



**MEETING OF SPECIAL COUNCIL**

**AGENDA**

**WEDNESDAY 15 AUGUST 2018**

**AT 4PM**

**APOLLO BAY SENIOR CITIZENS' CENTRE**



## COLAC OTWAY SHIRE COUNCIL SPECIAL MEETING

15 AUGUST 2018

### TABLE OF CONTENTS

OPENING PRAYER.....	3
PRESENT.....	3
APOLOGIES.....	3
WELCOME AND ACKNOWLEDGEMENT OF COUNTRY .....	3
QUESTION TIME .....	4
DECLARATIONS OF INTEREST .....	4

### OFFICER REPORTS

SC181508-1	PROPOSED TOURIST RESORT DEVELOPMENT AT 275 BARHAM RIVER ROAD, APOLLO BAY (PP169/2017-1) .....	5
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## COLAC OTWAY SHIRE COUNCIL SPECIAL MEETING

NOTICE is hereby given that the next **SPECIAL MEETING OF MEETING OF THE COLAC OTWAY SHIRE COUNCIL** will be held at the Apollo Bay Senior Citizens' Centre on 15 August 2018 at 4pm.

### AGENDA

#### 1. I DECLARE THIS MEETING OPEN

##### **OPENING PRAYER**

*Almighty God, we seek your  
blessing and guidance in our  
deliberations on behalf of the  
people of the Colac Otway Shire.  
Enable this Council's decisions to be  
those that contribute to the true  
welfare and betterment of our community.*

**AMEN**

#### 2. PRESENT

#### 3. APOLOGIES

#### 4. WELCOME AND ACKNOWLEDGEMENT OF COUNTRY

Colac Otway Shire acknowledges the original custodians and law makers of this land, their elders past and present and welcomes any descendants here today.

I ask that we all show respect to each other and respect for the office of an elected representative.

All Council and Committee meetings are audio recorded, with the exception of matters identified as confidential items in the Agenda. This includes the public participation sections of the meetings.

Audio recordings of meetings are taken to facilitate the preparation of the minutes of open Council and Committee meetings and to ensure their accuracy.

In some circumstances a recording will be disclosed to a third party. Those circumstances include, but are not limited to, circumstances, such as where Council is compelled to disclose an audio recording because it is required by law, such as the Freedom of Information Act 1982, or by court order, warrant, or subpoena or to assist in an investigation undertaken by the Ombudsman or the Independent Broad-based Anti-corruption Commission.

Council will not use or disclose the recordings for any other purpose. It is an offence to make an unauthorised recording of the meeting.

The sole purpose of the Special Meeting is to consider Council's position regarding the proposed Apollo Bay Tourist Resort at 275 Barham River Road, Apollo Bay (planning application PP169/2017-1) which will be presented to the Minister appointed Planning Panel for this planning application.

## **5. QUESTION TIME**

At every Special Meeting, a public question time not exceeding 30 minutes will be held to enable any member of the public to question Council but only on items included in the Agenda of that Special Meeting.

Please remember, you must ask a question. If you do not ask a question you will be asked to sit down and the next person will be invited to ask a question.

1. Questions received in writing prior to the meeting (subject to attendance and time).
2. Questions from the floor.

- 6.** It is our intention that Standing Orders be suspended following Question Time to enable the Applicant and the Objector Group, if they wish, an opportunity to speak and answer questions from Councillors.

## **7. DECLARATIONS OF INTEREST**

**SPECIAL COUNCIL MEETING**  
**PROPOSED TOURIST RESORT**  
**DEVELOPMENT AT 275 BARHAM RIVER**  
**ROAD, APOLLO BAY (PP169/2017-1)**  
 SC181508-1

