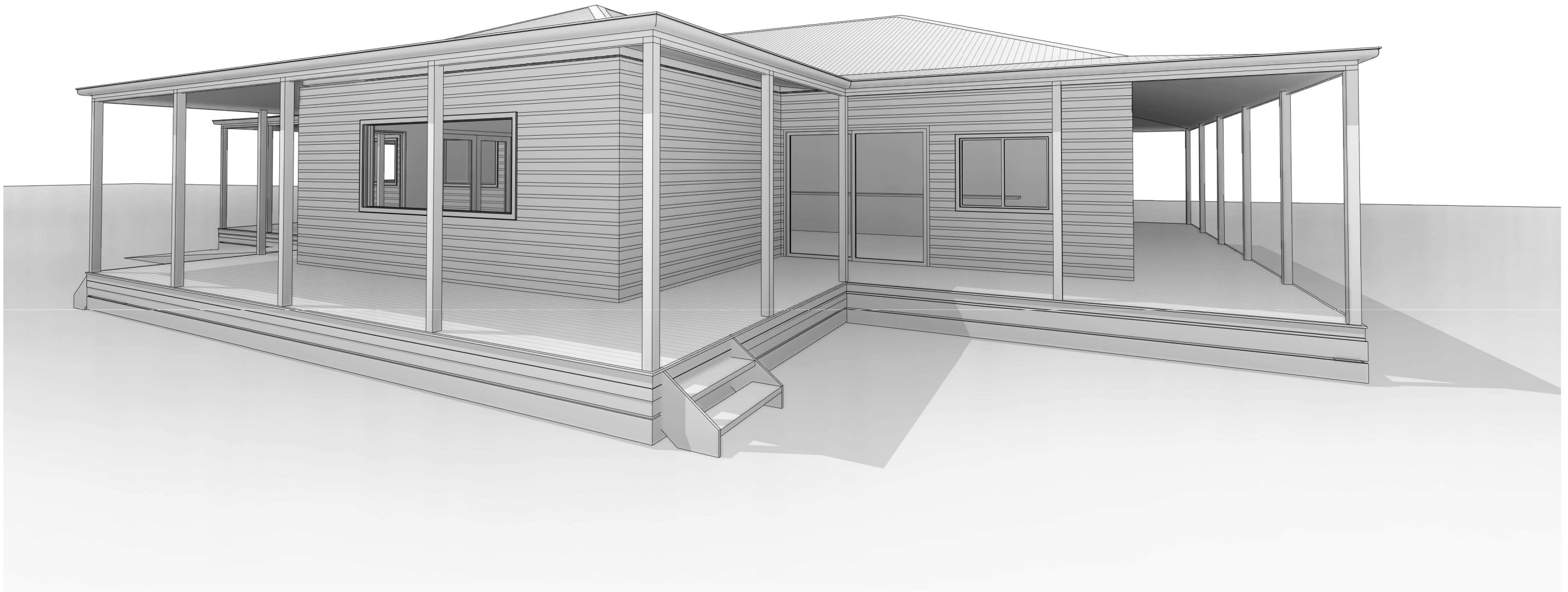
Amy O'Connor

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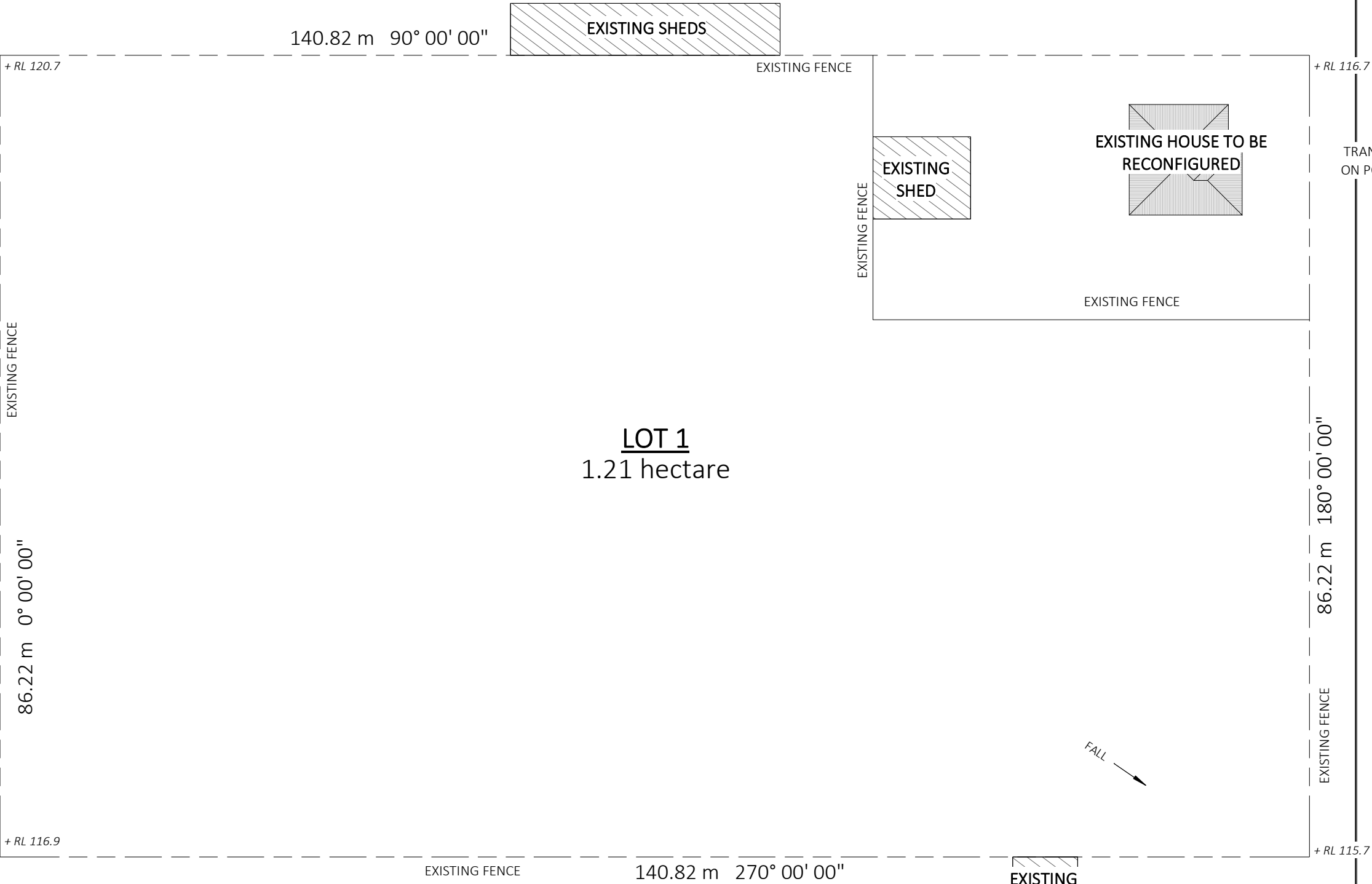
DOCUMENT SET	
SHEET NO.	DWG TITLE
01	COVER SHEET
02	EXISTING SITE CONDITIONS
03	SITE PLAN
04	FLOOR PLAN
05	ELEVATIONS NORTH & SOUTH
06	ELEVATIONS EAST & WEST
07	PERSPECTIVES



Head Office & Factory: 212-214 Karinie Street, Swan Hill VIC 3585
Phone 03 5036 0000 or 1800 008 024


Project title	PROPOSED NEW DWELLING	
Client	L ORRELL & I TRIGG	
Address	20 ROADKNIGHT STREET BIRREGURRA 3242	Project No. S - 695

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EXISTING SITE CONDITIONS

1 : 500

<div><div>Head Office & Factory: 212-214 Karinie Street, Swan Hill VIC 3585 Phone 03 5036 0000 or 1800 008 024 Lic: Vic DB-U3234, N.S.W. 8932C ABN: 64 753 985 826 © Swanbuild</div></div>	NOTE: ALL WORKS FINISHED AS PER CONTRACT DOCUMENTS			Project No. S - 695	Project: PROPOSED NEW DWELLING		Drawing title: EXISITNG SITE CONDITIONS	
	DESCRIPTION	DATE	ISSUED	© C O P Y R I G H T These drawings are subject to copyright. Reproduction in whole or part is forbidden without written consent from Swanbuild Figured dimensions take precedence over scaled dimensions DO NOT SCALE OFF DRAWING	Client: L ORRELL & I TRIGG		Client Relationship Manager Approval _____ Date _____	
					Address: 20 ROADKNIGHT STREET BIRREGURRA 3242		Builder Approval _____ Date _____	
					Scale: 1 : 500	Sheet No. 02 OF 6	Client Approval _____ Date _____	
					Drawn A R O'C	Date SEPT- 2018		

AREA	m²	SQ'S	LOCATION
LIVING AREA	169.8 m²	18.3	LIVING
LIVING TOTAL	169.8 m²	18.3	
VERANDAH AREA	120.2 m²	12.9	OUTDOOR
OUTDOOR TOTAL	120.2 m²	12.9	
TOTAL	290.1 m²	31.2	

NOTES:
DOOR HEIGHTS TO BE INCREASED TO 2340mm IN:
BEDROOM 1
BEDROOM 2
DINING TO HALLWAY

BED 2 ROBE DOORS TO BE 2340mm HIGH AND OF PAINTED TIMBER

ALL DOORWAYS AND OPENING TO HAVE A LEVEL (STEP FREE) TRANSITION AND THRESHOLD (MAXIMUM VERTICAL TOLERANCE OF 5mm BETWEEN ABUTTING SURFACED IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELLED)
REFER TO THE LIVABLE HOUSING DESIGN GUIDELINES

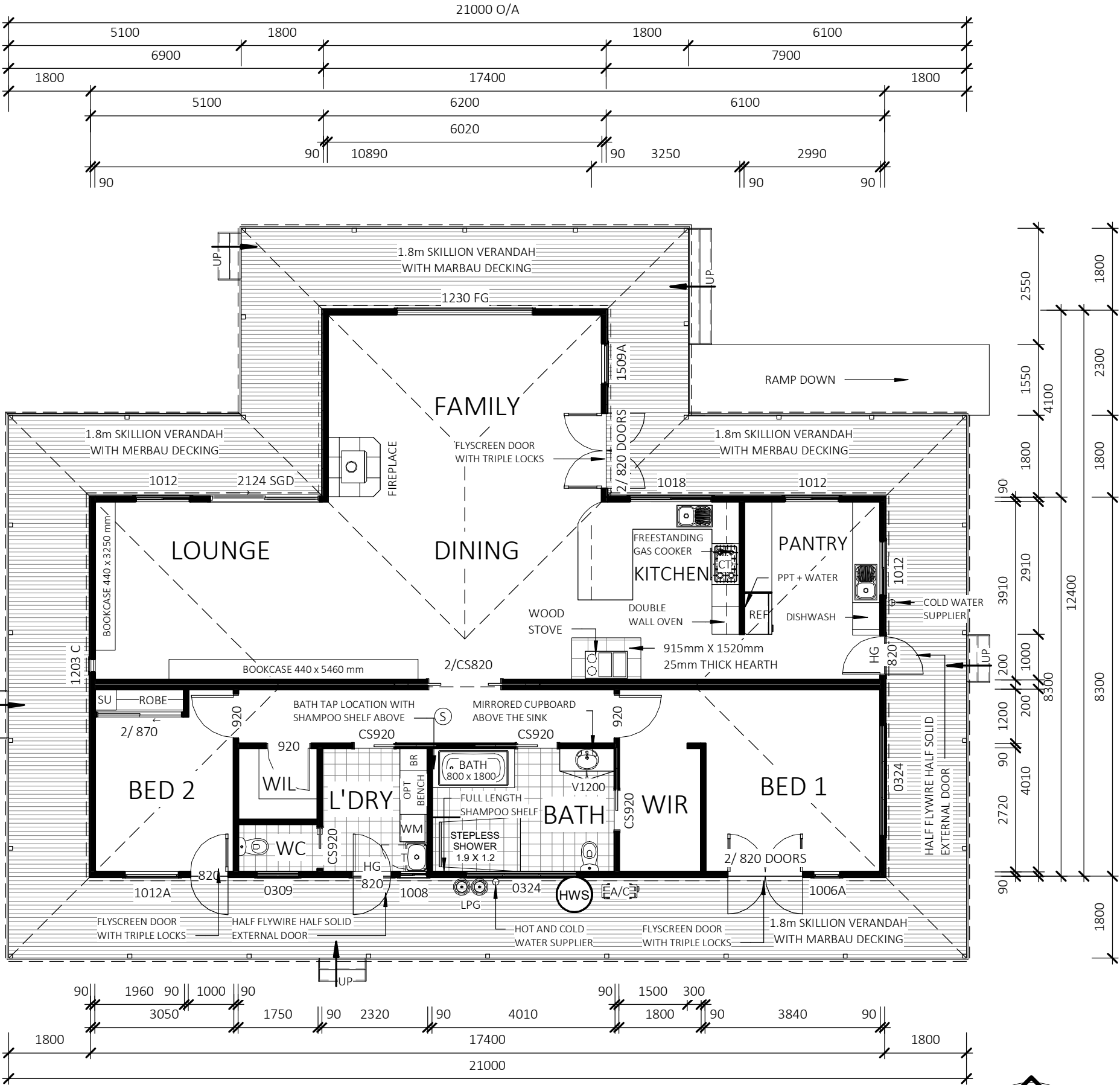
ALL TOILETS TO BE ASCENT EASY HEIGHTS TOILETS

BATHROOM
POSSIBLE REMOVAL OF SHOWER SCREEN AT A LATER DATE

WOOD STOVE TO BE A STANDLEY DONARD WOODBURNER STOVE TO BE INSTALLED BY CLIENT
915mm X 1520mm 25mm THICK HEARTH TO BE INSTALLED BY SWANBUILD

STAIRS TO COMPLY WITH BCA 3.9.1.3 & 3.9.1.4
a) RISERS (R) TO BE BETWEEN 115mm & 190mm
b) GOINGS (G) TO BE BETWEEN 240mm & 355mm
c) R2 + G BETWEEN 550mm & 700mm
d) NO OPENING ARE TO PERMIT A SPHERE WITH A MAXIMUM DIAMETER OF 125mm TO PASS THROUGH
e) A CONTINUOUS, UNOBSTRUCTED HANDRAIL LOCATED ALONG AT LEAST ONE SIDE OF ALL STAIRS THAT PROVIDE A CHANGE IN FLOOR LEVEL OF AT LEAST 1m, AT A HEIGHT OF AT LEAST 865mm ABOVE THE STAIR NOSINGS
f) STAIRS SHOULD HAVE A SLIP RESISTANCE CLASSIFICATION AS BELOW

APPLICATION	SITE CONDITION	
	DRY	WET
TREAD OR LANDING SURFACE	P3 OR R10	P4 OR R11
NOSING OR LANDING EDGE STRIP	P3	P4

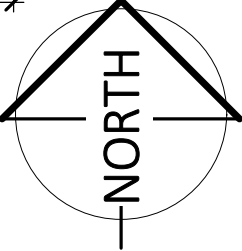


FLOOR PLAN

1 : 100

- Ⓢ SMOKE DETECTORS TO BE INTERCONNECTED & HARD WIRED TO MAINS POWER. INSTALLATION TO COMPLY WITH AS 3786
- _{DP} DOWNPIPES TO BE 80 mm

ALL GLAZING TO COMPLY WITH AS 1288 AND AS 2470
ALL WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH AS 3740



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03 5036 0000 or 1800 008 024
Lic:
Vic DB-U3234, N.S.W. 8932C
ABN:
64 753 985 826
© **Swanbuild**

PROPOSED NEW DWELLING

Project title
L ORRELL & I TRIGG
Client
**20 ROADKNIGHT STREET
BIRREGURRA 3242**
Address

FLOOR PLAN

Drawing title
Project No. **S - 695**
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Drawn **A R O'C** Sheet No. **04 OF 6**
Scale: **1 : 100** Date **SEPT- 2018**