<b>LOCATION / ADDRESS</b>	275 Barham River Road, Apollo Bay	<b>GENERAL MANAGER</b>	Gareth Smith
<b>OFFICER</b>	Doug McNeill	<b>DIVISION</b>	Development & Community Services
<b>TRIM FILE</b>	F17/7572	<b>CONFIDENTIAL</b>	No
<b>ATTACHMENTS</b>	<ol style="list-style-type: none"> <li>1. Attachment 1 - Amended Planning Application</li> <li>2. Attachment 2 - Architectural Plans and Visual Images</li> <li>3. Attachment 3 - Landscape Masterplan</li> </ol>		
<b>PURPOSE</b>	<p>To enable Council to resolve its position on the planning permit application for a tourist resort development at 275 Barham River Road, Apollo Bay which will be communicated to the Planning Minister and the Planning Panel established by the Minister.</p>		

### 1. LOCATION PLAN / AERIAL PHOTO



## 2. EXECUTIVE SUMMARY

A planning application was originally lodged for the development of a tourist resort at 275 Barham River Road, approximately 3.6 km south west of Apollo Bay in July 2017. The site was rezoned by the Planning Minister to Rural Activity Zone in 2009 (following adoption by Council in October 2008) with the aim of facilitating tourism development in the hinterland of Apollo Bay.

Pursuant to a resolution of Council on 22 November 2017 the planning permit application has been called in by the Minister for Planning who will be the ultimate decision maker in relation to the application. The Minister for Planning has established an Advisory Panel to hear from all parties associated with the application, including Council, and provide recommendations to the Minister for Planning. Council submitted to an earlier Directions Hearing scheduled by the Panel that Council found it difficult to form a position on the original application in the absence of a flood study, and details of villas recommended to be relocated by the Golders Landslide Risk Assessment report, in accordance with Council's resolution of 7 February 2018.

As a result of the earlier Directions Hearing the Panel requested the permit applicant to supply additional information related to the application via direction on 20 March and 28 March 2018. The permit applicant has lodged an amended application with additional supporting information. The amended application has reduced the scale of the proposal to the main hotel complex of 180 rooms and a total of 82 villas on the site. No further staged development is part of the amended application.

The Panel is convening a further Directions Hearing on 23 August 2018 to confirm administrative arrangements for the full hearing, which is scheduled to be held over 7-10 days commencing on 12 September 2018. Council will need to form a position on the proposal, so that this can be presented to the Panel.

The original application was placed on public notification and generated 181 objections and 14 submissions of support. Issues raised in submissions relate to potential impacts on the character of Apollo Bay and its surrounds, the height and scale of the development, impacts of lighting of the development at night, traffic, impacts on services such as water, sewer, power, phone and internet which are already at capacity, negative economic impacts on surrounding businesses, negative social impacts, overlooking to adjoining properties and lack of clarity about how the proposal responds to environmental risks such as landslip, bush fire risk and flooding.

A number of submitters to the original application are parties to the Advisory Panel process where they will be able to present their views directly to the Panel. The Panel has directed public notice of the amended application to all the original submitters and adjoining land owners and to public agencies. Submitters have the opportunity to provide an updated submission to the amended proposal. The notice period closed on 27 July 2018, and it is understood 113 objections were received, raising similar issues as raised to the original proposal.

In addition to forming a view on the merits of the proposal Council is also required by the Panel to provide a "without prejudice" set of draft conditions that can be used by the Panel and other parties in the event a permit was recommended to issue.

Planning Scheme amendment VC148, gazetted on 31 July 2018, has made changes to the format of the Victorian Planning Provisions. The changes introduce structural changes to how State and local planning policies are presented in planning schemes, reorganisation of particular provisions and operational provisions and integration of Vic Smart processes into zones and overlays amongst other

matters. The changes are understood to be policy neutral and do not have direct impact on the assessment of the proposal as provided.

Officers are recommending conditional support of the application based on the amended proposal having a significant economic benefit to tourism and the local and regional economy, being consistent with the purpose of the Rural Activity Zone in attracting a form of tourism investment and being responsive to the environmental risk/features and landscape setting of the site. This is subject however to further assessment of landscape impacts being undertaken as part of the Panel process to confirm the likely visual impact of the proposal, conditions being applied to require upgrade of Barham River Road, and other matters being clarified.

### **3. RECOMMENDATION**

#### **RESOLUTION 1**

***That Council:***

- 1. Notes that the authority to decide the merits of the proposed tourism resort at 275 Barham River Road, Apollo Bay rests with the Minister for Planning subject to advice from the Advisory Panel appointed by the Minister for Planning to consider the proposal.***
- 2. Notes that a Cultural Heritage Management Plan is required to be submitted and approved for the development under the Aboriginal Heritage Act 2006 prior to the issue of any planning permit by the Minister.***
- 3. Having assessed the amended application on merit against the Colac Otway Planning Scheme decides to offer conditional support for the use and development of the land for a residential hotel and associated leisure and recreation facility and removal of vegetation based on the following:***
  - 3.1. The proposal will support strategic objectives related to tourism development along the Great Ocean Road and assist with development of the local and regional economy.***
  - 3.2. Subject to further analysis of the landscape visual assessment via the Panel process, the proposal is consistent with the purpose of the Rural Activity Zone and can integrate into the site and not detrimentally impact on the landscape.***
  - 3.3. Subject to clarification of specific detailed elements associated with the Geotechnical and Landslip Risk assessment, the proposal can adequately respond to environmental risks and issues on the land as identified by relevant overlays present on the land.***
- 4. Agrees that support for the development is subject to:***
  - 4.1. Off-site infrastructure being implemented at the cost of the applicant to widen parts of Barham River Road, undertake intersection treatments and provide a path linking the site to the Apollo Bay township.***
  - 4.2. An alternate arrangement of car parking to service the main hotel and clarity of risk factors in the Geotechnical and Landslip Risk assessment as identified in the draft conditions.***

- 4.3. Further landscape visual analysis being undertaken for consideration through the Panel process that confirms the likely visual impact of buildings in the landscape, including understanding of the methodology used in the photomontages and assessment of further viewing points in the landscape where the development may be visible (including potential views across the site from Great Ocean Road west of Marengo).**
- 5. Requests the Panel to seek further information on the reference to a proposed telecommunications tower within the site, to ensure that any new facility is appropriately sited and designed to minimise amenity impacts.**
- 6. Notes that reference is made within the amended application documentation to transfer of persons to the site via helicopter, and that this would require a specific authorisation to be given through a planning permit. No such authorisation has been sought for the current application, and Council notes that such a proposal would be contrary to the Rural Activity Zone.**
- 7. Supports the above position being presented to the Advisory Panel.**

## **RESOLUTION 2**

**That Council supports the following draft conditions being presented to the Advisory Panel related to the proposed use and development of the land for a residential hotel and associated leisure and recreation facility and removal of vegetation at 275 Barham River Road, Apollo Bay as required by the direction 8 of the Advisory Panel correspondence 20 March 2018 (noting that these may need to be revised in light of any evidence presented to the Panel):**

### **Amended plans**

- 1. Prior to commencement of the development amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and three copies must be provided. The plans must be generally in accordance with the plans submitted with the application, but modified to show:**
- a. A total of at least 122 car parking spaces to the rear of the main hotel building to adequately service the hotel, restaurant, wellness centre and swimming pool uses. The parking is to be designed to allow for full circulation without requiring reversing out onto the main access driveway. Other parking areas identified on the plans, including the overflow parking area, in proximity to the maintenance area can remain.**
  - b. Swept paths showing access to the loading bay for larger vehicles.**
  - c. Vegetation removal consistent with the Biodiversity Assessment report by Ecology and Partners Pty Ltd dated May 2018.**
  - d. An Integrated landscaping plan for the site showing planting and landscaping outcomes consistent with the Bushfire Management report prepared by South Coast Bushfire Consultants dated 9 May 2018 and including:**
    - i. A planting schedule of all proposed trees, shrubs and ground covers, including**



*botanical names, common names, sizes at maturity, and quantities of each plant.*

*ii. Details of surface finishes of pathways and driveways.*

*e. Detailed engineering plans of specific mitigation measures responding to the recommendations of the Landslide Risk Assessment report by Golder Associates 1 November 2017 and letter of 15 May 2018.*