Client Relationship Manager Approval Date

Builder Approval Date

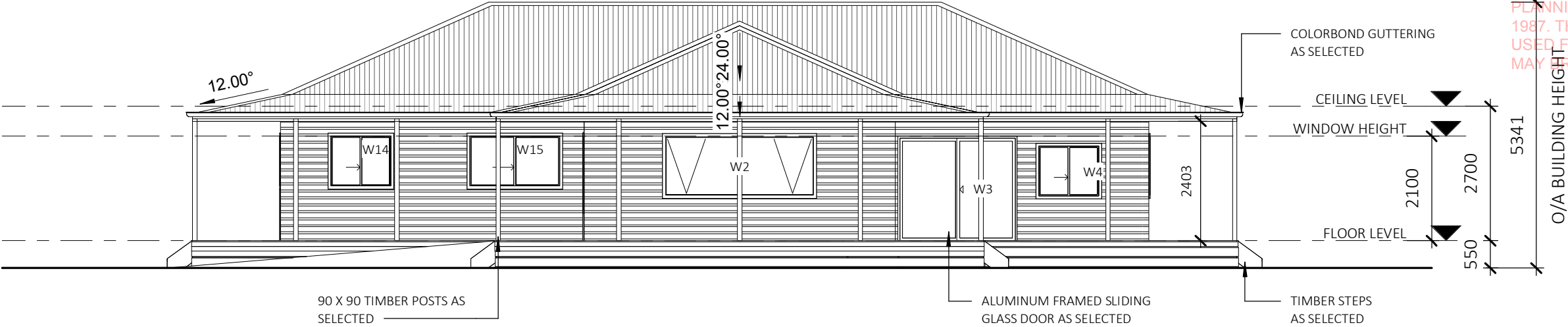
Client Approval Date

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Revisions

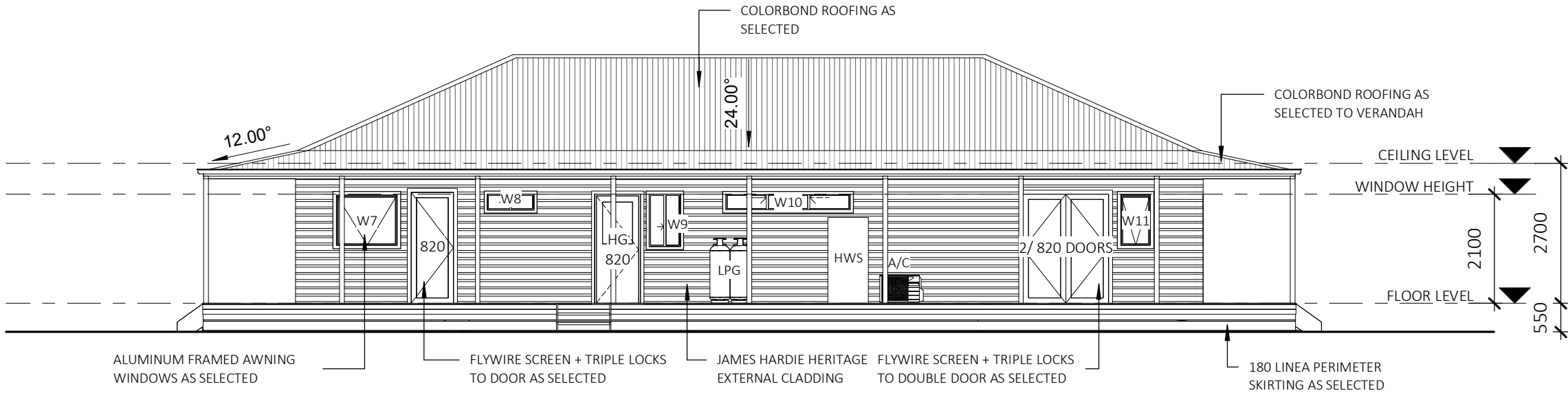
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NORTH

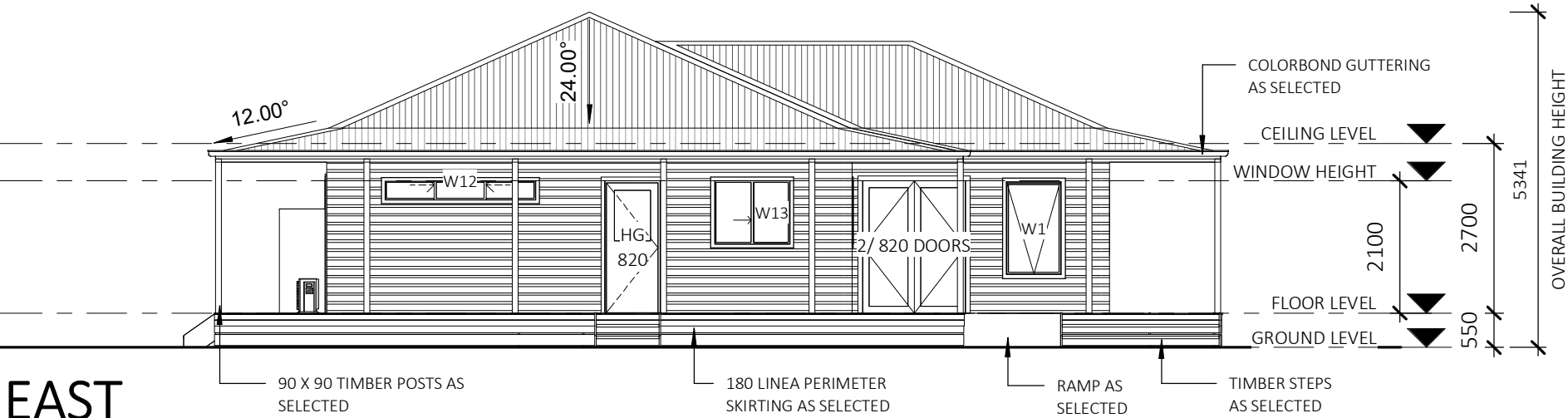
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SOUTH

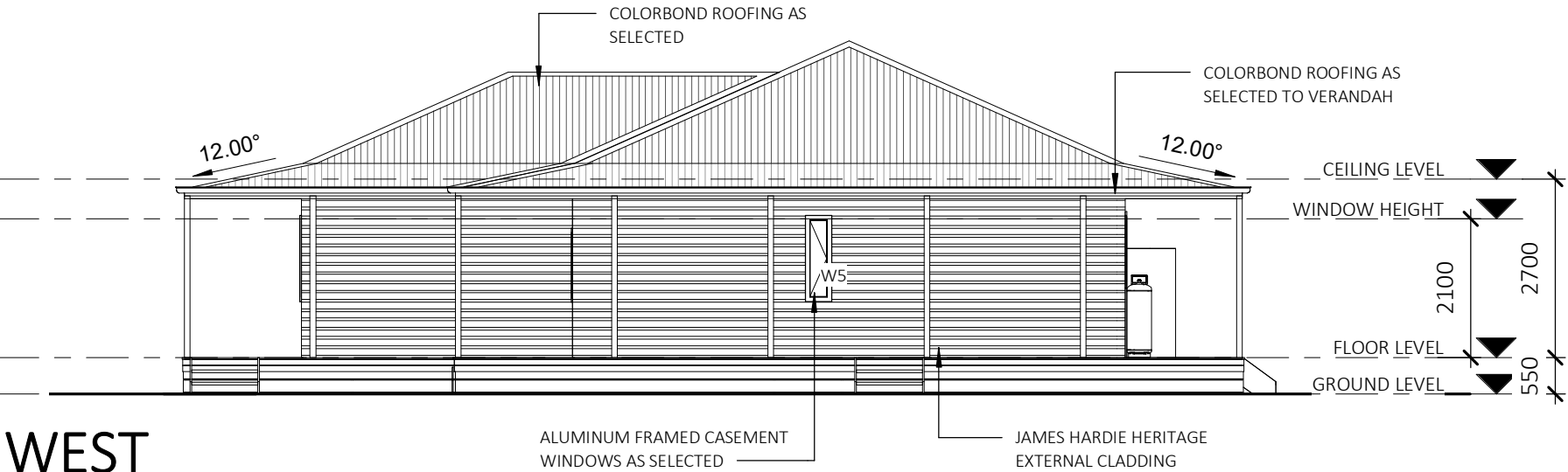
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	DESCRIPTION	DATE	ISSUED		Client: L ORRELL & I TRIGG		Client Relationship Manager Approval _____ Date _____	
					Address: 20 ROADKNIGHT STREET BIRREGURRA 3242		Builder Approval _____ Date _____	
					Scale: 1 : 100	Sheet No. 05 OF 6	Client Approval _____ Date _____	
					Drawn A R O'C	Date SEPT- 2018		



EAST

1 : 100




WEST

1 : 100

WINDOW SCHEDULE						
MARK	DESCRIPTION	HEIGHT	WIDTH	TYPE COMMENTS	GLAZING	LOCATION
W1	1509A	1500	900	AWNING WINDOW	DOUBLE CLEAR	FAMILY
W2	1230 FG	1200	3000	FIXED WINDOW	DOUBLE CLEAR	FAMILY
W3	2124 SGD	2100	2400	SLIDING GLASS DOOR	DOUBLE CLEAR	LOUNGE
W4	1012	1000	1200	SLIDING WINDOW	DOUBLE CLEAR	LOUNGE
W5	1203 C	1200	300	CASEMENT WINDOW	DOUBLE CLEAR	LOUNGE
W7	1012A	1000	1200	AWNING WINDOW	DOUBLE CLEAR	BED 2
W8	0309	300	900	SLIDING WINDOW	SINGLE OBSCURE	WC
W9	1008	1000	600	SLIDING WINDOW	SINGLE CLEAR	L'DRY
W10	0324	300	2400	SLIDING WINDOW	SINGLE OBSCURE	BATH
W11	1006A	1000	600	AWNING WINDOW	DOUBLE CLEAR	BED 1
W12	0324	300	2400	SLIDING WINDOW	DOUBLE CLEAR	BED 1
W13	1012	1000	1200	SLIDING WINDOW	DOUBLE CLEAR	PANTRY
W14	1012	1000	1200	SLIDING WINDOW	DOUBLE CLEAR	PANTRY
W15	1018	1000	1800	SLIDING WINDOW	DOUBLE CLEAR	KITCHEN

WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.



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Client: **L ORRELL & I TRIGG**

Address: **20 ROADKNIGHT STREET
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Scale: **1 : 100**

Drawn **A R O'C**

Sheet No. **06 OF 6**

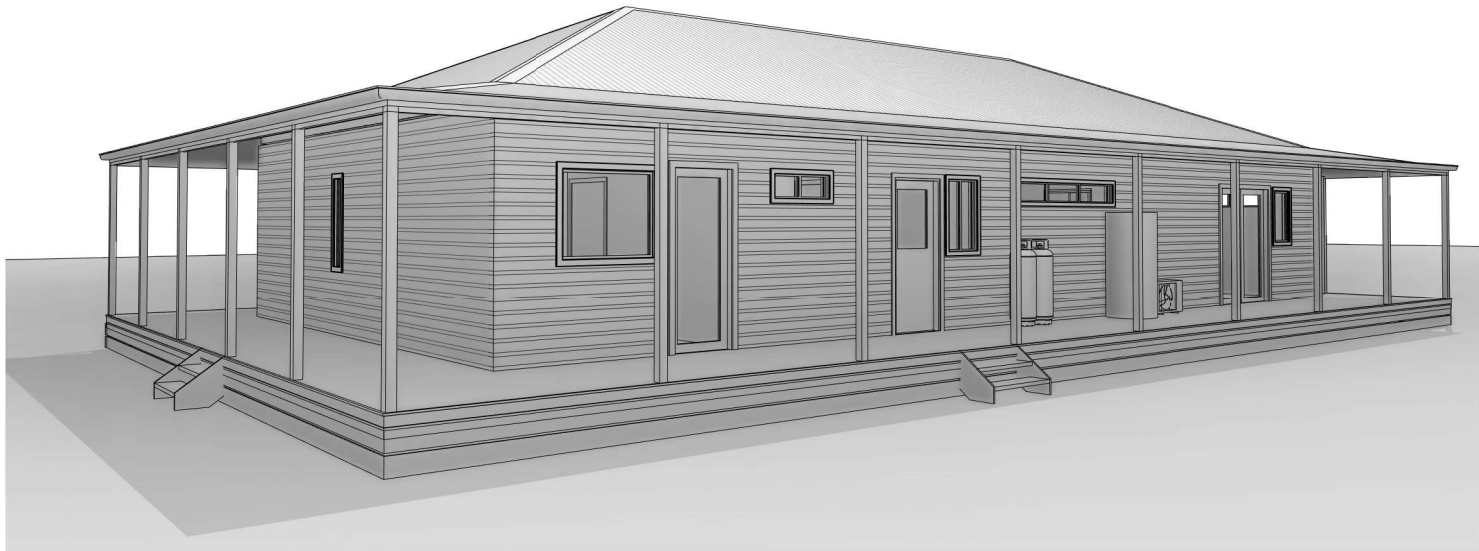
Date **SEPT- 2018**

Drawing title: **ELEVATIONS EAST & WEST**

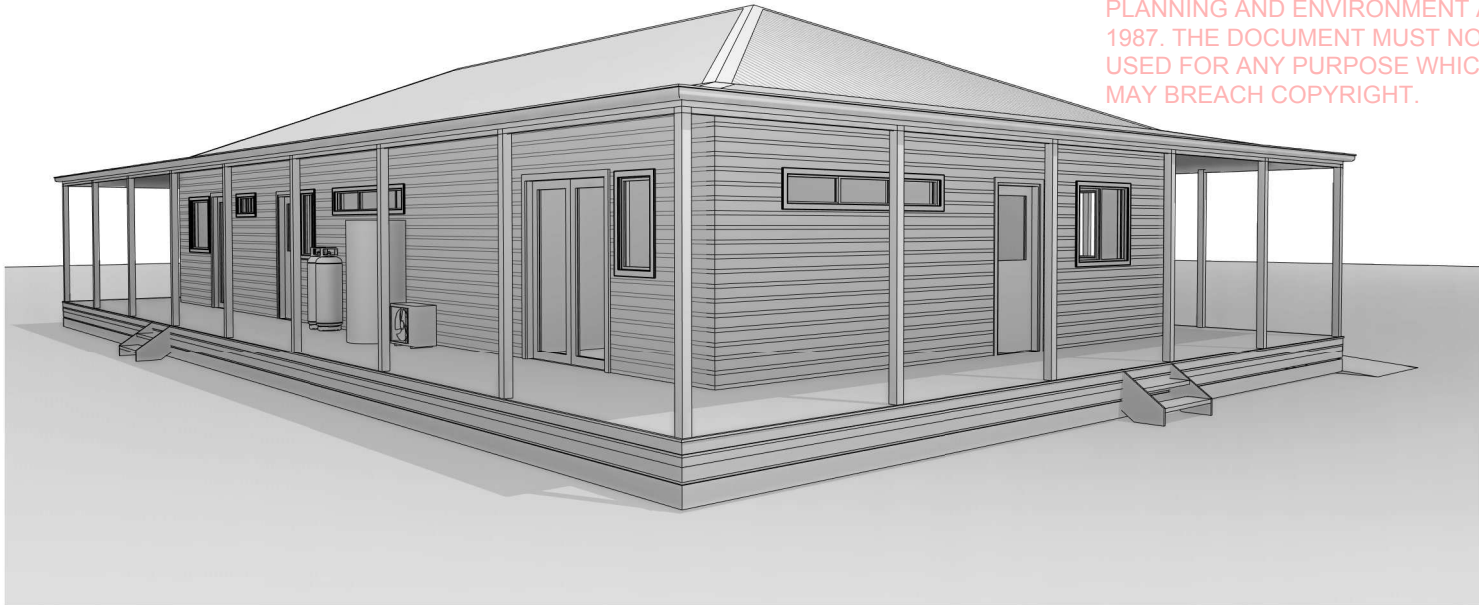
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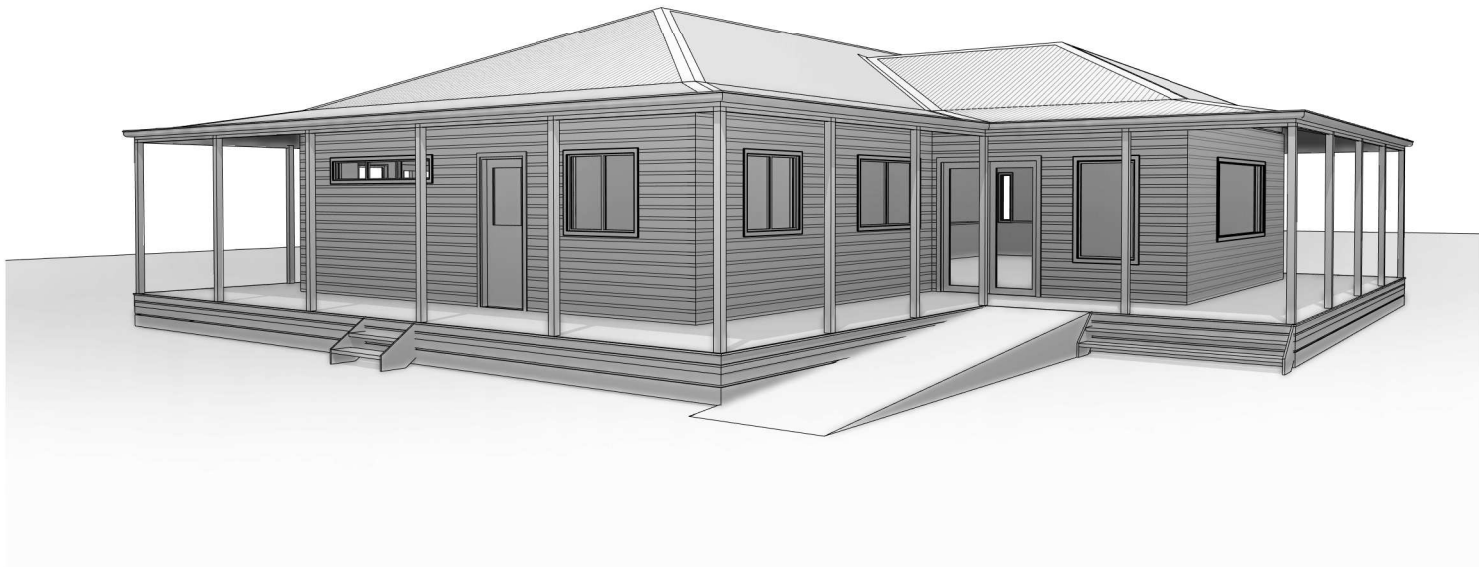
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3D VIEW 1




3D VIEW 2



3D VIEW 3

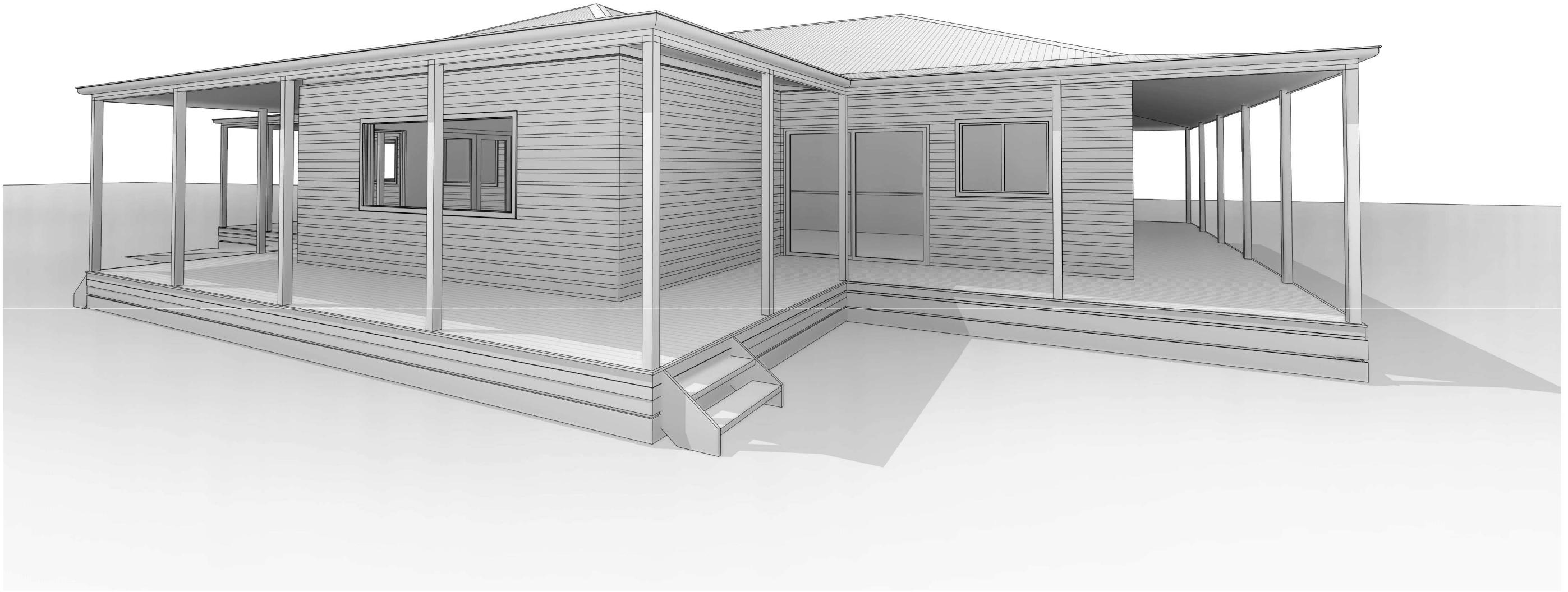


3D VIEW 4

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						Drawn A R O'C	Date SEPT- 2018		

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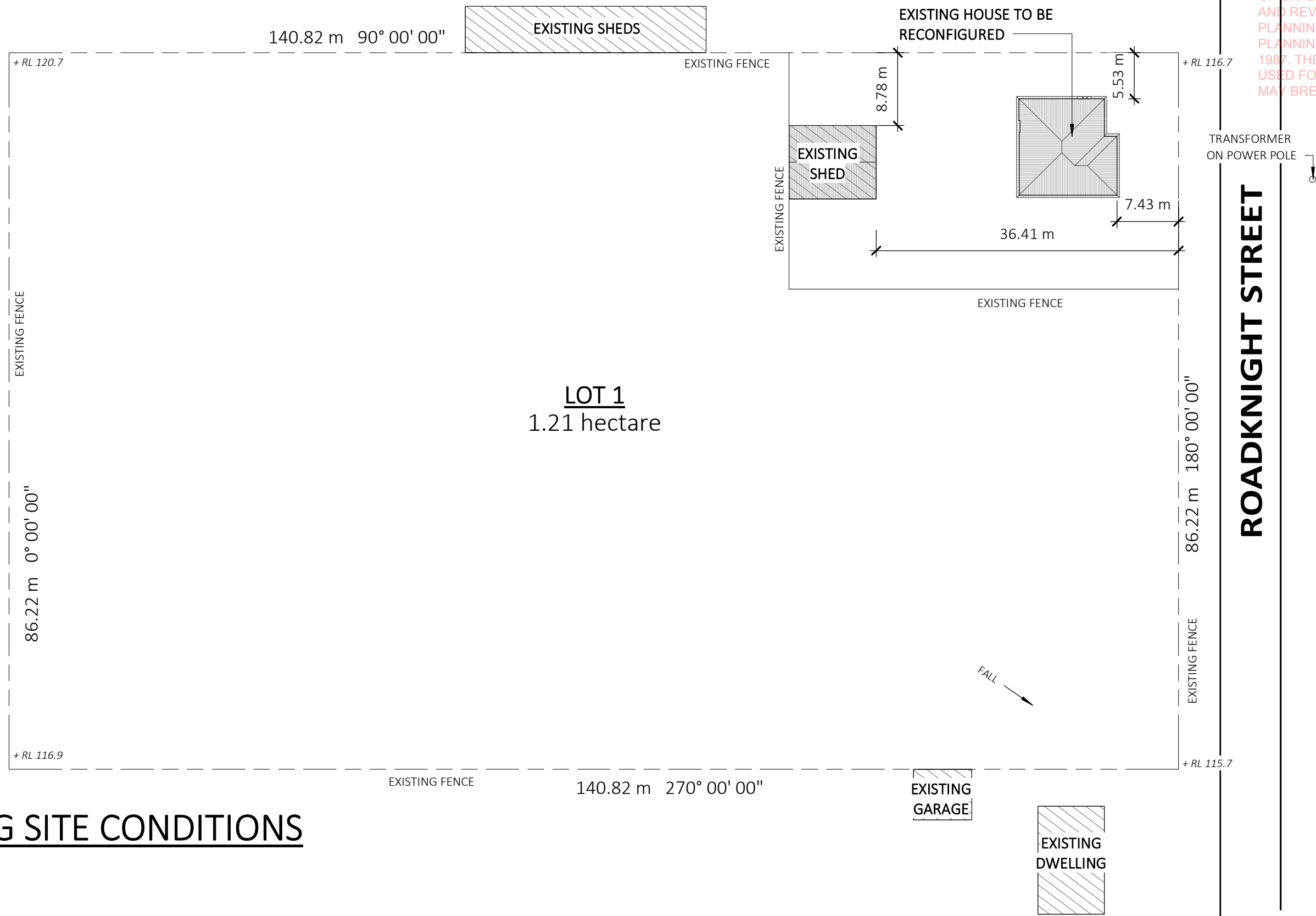
DOCUMENT SET	
SHEET NO.	DWG TITLE
01	COVER SHEET
02	EXISTING SITE CONDITIONS
03	SITE PLAN
04	FLOOR PLAN
05	ELEVATIONS NORTH & SOUTH
06	ELEVATIONS EAST & WEST
07	PERSPECTIVES
08	EXISTING HOUSE DETAILS



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Project title PROPOSED NEW DWELLING			Revision		Current Revision:
Client L ORRELL & I TRIGG			DESCRIPTION	DATE	ISSUED
Address 20 ROADKNIGHT STREET BIRREGURRA 3242		Project No. S - 695			
Client Approval		CUSTOM DESIGN			

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EXISTING SITE CONDITIONS

1 : 500

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					Series: CUSTOM DESIGN		Client: L ORRELL & I TRIGG	
		Scale: 1 : 500		Client Manager: TRAVIS HALL		Address: 20 ROADKNIGHT STREET BIRREGURRA 3242		
		Drawn A R O'C		Project Manager:				
		Checked By: -			Revision:		26/03/2019 12:44:08 PM	
		Approved By: -			Project No. S - 695		Sheet No. 02 OF 08	

STORMWATER

90 mm Ø CLASS 6 UPVC STORM WATER LINE LAID TO A MINIMUM OF 1:100 AND CONNECTED TO THE LEGAL POINT OF DISCHARGE TO LOCAL AUTHORITIES REQUIREMENTS. PROVIDE INSPECTION OPENINGS AT 9000mm CTS AND AT EACH CHANGE OF DIRECTION. THE COVER TO UNDER GROUND STORMWATER DRAINS SHALL BE NOT LESS THAN:

- 100mm UNDER SOIL
- 50mm UNDER PAVED OR CONCRETE AREAS
- 100mm UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
- 75mm UNDER REINFORCED CONCRETE DRIVEWAYS

STORMWATER DRAINAGE TO COMPLY WITH AS/NZS 3500.3. LAYOUT SHOWN IS DIAGRAMATIC ONLY. BUILDER OR PLUMBER TO MODIFY LAYOUT PROVIDING DRAINAGE COMPLIES WITH AUSTRALIAN STANDARDS AND LOCAL AUTHORITIES REQUIREMENTS.

ENERGY RATING REQUIREMENTS:

UNLESS PERMITTED OTHERWISE, CLASS ONE BUILDINGS SHALL REACH A 6 STAR ENERGY RATING. 6 STAR RATED DESIGNS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED APPROVED PLANS AS PROVIDED BY THE ACCREDITED ENERGY RATER WITHOUT ALTERATION.

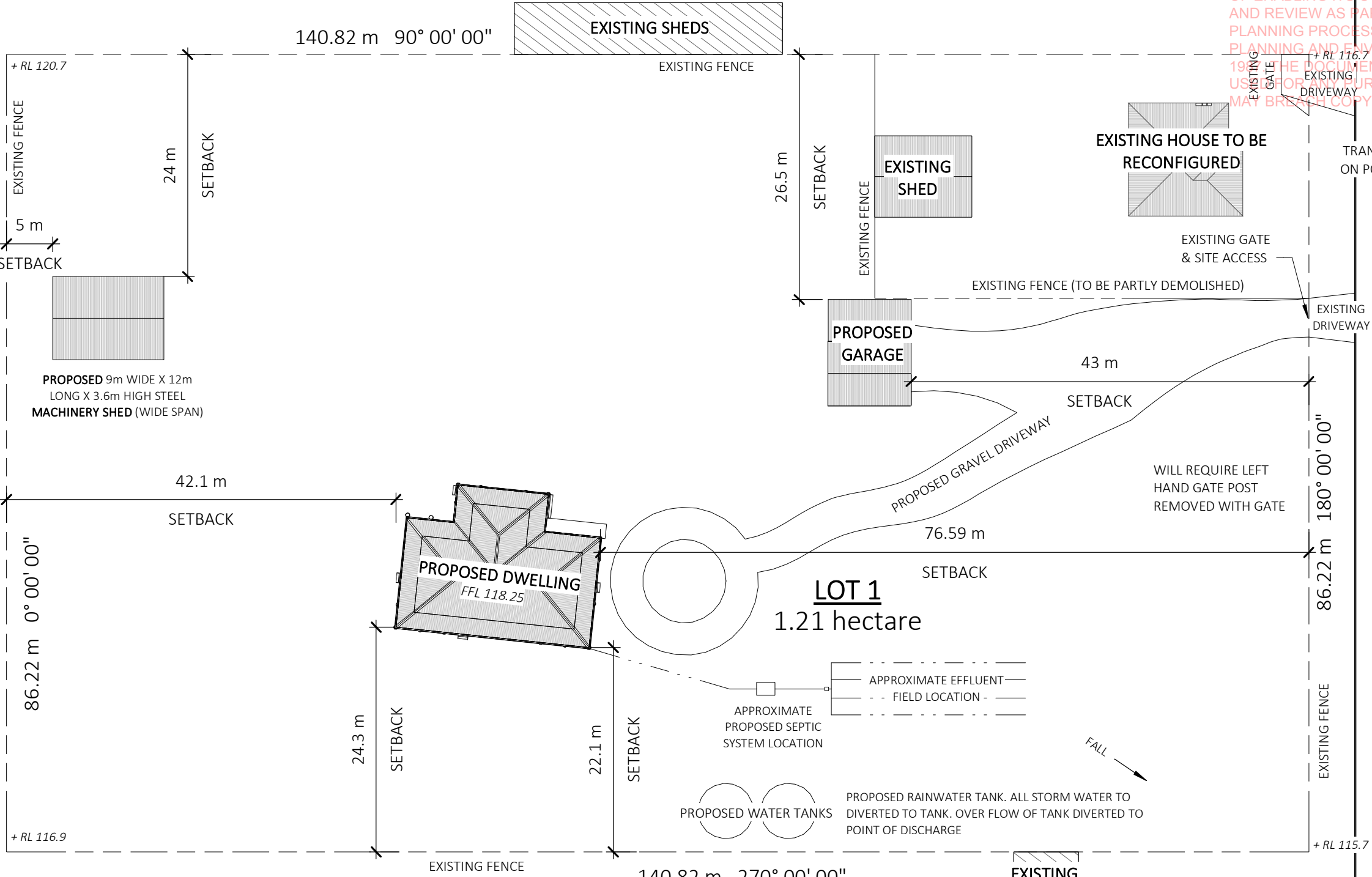
IN ORDER TO ACHIEVE A 6 STAR RATING, BUILDER IS TO:

- PROVIDE R2.0 INSULATION TO EXTERNAL WALLS.
- PROVIDE R4.0 INSULATION TO CEILINGS.
- WEATHERSTRIP EXTERNAL DOORS.
- SEAL GAPS & CRACKS
- EXHAUST FANS TO BE FITTED WITH "DRAFT STOPPA" OR APPROVED SIMILAR SEALING DEVICE.
- WINDOW SIZE, OPERATION, GLAZING TYPE AND MANUFACTURER (IF SPECIFIED) TO BE AS PER WINDOW SCHEDULE. ALL WINDOWS TO BE FITTED WITH WEATHER SEALS TO OPENABLE WINDOW SASHES.
- A MINIMUM 2000 LITRE RAINWATER TANK FILLED FROM A ROOF AREA NO LESS THAN 50m² CONNECTED TO WC'S FOR FLUSHING **OR** AN APPROVED SOLAR OR HEAT PUMP HOT WATER SERVICE TO BE PROVIDED

GAPS & CRACKS:

BUILDER TO PROVIDE A CONTINUOUS IMPERMEABLE BARRIER WITH THE DOUBLE SIDED SISALATION FOIL. PAY PARTICULAR ATTENTION TO:

- 1) TAPING JOINS AND AROUND PENETRATIONS (SUCH AS PLUMBING SERVICES).
- 2) ENSURE THAT THE MATERIAL COVERS THE GAP BETWEEN STUDS AND DOOR AND WINDOW FRAMES. IF FLASHING ATTACHES TO WINDOW FRAMES, FLASHING SHOULD BE TAPED OVER SISALATION FOIL.