**Alteration to endorsed plans**

**2. The endorsed plans must not be altered without the written consent of the responsible authority.**

**Geotechnical and Landslip risk assessment report**

**3. Prior to commencement of the development, an updated Geotechnical and Landslip Risk Assessment report to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the Geotechnical and Landslip Risk Assessment report will be endorsed and will then form part of the permit. The plan must be generally in accordance with the Geotechnical Assessment and Landslip Risk Assessment by Golder Associates in its letter dated 15 May 2018 but modified to respond to the following:**

*a. Explanation of whether the identified geotechnical hazards can travel out of higher risk zones to lower risk zones and whether the zones been developed to allow buffers for such.*

*b. Confirmation that any minimum buffer distance has been applied from the boundary of high and very high risk zones if necessary.*

*c. Removal of the expansion to the hotel complex and upgrades to the old access road from the overall development indicates engineering measures are not now needed in these areas. Confirmation is sought on how the potential removal of such engineering measures impacts the areas immediately adjacent to these areas and whether there would be any increase in risk in these adjacent areas because these measures are potentially not implemented.*

*d. Reference to other geological structures such as the Apollo Bay Syncline and the Barham fault and their relevance to the site as part of a broader geological setting in the area.*

*e. Comment regarding potential seismicity in the Otways and any impact of slope stability at the site.*

*f. Provide further detail and explanation of what constitutes “engineering measures including drainage” and “engineering measures to improve drainage” and how feasible such measures may be.*

*g. Comment on what further targeted intrusive geotechnical investigation works (which are required to inform detailed design and confirm risks) may be.*

*h. Assessment to confirm that any stormwater drainage and waterway management proposed for the site is consistent with the identified geotechnical risks.*

*i. Allowance for detailed engineering plans to be submitted for approval under the Erosion Management Overlay.*

**Section 173 agreement**

4. *Prior to the commencement of the development, the owner of the land must enter into an agreement under Section 173 of the Planning and Environment Act 1987 with the Responsible Authority. The agreement must be in a form to the satisfaction of the Responsible Authority, and the applicant must be responsible for the expense of the preparation and registration of the agreement, including the Responsible Authority's reasonable costs and expenses (including legal expenses) incidental to the preparation, registration and enforcement of the agreement. The agreement must contain covenants to be registered on the Title of the property so as to run with the land, and must provide for the following:*
- a. *Widen Barham River Road to 6.2 metres with minimum 1.5 metres shoulder where necessary and provide an auxiliary left turning lane into the entry to the site and any other traffic management upgrades which are considered necessary to support the development based on external expert advice received by Council prior to a hearing of the Panel or a decision by the Minister. Details of any road upgrade/improvements need to be submitted to Council for approval prior to commencement.*
  - b. *The provision of a sealed path along Barham River Road from the subject land to Nelson Street.*
  - c. *That the villas cannot be leased, sold or operated separately from the residential hotel use on the land.*
  - d. *The land must be managed in accordance with the Land Management Plan endorsed as part of planning permit PP169/2017, or in accordance with any amendment to that plan or any replacement Land Management Plan subsequently endorsed as part of a planning permit, to the satisfaction of the Responsible Authority.*

*The agreement will be registered on Title in accordance with Section 181 of the Planning and Environment Act 1987.*

**Consolidation**

5. *Prior to commencement of the development, Lot 1 P757287 (Vol 04068 Fol 542) and Lot 2 PS515118 (Vol 10725 Fol 985) comprising the subject land, must be consolidated under the provisions of the Subdivision Act 1988 to the satisfaction of the Responsible Authority.*

**Emergency Management Plan**

6. *Prior to commencement of the development, an updated Emergency Management Plan, to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. Any plans must be to scale and with dimensions, and three copies of the Emergency Management Plan must be provided. When approved, the Emergency Management Plan will be endorsed and will then form part of the permit. The plan must be generally in accordance with the Emergency Management Plan submitted with the amended application by Resource Management Consulting dated June 2018 but modified to remove reference to access along a new road to the site and access along the Old Harden Vale Road as these elements have not received formal approval.*