SETOUT NOTE:

BUILDER TO ENSURE AT SETOUT STAGE THAT ALL DIMENSIONS (SPECIFICALLY SETBACKS FROM BOUNDARIES) ARE CORRECT PRIOR TO EXCAVATION AND ORDERING OF MATERIALS. REPORT ANY DISCREPENCIES TO SWANBUILD IMMEDIATELY



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Scale: **1 : 500**

Client Manager: **TRAVIS HALL**

Drawn **A R O'C**

Project Manager:

Checked By: **-**

Approved By: **-**

Drawing: **SITE PLAN**

Client: **L ORRELL & I TRIGG**

Address: **20 ROADKNIGHT STREET
BIRREGURRA 3242**

Revision: **26/03/2019 12:44:09 PM**

Project No. **S - 695** Sheet No. **03 OF 08**

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ROADKNIGHT STREET

APPROX 78 M TO NEAREST CORNER ROAD
KETTLE LANE

PLANNING DRAWINGS (NOT FOR CONSTRUCTION)

BIM 360://Trigg | & Orrell/L ORRELL & I TRIGG.rvt

AREA	m²	SQ'S	LOCATION
LIVING AREA	169.8 m²	18.3	LIVING
LIVING TOTAL	169.8 m²	18.3	
VERANDAH AREA	120.2 m²	12.9	OUTDOOR
OUTDOOR TOTAL	120.2 m²	12.9	
TOTAL	290.1 m²	31.2	

NOTES:
DOOR HEIGHTS TO BE INCREASED TO 2340mm IN:
BEDROOM 1
BEDROOM 2
DINING TO HALLWAY

BED 2 ROBE DOORS TO BE 2340mm HIGH AND OF PAINTED TIMBER

ALL DOORWAYS AND OPENING TO HAVE A LEVEL (STEP FREE) TRANSITION AND THRESHOLD (MAXIMUM VERTICAL TOLERANCE OF 5mm BETWEEN ABUTTING SURFACED IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELLED)
REFER TO THE LIVABLE HOUSING DESIGN GUIDELINES

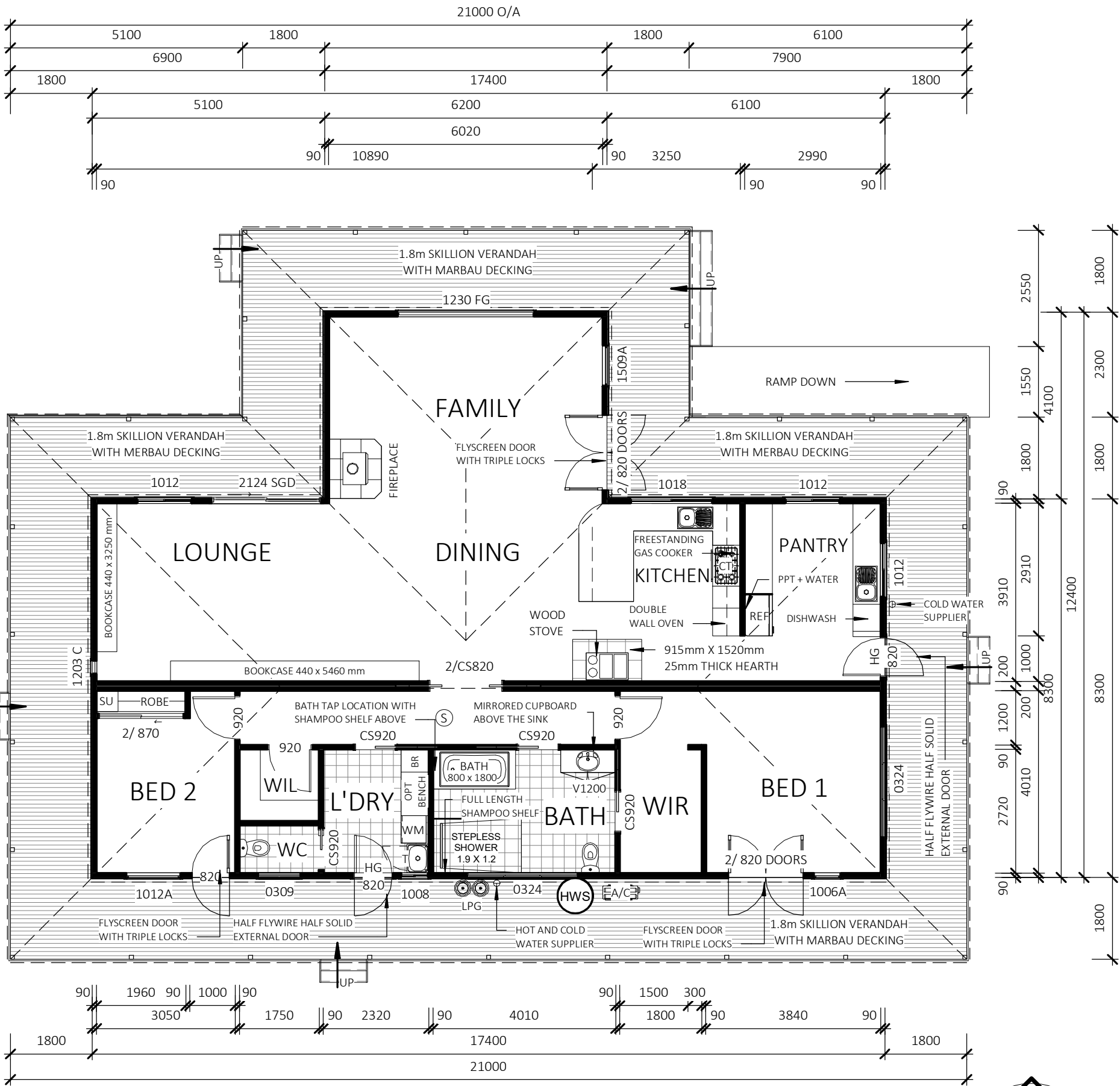
ALL TOILETS TO BE ASCENT EASY HEIGHTS TOILETS

BATHROOM
POSSIBLE REMOVAL OF SHOWER SCREEN AT A LATER DATE

WOOD STOVE TO BE A STANDLEY DONARD WOODBURNER STOVE TO BE INSTALLED BY CLIENT
915mm X 1520mm 25mm THICK HEARTH TO BE INSTALLED BY SWANBUILD

STAIRS TO COMPLY WITH BCA 3.9.1.3 & 3.9.1.4
a) RISERS (R) TO BE BETWEEN 115mm & 190mm
b) GOINGS (G) TO BE BETWEEN 240mm & 355mm
c) R2 + G BETWEEN 550mm & 700mm
d) NO OPENING ARE TO PERMIT A SPHERE WITH A MAXIMUM DIAMETER OF 125mm TO PASS THROUGH
e) A CONTINUOUS, UNOBSTRUCTED HANDRAIL LOCATED ALONG AT LEAST ONE SIDE OF ALL STAIRS THAT PROVIDE A CHANGE IN FLOOR LEVEL OF AT LEAST 1m, AT A HEIGHT OF AT LEAST 865mm ABOVE THE STAIR NOSINGS
f) STAIRS SHOULD HAVE A SLIP RESISTANCE CLASSIFICATION AS BELOW

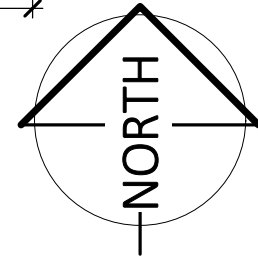
APPLICATION	SITE CONDITION	
	DRY	WET
TREAD OR LANDING SURFACE	P3 OR R10	P4 OR R11
NOSING OR LANDING EDGE STRIP	P3	P4



FLOOR PLAN
1 : 100

- Ⓢ SMOKE DETECTORS TO BE INTERCONNECTED & HARD WIRED TO MAINS POWER. INSTALLATION TO COMPLY WITH AS 3786
- _{DP} DOWNPIPES TO BE 80 mm

ALL GLAZING TO COMPLY WITH AS 1288 AND AS 2470
ALL WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH AS 3740



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PROPOSED NEW DWELLING

Project title

CUSTOM DESIGN

Series:

L ORRELL & I TRIGG

Client

**20 ROADKNIGHT STREET
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Address

FLOOR PLAN

Drawing title

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Project Manager:

Revision: Drawn **A R O'C**

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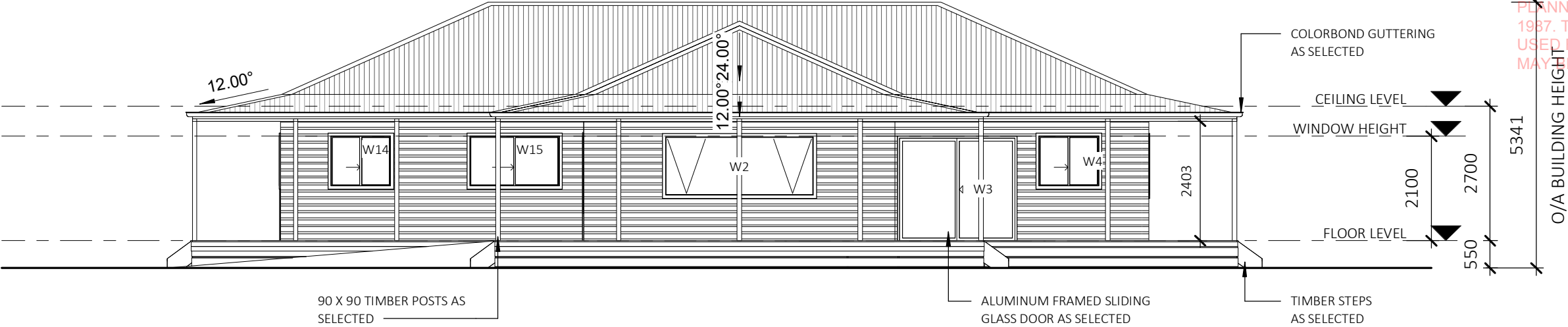
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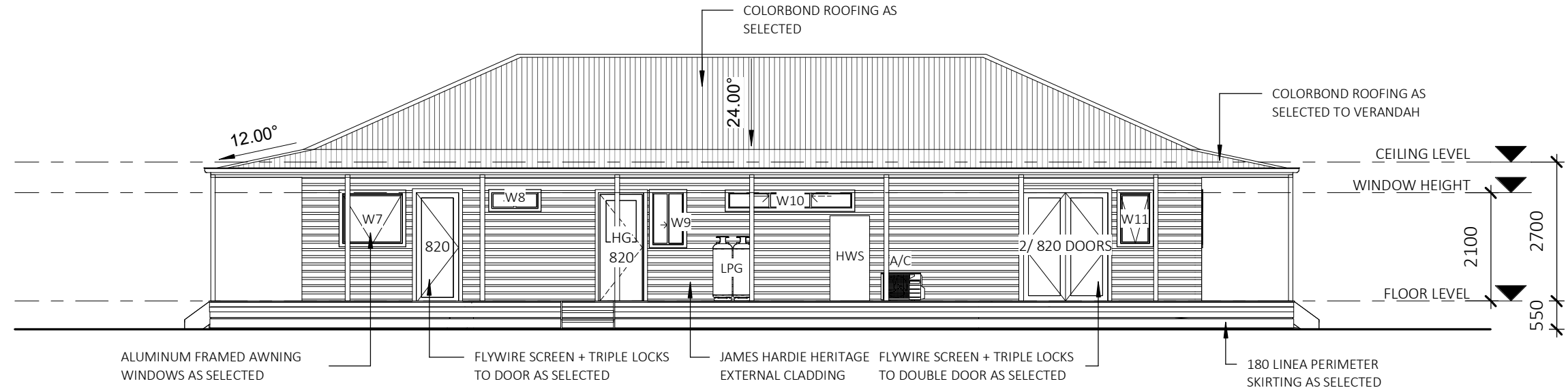
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NORTH

1 : 100



SOUTH

1 : 100

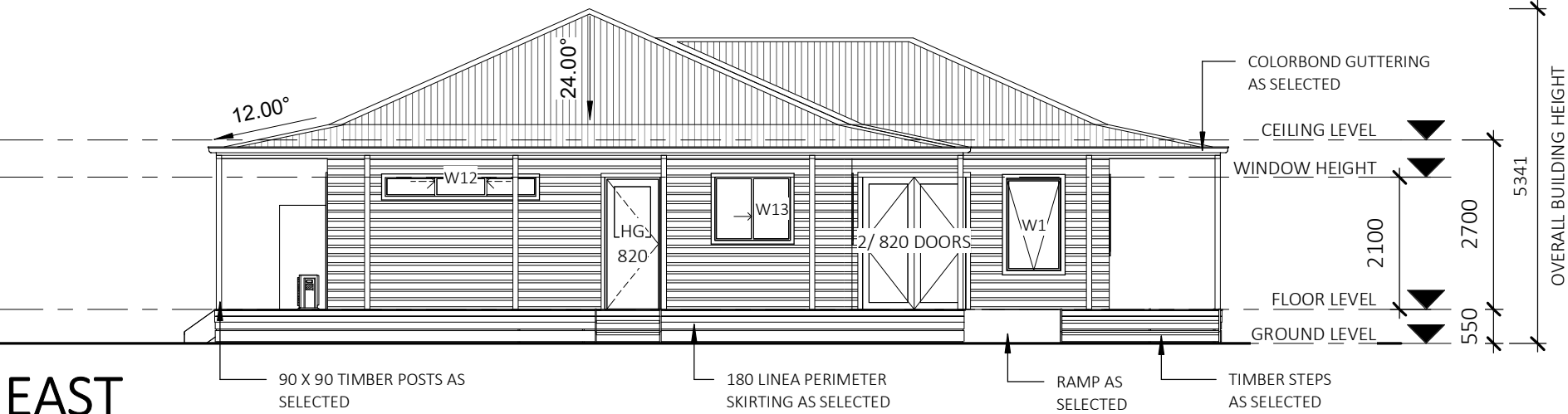


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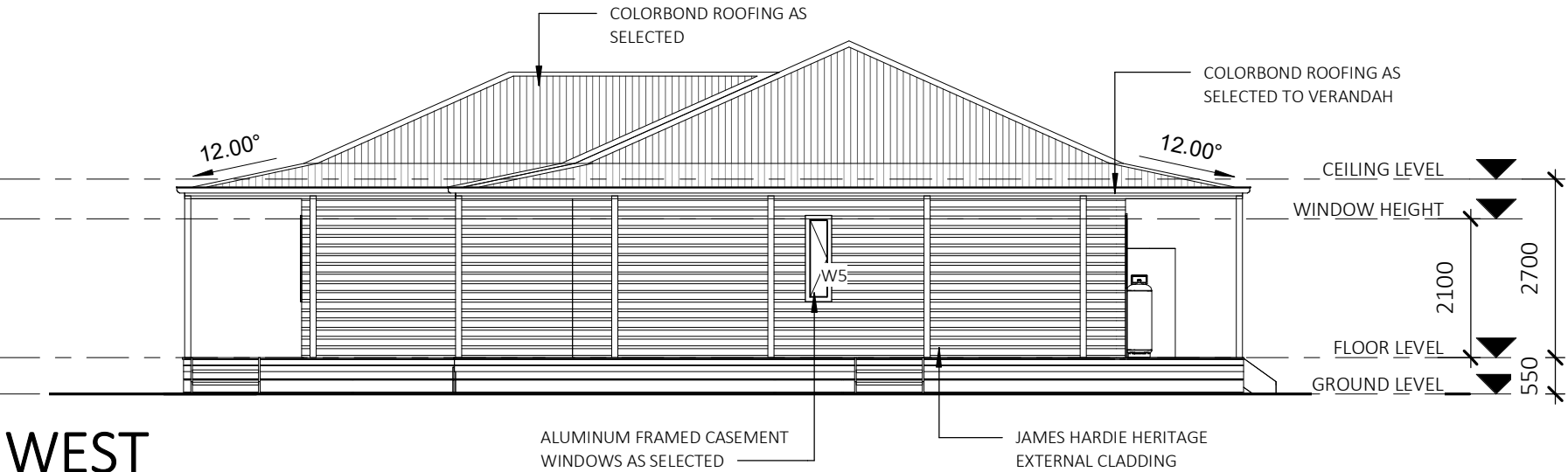
DESCRIPTION	DATE	ISSUED

Project: PROPOSED NEW DWELLING		Drawing: ELEVATIONS NORTH & SOUTH	
Series: CUSTOM DESIGN		Client: L ORRELL & I TRIGG	
Scale: 1 : 100	Client Manager: TRAVIS HALL	Address: 20 ROADKNIGHT STREET BIRREGURRA 3242	
Drawn A R O'C	Project Manager:		
Checked By: -		Revision:	26/03/2019 12:44:10 PM
Approved By: -		Project No. S - 695	Sheet No. 05 OF 08



EAST

1 : 100



WEST

1 : 100

WINDOW SCHEDULE						
MARK	DESCRIPTION	HEIGHT	WIDTH	TYPE COMMENTS	GLAZING	LOCATION
W1	1509A	1500	900	AWNING WINDOW	DOUBLE CLEAR	FAMILY
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W9	1008	1000	600	SLIDING WINDOW	SINGLE CLEAR	L'DRY
W10	0324	300	2400	SLIDING WINDOW	SINGLE OBSCURE	BATH
W11	1006A	1000	600	AWNING WINDOW	DOUBLE CLEAR	BED 1
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W13	1012	1000	1200	SLIDING WINDOW	DOUBLE CLEAR	PANTRY
W14	1012	1000	1200	SLIDING WINDOW	DOUBLE CLEAR	PANTRY
W15	1018	1000	1800	SLIDING WINDOW	DOUBLE CLEAR	KITCHEN

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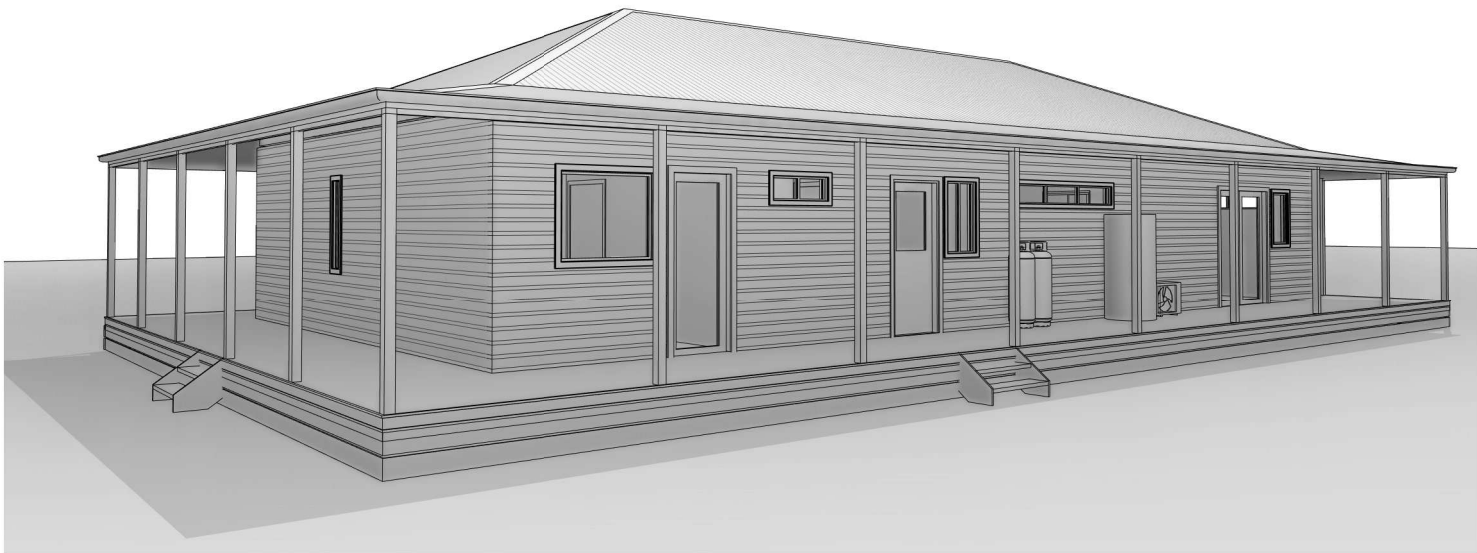


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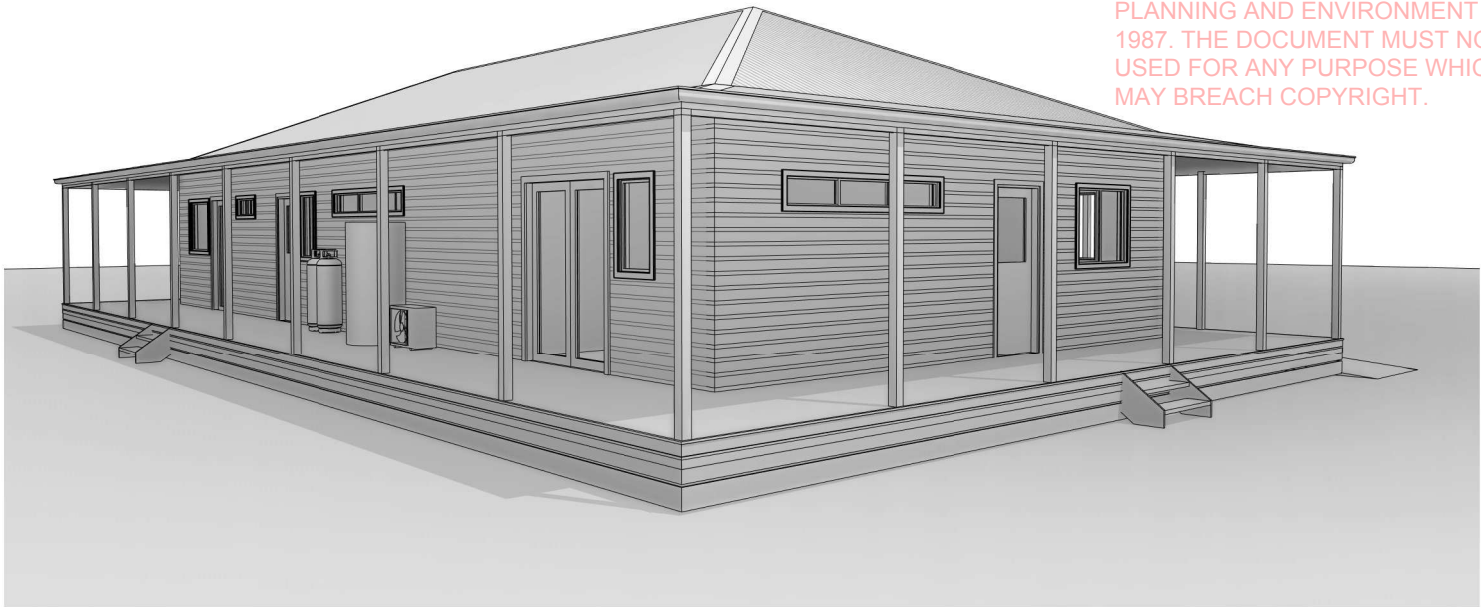
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Project: PROPOSED NEW DWELLING		Drawing: ELEVATIONS EAST & WEST	
Series: CUSTOM DESIGN		Client: L ORRELL & I TRIGG	
Scale: 1 : 100	Client Manager: TRAVIS HALL	Address: 20 ROADKNIGHT STREET BIRREGURRA 3242	
Drawn A R O'C	Project Manager:		
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3D VIEW 1



3D VIEW 2



3D VIEW 3



3D VIEW 4

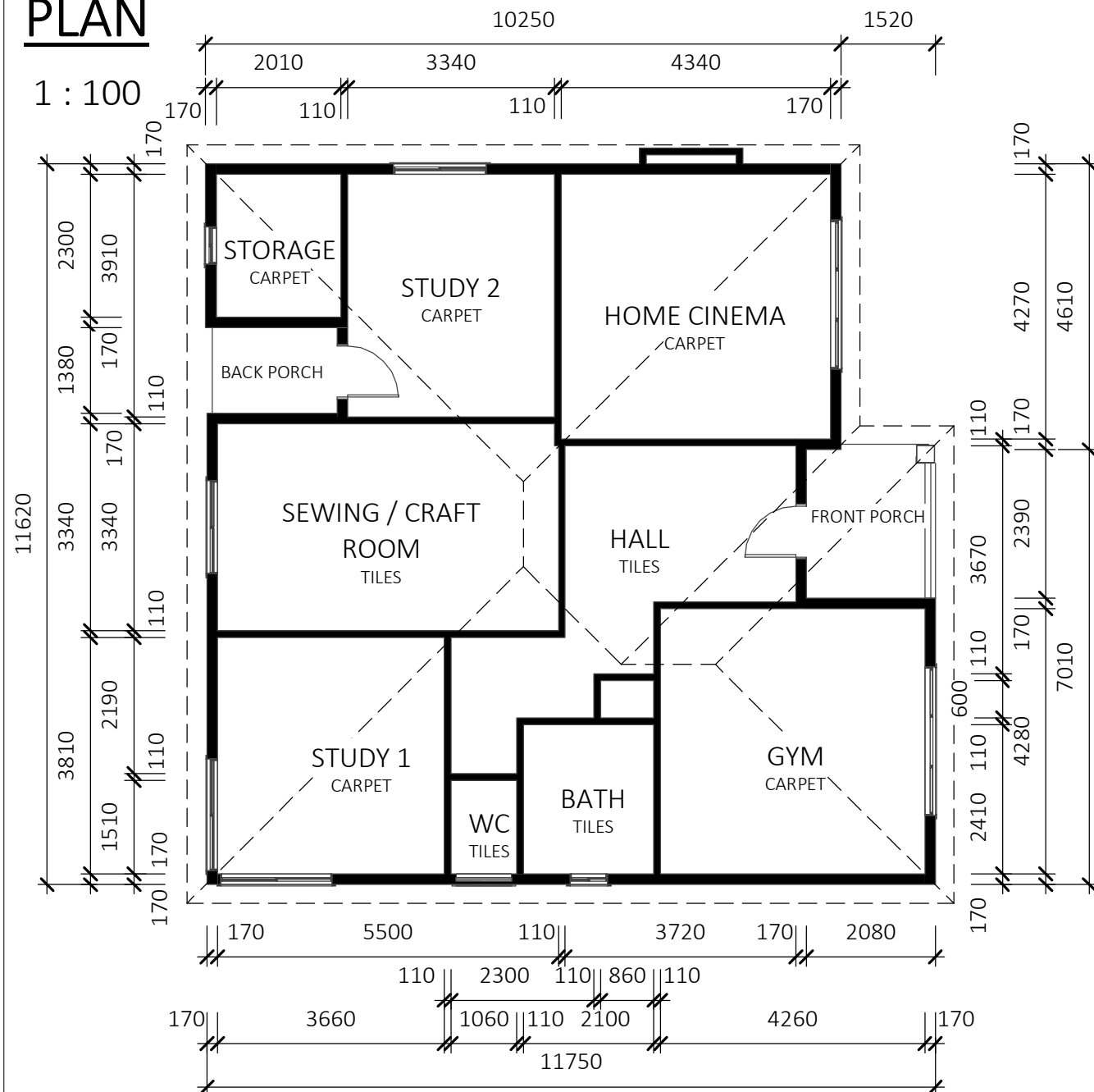


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			Series: CUSTOM DESIGN		Client: L ORRELL & I TRIGG	
			Scale:	Client Manager: TRAVIS HALL	Address: 20 ROADKNIGHT STREET BIRREGURRA 3242	
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			Approved By: -		Project No. S - 695	Sheet No. 07 OF 08

EXISTING HOUSE FLOOR PLAN



EXISTING DWELLING TO BE RECONFIGURED IN ART STUDIO FOR PRIVATE USE PURPOSE.
EXISTING KITCHEN TO BE DECOMISSIONED AND RECONFIGURED IN SEWING AND CRAFT ROOM
EXISTING LOUNGE --> PROPOSED HOME CINEMA
EXISTING MASTER BEDROOM --> PROPOSED GYM
EXISTING SECOND BEDROOM --> PROPOSED STUDY 1
EXISTING DINING ROOM --> PROPOSED STUDY 2
EXISTING LAUNDRY --> PROPOSED STORAGE
EXISTING HALL --> TO BE RETAINED
EXISTING BATH --> TO BE RETAINED
EXISTING WC --> TO BE RETAINED
EXISTING FRONT PORCH --> TO BE RETAINED
EXISTING BACK PORCH --> TO BE RETAINED



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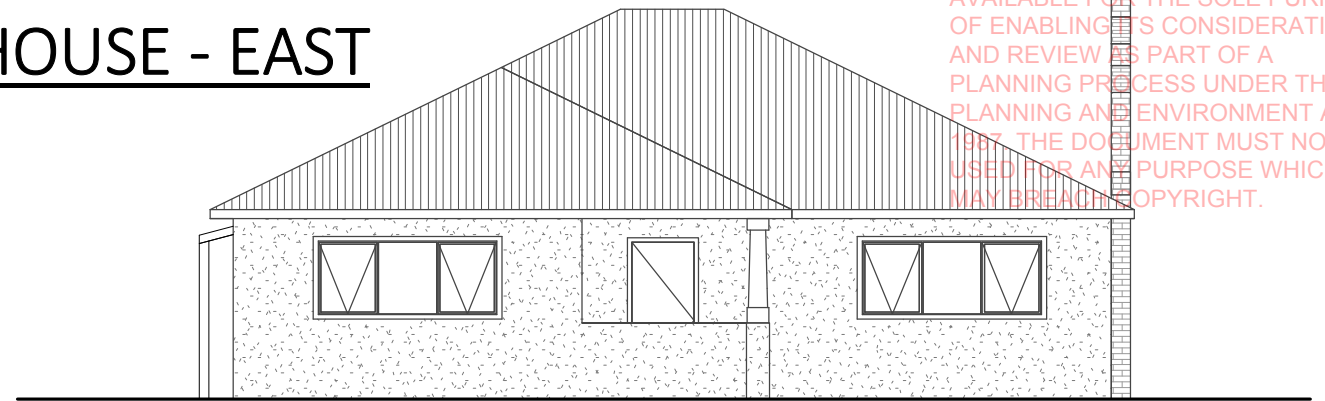
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	DESCRIPTION	DATE	ISSUED

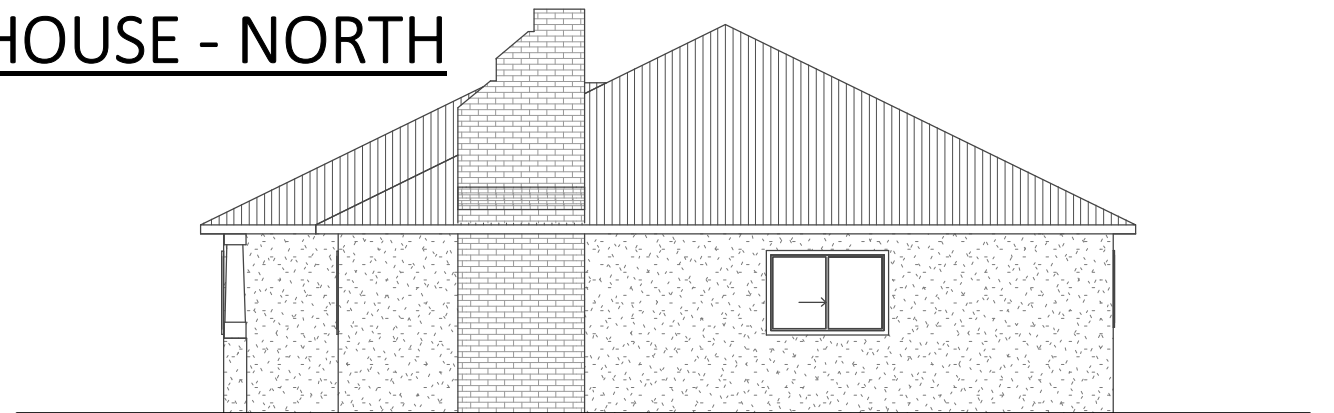
EXISTING HOUSE - EAST

1 : 100



EXISTING HOUSE - NORTH

1 : 100



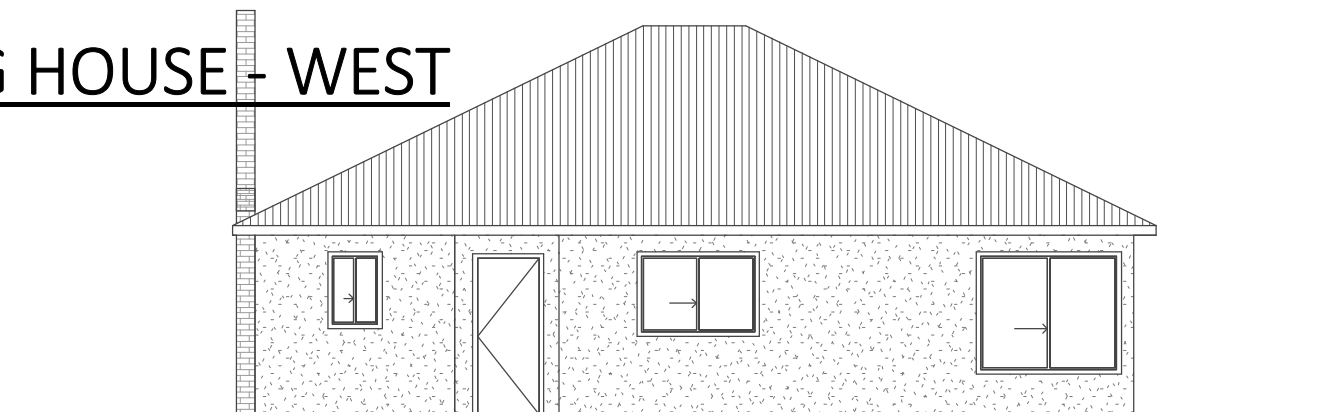
EXISTING HOUSE - SOUTH

1 : 100



EXISTING HOUSE - WEST

1 : 100



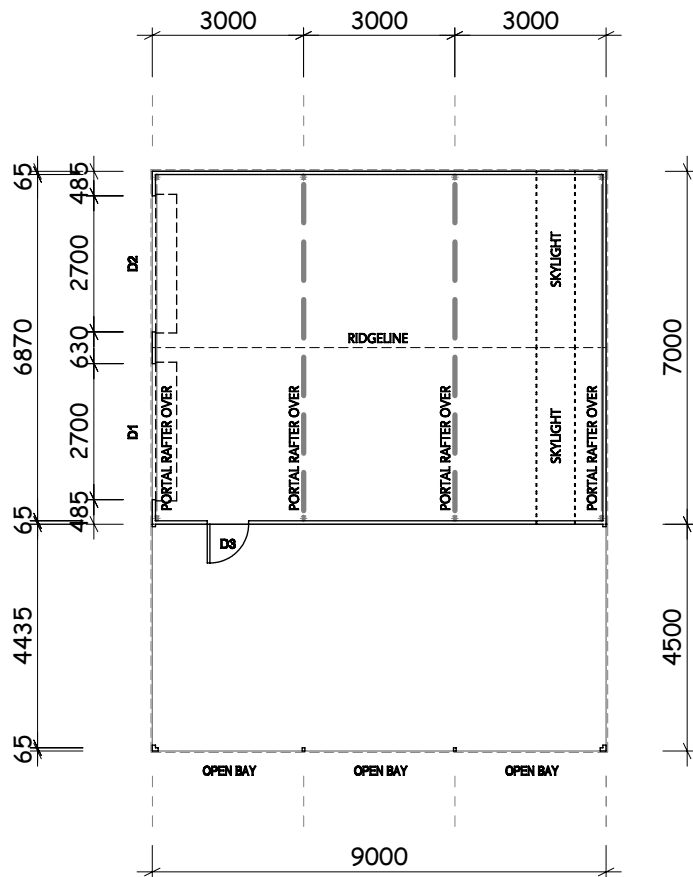
Project: PROPOSED NEW DWELLING		Drawing: EXISTING HOUSE DETAILS	
Series: CUSTOM DESIGN		Client: L ORRELL & I TRIGG	
Scale: 1 : 100	Client Manager: TRAVIS HALL	Address: 20 ROADKNIGHT STREET BIRREGURRA 3242	
Drawn A R O'C	Project Manager:		
Checked By: -		Revision:	26/03/2019 12:44:14 PM
Approved By: -		Project No. S - 695	Sheet No. 08 OF 08