**Lighting Management Plan**

7. *Prior to the commencement of the development a lighting management plan for the site must be submitted to and approved by the Responsible Authority. Any plans must be to scale and with dimensions, and three copies of the Lighting Management Plan must be provided. When*

*approved, the Lighting Management Plan will be endorsed and will then form part of the permit. The plan must include (but not be limited to):*

- a. Outlining how appropriate but minimal lighting with low luminescence can be provided on the site to minimise lighting impacts associated with the development at night.*
- b. Measures to screen lighting impacts beyond the boundaries of the site (including use of topography, built form and landscaping).*
- c. Use of appropriate shrouding and low level lighting.*
- d. Use of automated measures to ensure lighting of roads, buildings and common areas is switched off, at appropriate times.*

**Land Management Plan**

**8. Prior to commencement of the development, a Land Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. Any plans must be to scale and with dimensions, and three copies of the Land Management Plan must be provided. When approved, the Land Management Plan will be endorsed and will then form part of the permit. The plan must include (but not be limited to):**

- a. Site plan.*
- b. Site description.*
- c. List of the objectives for the property.*
- d. A description of native plants on site and in the area.*
- e. A description of the site outside the native vegetation areas.*
- f. Bushfire Management.*
- g. Identification of Land Management Issues.*
- h. Goal setting and specification of actions and implementation and monitoring of the identified actions.*

*The management of the land and the activities on the site must be conducted in accordance with the endorsed plan at all times to the satisfaction of the Responsible Authority.*

**9. An Annual Report against the requirements of the endorsed Land Management Plan must be prepared and submitted to the Responsible Authority for the first five years following completion of the development hereby permitted, and thereafter at the reasonable request of the responsible authority. Reports are to be submitted prior to the anniversary date of the endorsement of the Land Management Plan. The following must be included:**

- a. Permit holder.*
- b. Planning permit number.*
- c. Reporting year (1-5).*

- d. Date report is submitted.*
- e. Who completed the report.*
- f. Condition of site against each management commitment.*
- g. Actions taken during the year to achieve the management commitment.*
- h. Photographs which clearly depict management actions undertaken for the previous year.*

***Service Infrastructure report***

- 10. Prior to commencement of the development, an updated Service Infrastructure Report, to the satisfaction of the Responsible Authority, must be submitted to and approved by the Responsible Authority. Any plans must be to scale and with dimensions, and three copies of the Service Infrastructure Report must be provided. When approved, the Service Infrastructure Report will be endorsed and will then form part of the permit. The plan must be generally in accordance with the Service Infrastructure Report submitted with the amended application by Irwin Consult dated 10 May 2018 but modified to commit to the provision of an appropriate solar panel system to service the site and detail a time frame for provision.***

***Construction Management Plan***

- 11. Before the development starts a Construction Management Plan to the satisfaction of the Responsible Authority must be submitted and approved by the Responsible Authority. When approved the plan will be endorsed and form part of the permit. The plan must address the following matters:***
- a. Management of stormwater during construction to avoid pollution through the contamination of runoff by chemicals, sediments, wastes or pollutants in accordance with 'Best Practice Environmental Management Guidelines for Stormwater Management and Construction Techniques for Sediment Pollution Control' (EPA).*
  - b. Measures to minimise the impacts of construction vehicles arriving and departing from the lan.*
  - c. Measures to accommodate private vehicles of workers/tradespersons.*
  - d. Details of the construction equipment and facilities, including delivery points, storerooms, toilets, temporary offices and workers facilities.*
  - e. Noise attenuation measures to be put in place to protect the amenity of the surrounding area during construction having regard to the EPA Guidelines on Construction and Demolition Noise.*
  - f. Measures to minimise the generation and dispersal of dust.*
  - g. Details of a 24 hour hotline for access to a project manager accountable for the project and compliance with the Construction Management Plan.*
  - h. Arrangements for waste collection and other services during construction.*