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PLANNING DRAWINGS (NOT FOR CONSTRUCTION)

BIM 360:// | Rigg | & Orrell L/L ORRELL & | RIGG.rvt

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FLOORPLAN
SCALE 1:150



VIEW LEGEND

DOOR SCHEDULE				
MARK	TYPE	HEIGHT	WIDTH	DESCRIPTION
D1	ROLLER DOOR	2500	2700	COLORBOND® STRAMIT RAD - A ROLLER DOOR
D2	ROLLER DOOR	2500	2700	COLORBOND® STRAMIT RAD - A ROLLER DOOR
D3	PA DOOR	2040	820	COLORBOND® PERSONAL ACCESS DOOR

Sidach Sheds and Garages Colac

22 Princes Hwy
Colac East, 3250

P: 5232 1230

F: 5232 1206

DISTRIBUTOR FOR

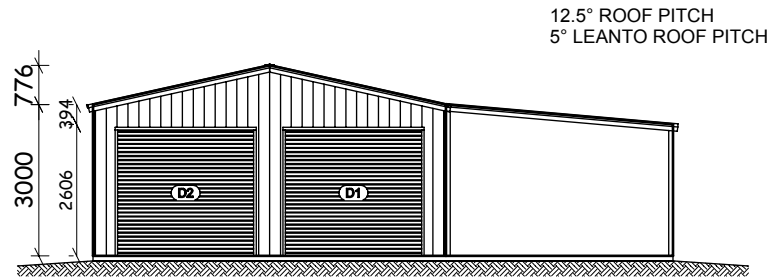


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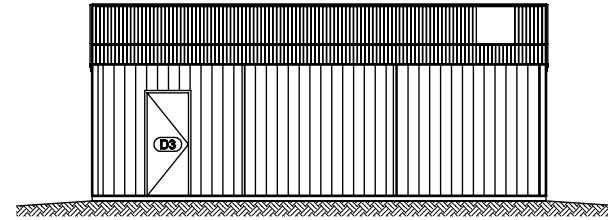
Client: Ian Trigg
Project: Proposed Garage: Enduro

Drawing Name: Floor Plan			Sheet Size: A4
Project Number: 10117A - 1	Drawing Number: A1.1	Rev: A	
Drawn:	Date: Sep 2017	All Dimensions In Millimetres U.N.O.	
Scale: 1:150	Shed: 9Lx7Wx3H 12.5° 3 bays		

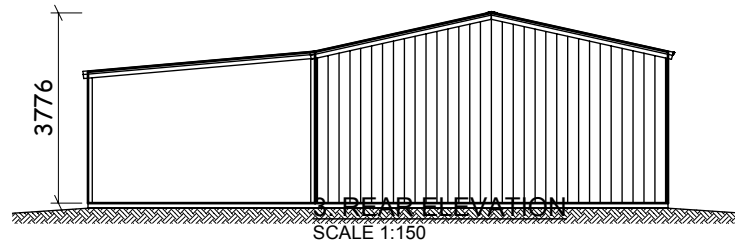
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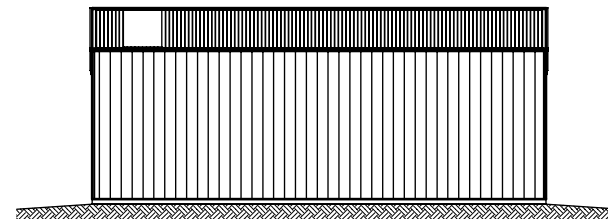
1. FRONT ELEVATION
SCALE 1:150



2. RIGHT ELEVATION
SCALE 1:150



3. REAR ELEVATION
SCALE 1:150



4. LEFT ELEVATION
SCALE 1:150

- ZINCALUME VEE RIDGE CAPPING
- ZINCALUME 0.47 TCT CORRUGATED ROOF CLADDING
- COLORBOND® GARAGE BARGE FLASHING
- COLORBOND® QUAD 115 EAVE GUTTER
- WHITE UPVC Ø90 DOWNPIPE
- COLORBOND® 0.47 TCT K-PANEL WALL CLADDING
- COLORBOND® CORNER FLASHING

DOOR SCHEDULE				
MARK	TYPE	HEIGHT	WIDTH	DESCRIPTION
D1	ROLLER DOOR	2500	2700	COLORBOND® STRAMIT RAD - A ROLLER DOOR
D2	ROLLER DOOR	2500	2700	COLORBOND® STRAMIT RAD - A ROLLER DOOR
D3	PA DOOR	2040	820	COLORBOND® PERSONAL ACCESS DOOR

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Client: Ian Trigg

Project: Proposed Garage: Enduro

Drawing Name: Elevations

Project Number: 10117A - 1

Drawing Number: A2.1

Rev. A

Drawn:

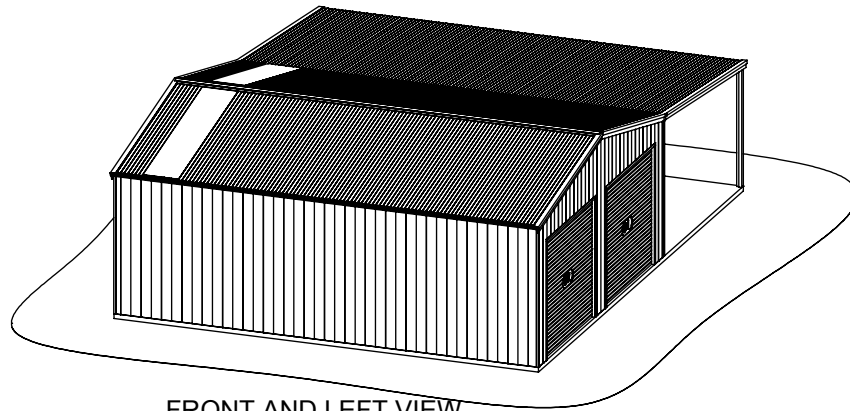
Date: Sep 2017

All Dimensions In Millimetres U.N.O.

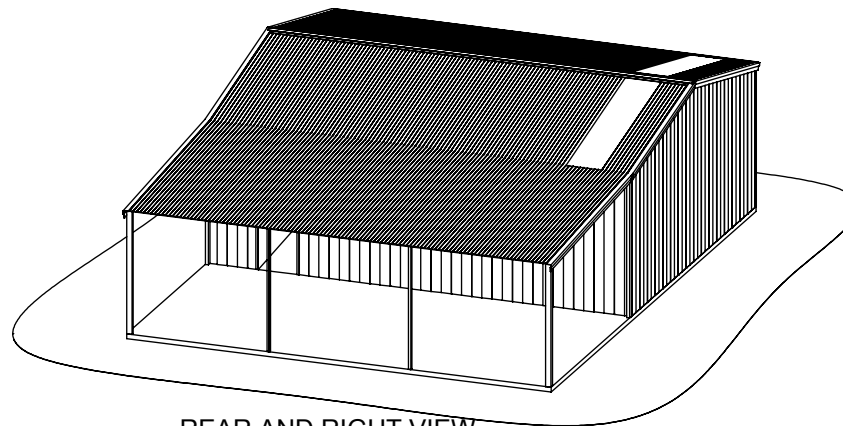
Scale: 1:150

Sheet: 9Lx7Wx3H | 12.5° | 3 bays

Sheet Size
A4



FRONT AND LEFT VIEW
SCALE 1:150



REAR AND RIGHT VIEW
SCALE 1:150

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22 Princes Hwy
Colac East, 3250
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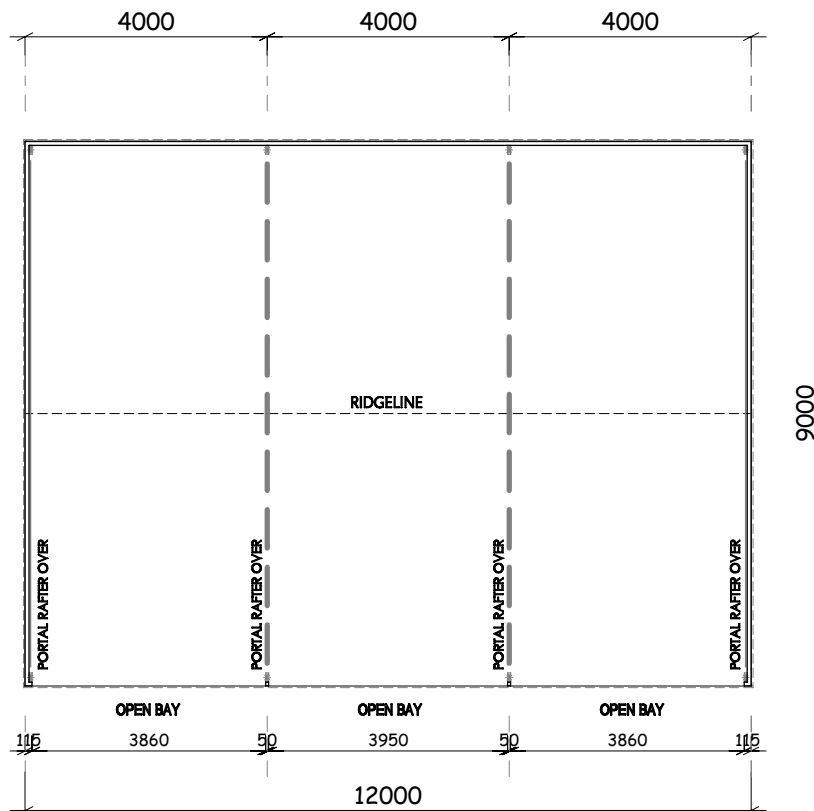
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Client: **Ian Trigg**
Project: **Proposed Garage: Enduro**

Drawing Name: 3D View		
Project Number: 10117A - 1	Drawing Number: A3.1	Rev: A
Drawn:	Date: Sep 2017	
All Dimensions In Millimetres U.N.O.		
Scale: 1:150	Sheet: 9Lx7Wx3H 12.5° 3 bays	Sheet Size: A4

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FLOORPLAN
SCALE 1:125



VIEW LEGEND

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Client:

Ian Trigg

Project:

Proposed Farm Shed: Enduro
20 Roadknight Street
Birregurra, VIC, 3242

Drawing Name:

Floor Plan

Project Number:

10323A - 2

Drawing Number:

A1.1

Rev. A

Drawn:

Date:

Mar 2019

All Dimensions In Millimetres U.N.O.

Scale:

1:125

Shed:

12Lx9Wx3.6H | 12.5° | 3 bays

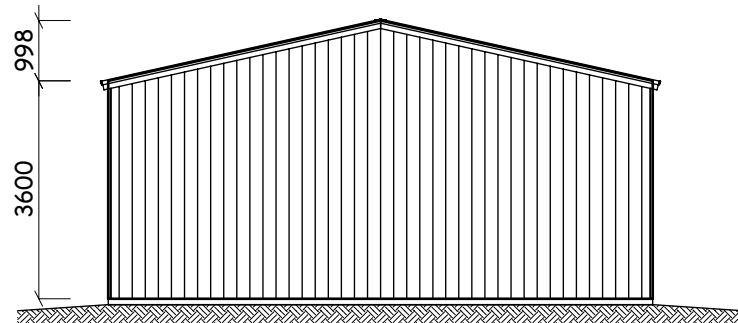
Sheet Size

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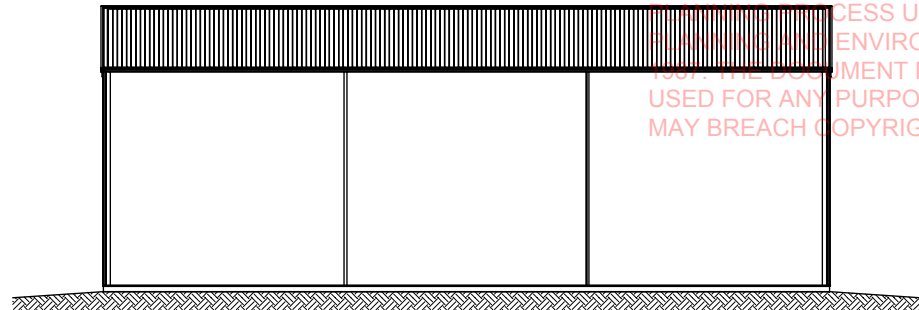
DOOR SCHEDULE

MARK	TYPE	HEIGHT	WIDTH	DESCRIPTION
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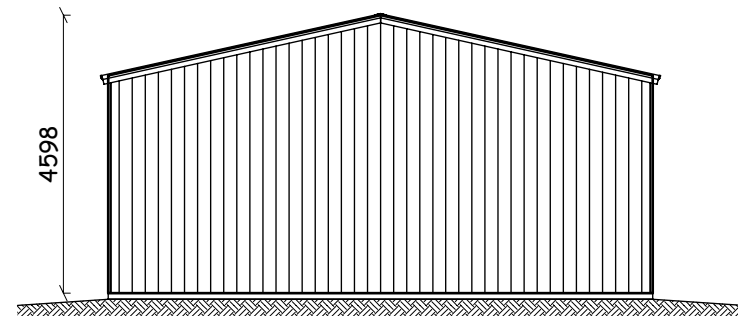
12.5° ROOF PITCH



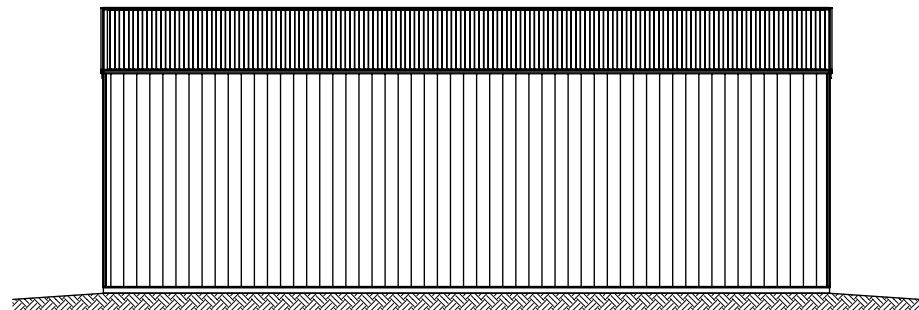
1. FRONT ELEVATION
SCALE 1:125



2. RIGHT ELEVATION
SCALE 1:125



3. REAR ELEVATION
SCALE 1:125



4. LEFT ELEVATION
SCALE 1:125

- ZINCALUME VEE RIDGE CAPPING
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- ZINCALUME QUAD 115 EAVE GUTTER
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- ZINCALUME CORNER FLASHING

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Client:
Project:

Ian Trigg
Proposed Farm Shed: Enduro
20 Roadknight Street
Birregurra, VIC, 3242

Drawing Name: Elevations

Project Number: 10323A - 2

Drawing Number: A2.1

Rev. A

Drawn:

Date: Mar 2019

Scale:

1:125

Shed:

12Lx9Wx3.6H | 12.5° | 3 bays

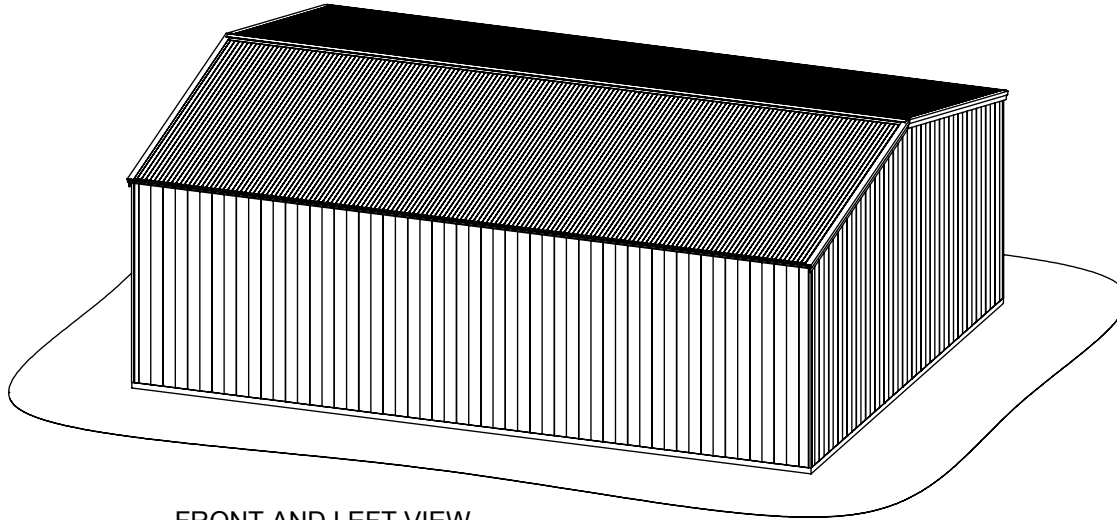
Sheet Size

A4

DOOR SCHEDULE

MARK	TYPE	HEIGHT	WIDTH	DESCRIPTION
------	------	--------	-------	-------------

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FRONT AND LEFT VIEW
SCALE 1:125

NOT FOR CONSTRUCTION

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Client:

Ian Trigg

Project:

Proposed Farm Shed: Enduro
20 Roadknight Street
Birregurra, VIC, 3242

Drawing Name:

3D View

Project Number:

10323A - 2

Drawing Number:

A3.1

Rev. A

Drawn:

Date:

Mar 2019

All Dimensions In Millimetres U.N.O.

Scale:

1:125

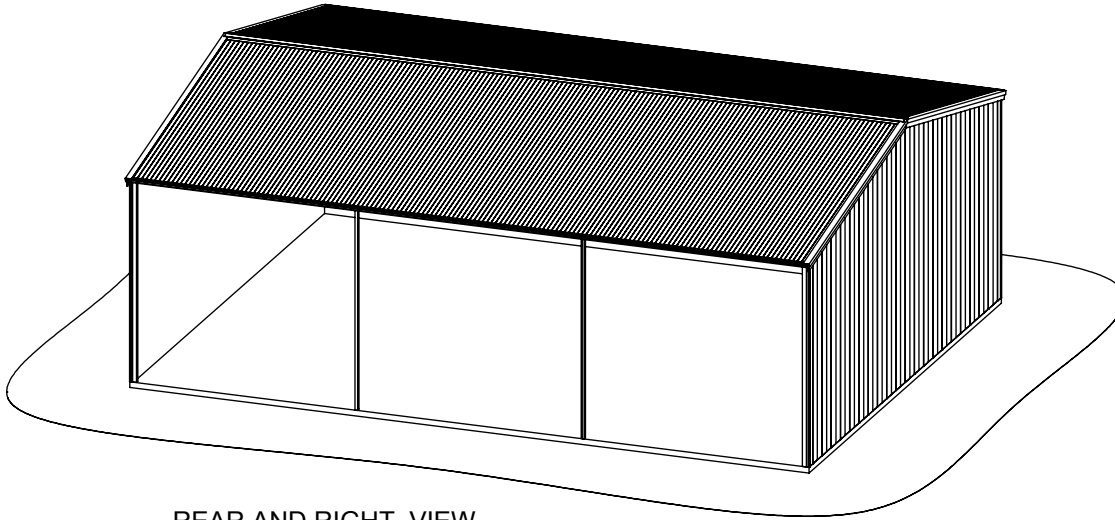
Shed:

12Lx9Wx3.6H | 12.5° | 3 bays

Sheet Size

A4

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REAR AND RIGHT VIEW
SCALE 1:125

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Client:

Ian Trigg

Project:

Proposed Farm Shed: Enduro

20 Roadknight Street

Birregurra, VIC, 3242

Drawing Name:

3D View 2

Project Number:

10323A - 2

Drawing Number:

A3.2

Rev:

A

Drawn:

Date:

Mar 2019

All Dimensions In Millimetres U.N.O.

Scale:

1:125

Shed:

12Lx9Wx3.6H | 12.5° | 3 bays

Sheet Size

A4

Our Ref:
Your Ref:
Contact:

F13/6074
12/2013
Simon Vulcz

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Colac Otway
SHIRE

11 September 2013

L Orrell
16 Gundowring Dr
SEABROOK VIC 3028

Dear Sir/Madam

Vehicle Crossing Consent to Works – 20 Roadnight Street BIRREGURRA

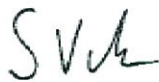
I refer to your Application for Consent dated 6 September 2013 for works within the road reserve at the above location.

Pursuant to Part 2 Section 16 of the *Road Management Act 2004*, the Colac Otway Shire grants consent to the proposed works subject to the applicant complying with the following requirements.

- Attachment A - Conditions of Consent to Conduct Works in Road Reserves;
- Attachment B - Information contained in Acts, Regulations and Ministerial Codes of Practice;
- Attachment C - General information relating to the conducting of works within road reserves;
- Attachment D - Reinstatement Guidelines, August 2006; and
- Attachment E –Standard Drawing SD255.

If you have any enquiries concerning this matter please contact me on 5232 9544.

Yours sincerely



Simon Vulcz
Capital Works Engineer

encl

Colac Otway Shire
PO Box 283
Colac Victoria 3250
www.colacotway.vic.gov.au
inq@colacotway.vic.gov.au

Colac Service Centre
2-6 Rae Street
Colac Victoria 3250
Ph: (03) 5232 9400
Fax: (03) 5232 9586

Apollo Bay Service Centre
69-71 Nelson Street
Apollo Bay Victoria 3233
Ph: (03) 5232 9400
Fax: (03) 5232 9586

Conditions for Consent to Conduct Works in Road Reserves

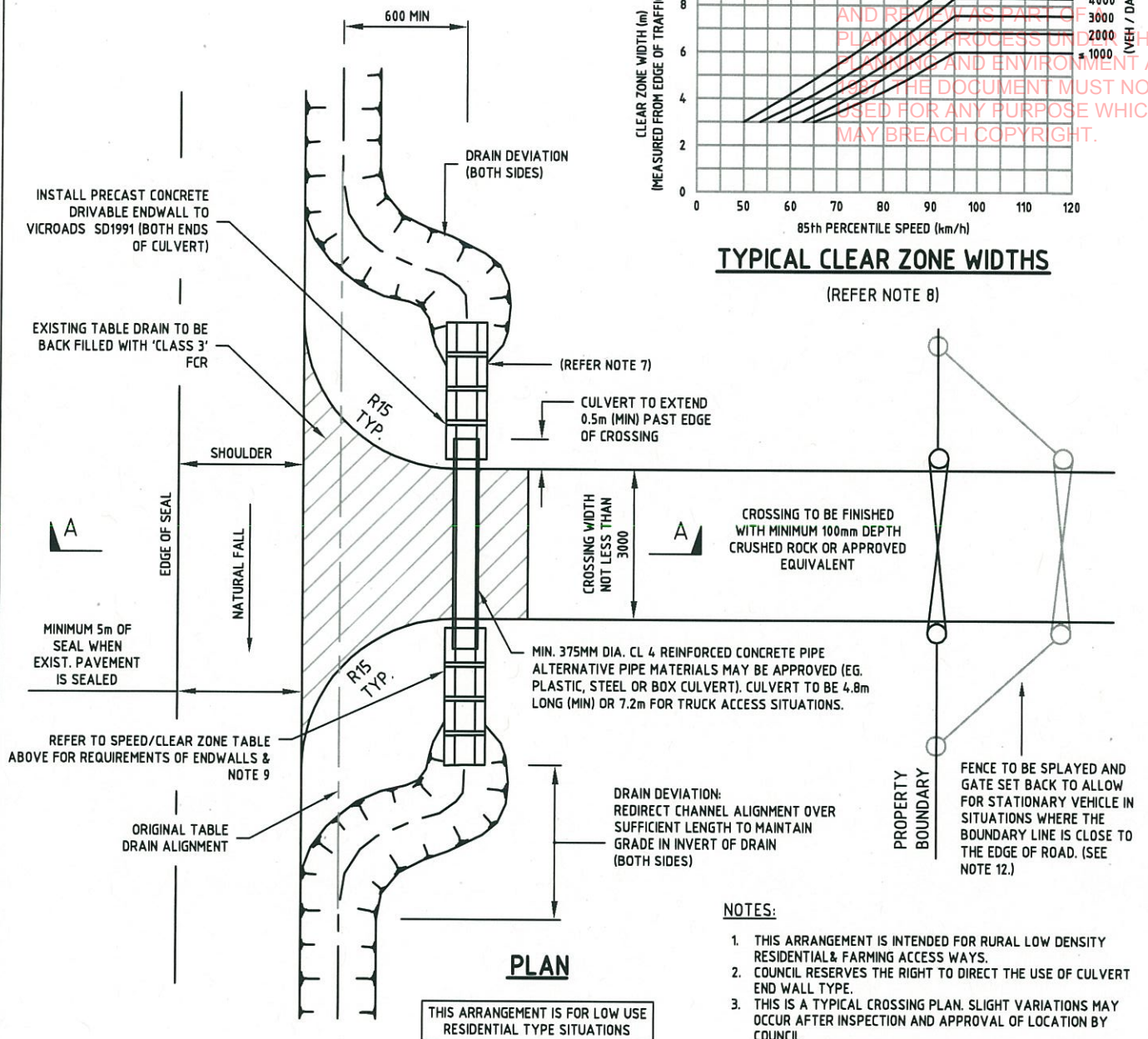
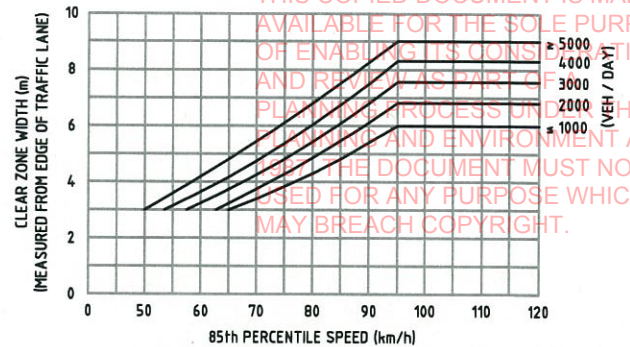
Standard Conditions of Consent

(Strike out those which are not appropriate – add additional conditions as necessary)

1.	Consent is granted in relation to your application dated 6 September 2013 for works to be undertaken at 20 Roadknight Street Birregurra by your nominated works manager subject to you conducting those works in accordance with the details contained within the application whilst meeting the requirements of the <i>Road Management Act 2004</i> , the <i>Road Safety Act 1986</i> and their associated Regulations and Codes of Practice and the conditions of consent outlined in this document.
2.	The granting of this consent does not exempt the Proponent from the requirements of other Commonwealth and State legislation or policy.
3.	The Proponent shall conduct the works in accordance with the requirements of the Code of Practice for Managing Utility and Road Infrastructure in Road Reserves.
4.	The Proponent shall conduct the works in accordance with the requirements of the Code of Practice for Worksite Safety - Traffic Management in Road Reserves.
5.	The Proponent acknowledges and agrees that its entry and occupation of the Site and the carrying out of the Works is entirely at its own risk and responsibility in all respects.
6.	The Proponent shall conduct works in a manner that protects the safety of the general public.
7.	The proponent shall indemnify and keep indemnified the <i>Colac Otway Shire</i> its servants and agents from and against all actions, costs, claims, charges, expenses, penalties, demands and damages whatsoever which may be brought or made or claimed against them, or any of them, in connection with the Proponents performance or purported performance of its obligations arising out of the works undertaken and be directly related to the negligent acts, errors or omission of the proponent. The Proponents liability to indemnify the <i>Colac Otway Shire</i> shall be reduced proportionally to the extent that any act or omission of the <i>Colac Otway Shire</i> contributed to the loss or liability.
8.	The Proponent shall locate the proposed works and assets in accordance with the following plans, specifications and drawings
9.	The Proponent shall conduct works in accordance with the hours shown on the application for consent. The Proponent shall only conduct any works during the following nominated times 7.00am – 6.00pm. (Strike out which is not applicable)
10.	Traffic management shall be conducted in accordance with a traffic management plan prepared in accordance with the Road Safety Act, Code of Practice for Worksite Safety – Traffic Management and other relevant legislative requirements. Safe alternative arrangements shall be provided for pedestrians and cyclists where necessary.
11.	The Proponent must reasonably satisfy itself of the location of any existing underground infrastructure that may be affected by the proposed works, consult with any affected infrastructure managers, and take any necessary precautions to minimise the impact on that infrastructure.
12.	The proponent must ensure that the works are directly supervised at all times by adequately trained and competent staff.
13.	The Proponent shall ensure that any open trenching is conducted safely and minimises damage to the road reserve by using good industry construction practices.
14.	The Proponent must report any damage to vehicle detection loops or traffic signal hardware immediately to VicRoads on 13 11 71.
15.	Whilst undertaking the works, the Proponent must protect and preserve existing roadside vegetation, sites of biological significance and/or cultural significance within the road reserve.
16.	The Proponent shall, as far as is practicable, provide temporary reinstatement for works at the end of each day and where not practicable, provide secure safety barriers to prevent entry of the public onto the work site.
17.	The Proponent shall, as far as is practicable, undertake work practices which prevent wind blown rubbish, mud, dust and other environmental pollutants from leaving the site and impacting on surrounding areas. Any pollutants which escape the site are to be cleaned up daily.
18.	The Proponent shall reinstate all road infrastructure damaged as a result of the works as soon as reasonably practicable, or within the following timeframes one week to the requirements of the <i>Colac Otway Shire's</i> Reinstatement Guidelines. A copy is attached. (Further copies can be obtained from the Colac Otway Shire's Customer Service Centre located at 2-6 Rae Street, Colac, Phone: 5232 9400).