**Waste Management Plan**

**12. Before the development starts a Waste Management Plan to the satisfaction of the Responsible Authority must be submitted and approved by the Responsible Authority. When approved the plan will be endorsed and form part of the permit. The plan must address the following matters:**

- a. Arrangement for the storage and collection of waste.**
- b. Collection times and frequency.**

**Native vegetation and Landscaping**

**13. Within 12 months of the occupation of the development, or by such later date as is approved by the Responsible Authority in writing, the landscaping works shown on the endorsed plans must be completed to the satisfaction of the Responsible Authority. The landscaping must thereafter be maintained to the satisfaction of the Responsible Authority, including that any dead, diseased or damaged plants are to be replaced.**

**14. The removal of native vegetation must be in accordance with the endorsed plan and as identified in the Biodiversity Assessment report Ecology and Partners Pty Ltd May 18 to the satisfaction of the Responsible Authority.**

**15. In order to offset the removal of 2.95 hectares of native vegetation approved as part of this permit, the applicant must provide a native vegetation offset that meets the following requirements and is in accordance with the Permitted Clearing of Native Vegetation – Biodiversity Assessment Guidelines and the Native Vegetation Gain Scoring Manual.**

**The offset must:**

- a. Contribute gain of 0.500 general biodiversity equivalence units.**
- b. Be located within the Corangamite Catchment Management Authority boundary or Colac Otway municipal district.**
- c. have a strategic biodiversity score of at least 0.661.**

**16. Before any native vegetation is removed, evidence that an offset has been secured must be provided to the satisfaction of the Responsible Authority. This offset must meet the offset requirements set out in this permit and be in accordance with the requirements of Permitted Clearing of Native Vegetation – Biodiversity Assessment Guidelines and the Native Vegetation Gain Scoring Manual. Offset evidence can be either:**

- a. A security agreement, to the required standard, for the offset site or sites, including a 10 year offset management plan.**
- b. A credit register extract from the Native Vegetation Credit Register.**

**17. In the event the offset is provided through a security agreement:**

- a. Prior to vegetation removal, an offset plan showing appropriate offsets to compensate for the losses must be submitted to and approved by the Responsible Authority. Three copies of the plan must be provided. When approved, the plan will be endorsed and will then form part of this permit.**

- b. Every year, for ten years, after the Responsible Authority has approved the offset management plan, the applicant must provide notification to the Responsible Authority of the management actions undertaken towards the implementation of the offset management plan. An offset site condition statement, including photographs must be included in this notification.*
- 18. Before any site works start, tree protection fencing must be erected for a distance of at least 2 metres (trunk) around the native trees to be retained at the site and in the road reserve. The tree protection fencing must be maintained in good order throughout the entire construction period and no soil or building materials is to be placed within the tree protection zone.*
  - 19. Vegetation removal and disposal must not cause damage to vegetation stands to be retained, to the satisfaction of the Responsible Authority.*
  - 20. Unless otherwise approved by the Responsible Authority, no earthworks or construction activity is permitted to take place within 30 metres of the waterway.*

***Landslip and Geotechnical***

- 21. The approved development must be carried out on the site in accordance with the recommendations of the Geotechnical Assessment and Landslip Risk Assessment by Golder & Associates or any Geotechnical Practitioner engaged to review those assessments submitted with the application.*
- 22. All bored piers, site cuts and excavations must be inspected by a qualified geotechnical engineer during construction and the profiles documented. A copy of the profiles must be lodged with the Responsible Authority within thirty days of inspection.*
- 23. Within three months of completion of the building, a Geotechnical Engineer must be engaged to inspect the site and confirm in writing to the Responsible Authority that the stability of the land under the conditions of its intended use is acceptable as defined in the Australian Geomechanics Society Landslide Risk Management Guidelines dated March 2000. In the event that the works are not acceptable as defined, details of corrective measures must be submitted to and approved in writing by the Responsible Authority. Any such measures must be implemented within 1 month of approval being given by the Responsible Authority, unless an alternative timeframe is agreed in writing by the Responsible Authority.*

***Maximum building height - RL***

- 24. The maximum building height of the main hotel building must not exceed RL102.8 to the observatory in accordance with the endorsed plans and to the satisfaction of the Responsible Authority.*

***Surveyor's certificate – set out and frame***

- 25. Written statements from a licensed surveyor must be submitted for approval to the Responsible Authority confirming:*
  - a. That the buildings have been set out in accordance with the endorsed plan; and*
  - b. That the roof levels will not exceed the roof levels specified on the endorsed plan.*

*The statements shall be submitted to the responsible authority at completion of the set out of the building and at completion of the frame of the building.*

***Car parking and accessways***

**26. Before the occupation of the development internal road and accessways must be constructed in accordance with the endorsed plans.**

**27. Before the occupation of the development, the area(s) set-aside for the parking of vehicles and access lanes as shown on the endorsed plans must be:**

- a. Constructed.**
- b. Properly formed to such levels that they can be used in accordance with the plans**
- c. Surfaced with an all-weather-seal coat or crushed rock surface as indicated on the endorsed plans.**
- d. Drained.**
- e. Clearly marked to show the direction of traffic along access lanes and driveways.**
- f. Properly illuminated with lighting designed, baffled and located to the satisfaction of the Responsible Authority to prevent any adverse effect on adjoining land to the satisfaction of the responsible authority.**

***Car spaces, access lanes and driveways must be kept available for these purposes at all times.***

***Loading and unloading***

**28. The loading and unloading of goods from service vehicles must only be carried out on the land within the designated loading bay and must not disrupt the circulation and parking of vehicles on the land to the satisfaction of the Responsible Authority.**

**29. The loading bay must remain free for the purpose of loading and unloading at all times.**

***Stormwater runoff***

***All runoff from stormwater, including overflow from water storage, must be undertaken in accordance with the Stormwater Drainage and Waterway Management report by Irwin Consulting dated 9 May 2018 to the satisfaction of the Responsible Authority.***

**31. The site must be developed and managed to ensure there is no stormwater pollution through the contamination of runoff by chemicals, sediments, wastes or pollutants in accordance with 'Best Practice Environmental Management Guidelines for Stormwater Management and Construction Techniques for Sediment Pollution Control' (EPA) at any time during construction or operation, to the satisfaction of the Responsible Authority.**

***Public address system***

**32. No public address or sound system shall be used on the subject land except one which is audible only within the building on the land unless in an emergency.**

***Noise control***

**33. Noise levels emanating from the premises must not exceed those required to be met under State Environment Protection Policy (Control of Music Noise from Public Premises), No. N-2.**

**Hours of operation**

**34. The main restaurant and wellness centre available to guests and the public hereby permitted must operate only between the hours of:**

- **6am to 10pm from Monday to Sundays and public holidays**

**General Amenity**

**35. The use and development must be managed so that the amenity of the area is not detrimentally affected, through the:**

- a. Transport of materials, goods or commodities to or from the land.**
- b. Appearance of any building, works or materials.**
- c. Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil.**
- d. Presence of vermin.**

**Maximum seating**

**36. No more than 150 seats may be made available at any one time to patrons of the main restaurant on the premises that is available to guests and the public, unless otherwise approved in writing by the Responsible Authority.**

**DEPARTMENT OF ENVIRONMENT, LAND, WATER AND PLANNING CONDITIONS**

**To be confirmed**

**CFA CONDITIONS:**

**Bushfire Management Plan endorsed**

**37. The Bushfire Management Plan at Section 6/Map 4, pages 20, 21, 22 (of the Bushfire Management Statement prepared by South Coast Bushfire Consultants and dated 4 July 2017) must be endorsed to form part of the permit and must not be altered without the written consent' by the CFA and the Responsible Authority.**