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OBTAINING ITS CONSIDERATION AND REVIEW AS PART OF A PLANNING PROCESS UNDER THE PLANNING AND ENVIRONMENT ACT 1987. THE DOCUMENT MUST NOT BE USED FOR ANY PURPOSE WHICH

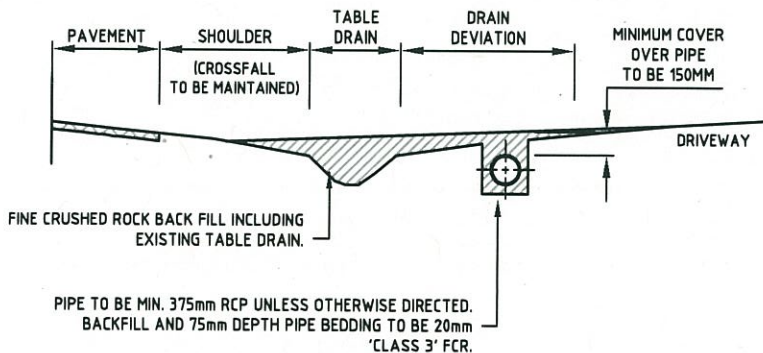
19.	The Proponent shall be responsible for any reinstatement works for a period of 12 months from their final completion (including any associated repairs to the road infrastructure).
20.	The Proponent shall provide one weeks advance notice to the public and other authorities, where affected by the works.
21.	Where access to abutting properties is affected, the Proponent shall consult with the property occupiers prior to the commencement of the works, and provide for safe and reasonable alternative access arrangements during the works.
22.	The Works must be covered by a Public Risk insurance policy with a minimum cover of \$10,000,000 indemnifying the <i>Colac Otway Shire</i> against claims for damage or injury arising from the Works. This insurance cover is to include the period of the actual works and any maintenance period for associated reinstatement works as required by the Code of Practice - Management of Road and Utility Infrastructure in Road Reserves and the relevant provisions of the Road Management Act 2004 and Road Management (Works and Infrastructure) Regulations.
23.	This consent is given in accordance with the information contained in the application and the conditions outlined above. Should the Proponent wish to amend any item contained within the application, the proponent must discuss the proposed variation with the <i>Colac Otway Shire</i> and obtain approval in writing for such variation.
ADDITIONAL CONDITIONS FOR NON-UTILITIES	
24.	The Proponent is required to provide a bank guarantee or financial surety to the value of \$ (insert value).....which the Colac Otway Shire can draw against should works not be completed to the Colac Otway Shire's satisfaction. The bank guarantee or financial surety will be held for the duration of the works and for a maintenance period of 12 months.
NON STANDARD CONDITIONS	
25.	Works shall be conducted to avoid major disruptions to traffic, including pedestrians.
26.	The Works area and road formation to be left free of debris.
27.	The two vehicle crossings shall be constructed in accordance with Council's specifications as detailed on Standard Drawing SD255 (attached) and the drawings submitted with the application.
FURTHER MATTERS FOR THE PROPONENT'S CONSIDERATION	
	<p>This is not a condition of consent</p> <p>Before commencing work in the Road Reserve, there may be a need to obtain permits and approvals from other Authorities. These may include:</p> <p>Electricity No-Go zones – Electricity Supply Authority</p> <p>Vegetation Clearance – Department of Sustainability and Environment and/or Local Council Planning Permit</p> <p>Planning Permit – Local Council</p> <p>Speed Reduction through Site – VicRoads Memorandum of Consent</p> <p><i>Aboriginal Heritage Act 2006 and Aboriginal Heritage Regulations 2007 – Cultural Heritage Management Plans</i></p>



NOTES:

1. THIS ARRANGEMENT IS INTENDED FOR RURAL LOW DENSITY RESIDENTIAL & FARMING ACCESS WAYS.
2. COUNCIL RESERVES THE RIGHT TO DIRECT THE USE OF CULVERT END WALL TYPE.
3. THIS IS A TYPICAL CROSSING PLAN. SLIGHT VARIATIONS MAY OCCUR AFTER INSPECTION AND APPROVAL OF LOCATION BY COUNCIL.
4. PRIOR TO THE CONSTRUCTION, THE CROSSING LOCATION SHALL BE APPROVED BY COUNCIL.
5. ALL WORKS TO BE COMPLETED TO THE SATISFACTION OF COUNCIL.
6. MAINTENANCE OF THE CROSSOVER REMAINS THE RESPONSIBILITY OF THE LAND OWNER.
7. INSTALL LOW PROFILE HEAD WALLS OUTSIDE CLEAR ZONE & DRIVABLE END WALLS WITHIN CLEAR ZONE. NO CULVERT TO BE WITHIN 3m OF EDGE OF SEAL.
8. THE CLEAR ZONE TABLE SHOWN IS A GUIDE ONLY AND FOR FURTHER ACCURATE CLEAR ZONE GUIDELINES REFER TO AUSTRROADS 'GUIDE TO ROAD DESIGN - PART 6: ROADSIDE DESIGN, SAFETY AND BARRIERS' TABLE 4.1: 'CLEAR ZONES DISTANCES FROM EDGE OF THROUGH TRAVELED WAY'.
9. DRIVEABLE ENDWALLS TO BE USED INSIDE CLEAR ZONE.
10. TABLE DRAINS ARE NOT TO BE CLOSER THAN 1.0m FROM FENCE LINES OR SERVICES.
11. COUNCIL MAY REQUIRE THAT CROSSING PAVEMENT BE SEALED DEPENDING ON SITE LOCATION AND SPECIFICS.
12. GATE OFFSET DIMENSIONS:

STANDARD VEHICLE TYPE	MINIMUM GATE OFFSET FROM EDGE OF THROUGH LANE (m)
CAR (5.0m)	8.2
SEMI (19.0m)	22
B-DOUBLE (25.0m)	28



ALL MEASUREMENTS IN MILLIMETRES

Reference Number –
(Council Use Only)Non Utility Minor Works within
Municipal Road Reserves

Rec# 239690 . 12

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Colac Otway
SHIRE

This Notification/Application is provided in accordance with -

1. Road Management Act 2004, Schedule 7
2. Road Management (Works and Infrastructure) Regulations 2005

Use this form for:

- (i) Notification of proposed works, or
- (ii) Application for consent

COLAC OTWAY
SHIRE

- 6 SEP 2013

RECEIVED
DESTROY

General Information

Type -	<input type="checkbox"/> Notification of Proposed Works	Date -	6/9/2013	
	<input checked="" type="checkbox"/> Application for Consent	Your Reference (if applicable) -		
		Fee - (ONLY for Application for Consent)	\$62.70 64.20	
To - (Coordinating Road Authority)	Colac Otway Shire PO Box 283 COLAC VIC 3250		Receipt No. (Council Use Only)	
From - (Applicant's Name)	LESLEY ORRELL		Function - (Please select the ROLE that best describes YOU)	<input checked="" type="checkbox"/> Owner
Address - (Applicant's Address)	16 GUNDOWRING DRIVE			<input type="checkbox"/> Occupier
				<input type="checkbox"/> Builder
				<input type="checkbox"/> Contractor on behalf of - (Please Specify)
City/Suburb/Town -	SEABROOK	State -	VIC	Postcode - 3028
Contact person -	LESLEY ORRELL		Telephone (BH) -	0408 578 871
Email Address -	lesley.orrell@bigpond.com		Facsimile -	
			Mobile -	0408 578 871

Details of Work

Work type -	<input type="checkbox"/> Service connection	Work Hours -		
	<input type="checkbox"/> Drainage Connection	Start Date -	__/__/20__	
	<input checked="" type="checkbox"/> Vehicle Crossing	Finish Date -	__/__/20__	
	<input type="checkbox"/> Other works (Please Specify)			
Road Name / Address -	20 ROADKNIGHT ST		Locality (Town) -	BIRREGURRA
Additional Location Details - (Optional)				
Description of Works - (Include list of assets affected by works)	Extend existing house driveway towards main St, and construct new driveway into paddock beside house. Both according to SD255. Driveable ends not required - 4.3m drain to kerb.			
Sketch Plan - A copy of a sketch plan showing the proposed works, the location and all assets within the vicinity must be provided (Assets include all trees, landscaping, road pavement, kerb & channel, footpaths, drains. Service authority assets and private assets affected by the work).				

Non Utility Minor Works within Municipal Road Reserves

(Continued)

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Colac Otway
SHIRE

Works Manager Details *

Contractor or Company Name -		Callahan Earthmoving Pty Ltd		Contractor/Company ABN -		119 944	
Contractor's Address -		41 Sladen Street		06581			
City/Suburb/Town -		Birregurra		State - vic		Postcode - 3242	
Name of Works Manager* -		Marcus Callahan		Telephone (BH) -		52362211	
Email address -				Facsimile -			
				Mobile -		0407876330 0407876330	
Does the contractor have Public Liability Insurance? (Certificate of Currency to be provided)				<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Amount of Public Liability Cover -	
						\$10,000,000	
Name of Public Liability Insurance Company -				CCU Insurance limited.			

Traffic Impact *

Please note - A Traffic Management Plan may be required to be in operation during the proposed works

(Note: Refer attached notes and S99A of the Road Safety Act 1986 and Code of Practice for Worksite Safety - Traffic Management)

Will major traffic control devices requiring a 'Memorandum of Consent' be used? <small>Examples of major traffic control devices include speed limit signs, traffic signals, etc. (Note: refer Road Safety (Road Rules) 1999 and Code of Practice for Worksite Safety - Traffic Management)</small>		<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If No, Why? No works on road.			
Will the proposed works impact pedestrians and/or cyclists? <small>(Consider provision for people with disabilities, etc)</small>		<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If No, Why? No works on road.			

Consultation

Have adjoining property owner(s)/occupier(s) and/or affected members of the community been consulted with in respect to these works?		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If No, Why? Neighbour on same side (towards Main St)			
Have other Parties/Authorities been contacted in the instance where non-road infrastructure assets may be affected by the proposed works?		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If No, Why? VicRoads email of support.			

consulted,
and agree.

Non Utility Minor Works within Municipal Road Reserves

(Continued)

Locality Plan

two drawings attached.
plus photos of
existing

Show the location of crossings, property boundaries, intersections, street trees, signs, kerb and channel, footpaths, width of crossing etc. (attach separate plan if required). Please do not use pencil.

DECLARATION:

The Colac Otway Shire Council collects personal information to levy rates, issue permits and licences and provide a variety of community services. The information collected in this form is used only for the purposes contemplated by the form (primary purpose) and is not passed onto third parties. In some instances however, disclosure is required by law or is necessary for the protection of persons or property. Where this occurs, Council will take every reasonable step to ensure your privacy is protected in accordance with the Information Privacy Act 2000 (Vic). Should you need to change or access your personal details or require further information about Council's Privacy Policy contact our Privacy Officer on 5232 9400.

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Colac Otway
Shire

20 Roadright St, Birregurra - existing Driveway

proposed extension

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20 Roadlight St, Birregurra - Existing Driveway

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20 Roadknight St, Birregara — Existing Driveway

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Proposed
extension



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20 Road Knight St, Birragayra - New Driveway

Proposed Driveway

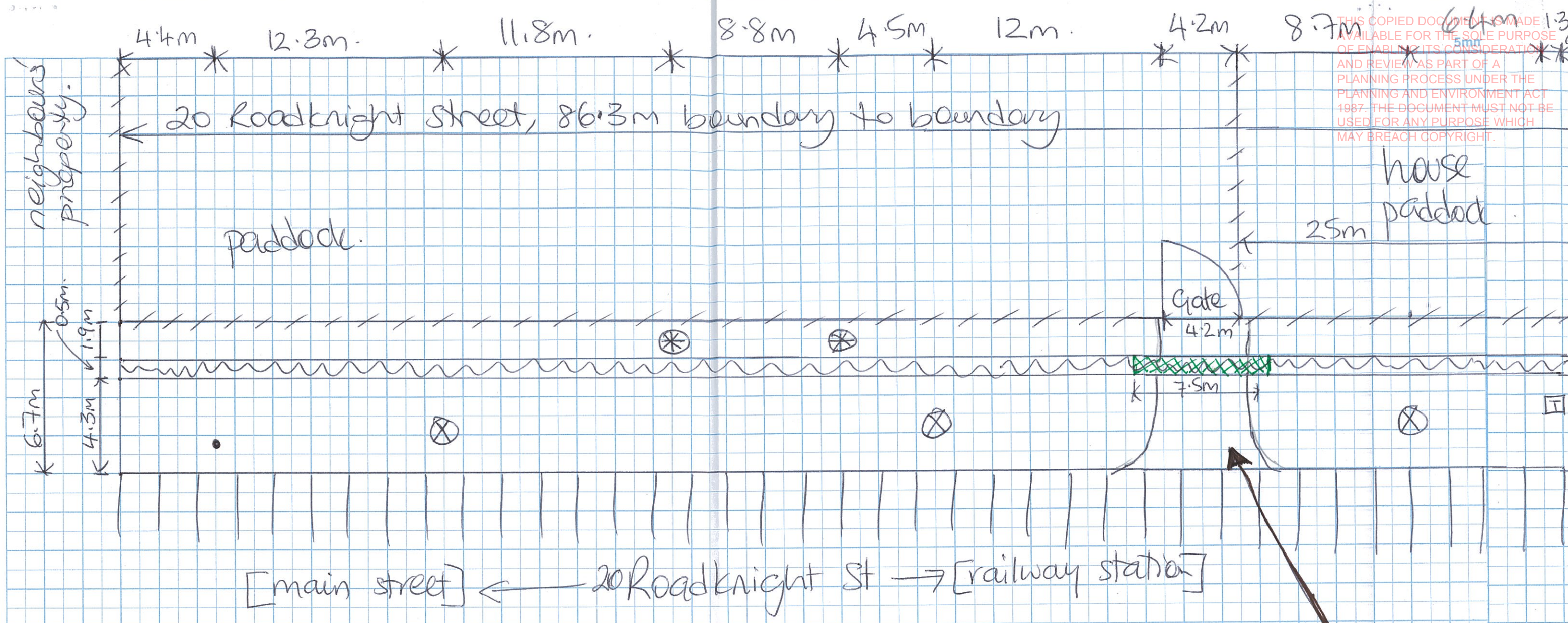


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20 Roadknight St, Birregurra - New driveway



Proposed
driveway



[m] existing drain with concrete insert 300mm diameter.

[||||] Bitumen road 60km

[•] street sign 60km 1.3m from road edge.

[⊗] tree 2.1m from road edge

[⊗] tree 20cm from drain.

[+ + +] Fence

[⊗] stone / concrete bollard

[T] Telstra pit 3m from road edge 1.3m long.

[hatched] proposed new drain pipe 300mm diameter.
- existing driveway 1x2500mm pipe
- new driveway 3x2500mm pipes.
Constructed according to SD255.

m 1.3m 8.6m 3.4m 3.9m

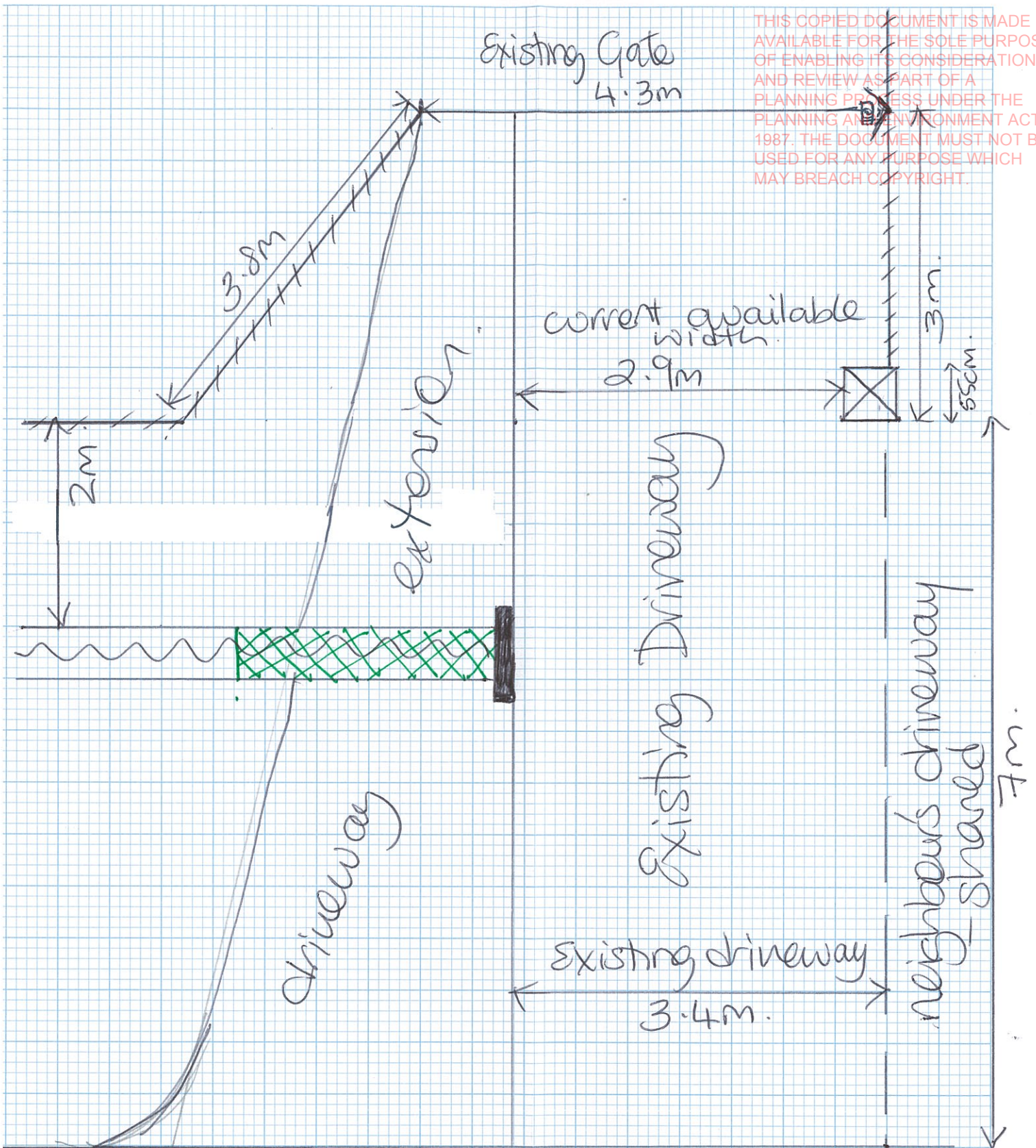
see sep drawing for this driveway

4.3m Gate

existing driveway

neighbour driveway

proposed extension to existing driveway



20 Roadknight Street.

Existing gate post 25m.

Existing fence

concrete drain end

Boundary

Existing stone concrete Bollard

Existing drain concrete insert 300mm diameter.

proposed new drain pipe 300mm diam.