**38. A fire fighting system for both structural and bushfire use (BMO) will be provided at the site and will include a water supply/supplies, fire pumps, ring main, sprinkler system, booster system, hydrants, fire hose reels etc. All systems will be installed at the subject site "to the satisfaction of CFA". This also includes fire fighter vehicular and pedestrian access to the equipment including booster point, fire pumps, hydrants, fire hose reels etc.**

**39. Access to, and around the complex including roads, bridges etc, shall provide fully compliant access for the full range of CFA appliances that would normally be expected to respond to a fire call at the facility from Slip on Units with a weight capacity of 3.9 Tonnes, Tanker at 15 Tonnes and Pumpers at 18 Tonnes +. Access arrangements for the site will be "to the satisfaction of CFA".**

**40. CFA recommends that Emergency Management Plans (EMP) are developed in line with AS 3745: Planning for emergencies in facilities, in relation but not limited to emergency prevention, emergency preparedness, and emergency mitigation. Emergency Plans will be developed for the site "to the satisfaction of CFA".**



41. *Before the approved development commences under this permit, a Bushfire Emergency Plan (BEP) to the satisfaction of the Responsible Authority and CFA must be submitted to and approved by the Responsible Authority. When approved the plan will be endorsed and will then form part of this permit. The plan must be generally in accordance with the submitted Bushfire Management Statement and satisfactorily address the following matters:*
- a. *The Fire Danger Rating triggers for the closure of the facility.*
  - b. *Monitoring and notifying staff and visitors of forecast Fire Danger Rating and any consequential actions.*
  - c. *Details of the location/s for emergency assembly, evacuation and shelter-in place (in the event that evacuation from the site is not practicable).*
  - d. *Transport arrangements for staff and visitors.*
  - e. *The need for any additional arrangements for persons with special needs.*
  - f. *Training of staff, visitors and overnight guests on emergency procedures.*
  - g. *The nature and frequency of emergency procedure exercises.*
  - h. *Emergency procedures (bushfire action statements) including the assignment of roles and responsibilities to staff. This must include assigning responsibility for the:*
    - i. *Management and oversight of emergency procedures.*
    - ii. *Training of employees in emergency procedures.*
    - iii. *Reviewing the effectiveness of emergency procedure exercises and implementing procedure improvements.*
    - iv. *Accounting for all persons during the emergency procedures.*
    - v. *Monitoring and review of the BEP at least annually.*

***Mandatory condition***

42. *The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply, and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed.*

**BARWON WATER CONDITIONS**

***General***

43. *The plan of subdivision must be referred to Barwon Water in accordance with the Subdivision Act 1988 and any subsequent amendments to the plan provided to Barwon Water.*
44. *The owner shall create easements for Pipelines or Ancillary Purposes in Favour of Barwon Region Water Corporation.*

45. *For the economical and efficient servicing of this development, Barwon Water may require the owner or permit holder to acquire an easement through other land in the vicinity of this development not owned by the applicant to connect this development to Barwon Water sewerage system. This clause empowers the permit holder to acquire these easements compulsorily on behalf of Barwon Region Water Corporation in accordance with section 36 of the Subdivision Act 1988.*
46. *These easements shall be for Pipelines or Ancillary Purposes and shall be made in favour of and without cost to Barwon Region Water Corporation; that is, the owner or permit holder shall pay all costs associated with creating these easements including payment of any compensation to other land owners for the easements.*

#### **Potable Water**

47. *The provision and installation of a potable water supply to the development.*
48. *Reticulated potable water mains are required external to the land. This work must be undertaken by a Barwon Water accredited Consultant and accredited Contractor following the "Developer Works" process.*
49. *Private internal water services are required. Provision of private services is subject to the land owner entering into a Water Supply by Separate Written Agreement with Barwon Water.*
50. *Metering of water supply to the development is required to the satisfaction of Barwon Water and to be determined at the time a Developer Deed is issued.*
51. *The payment of a standardised New Customer Contribution is required for any new connection or any upsize to an existing connection. The number of standardised charges applied will be determined on the basis of an equivalent lot calculation and is based on potable domestic water meter size or water service size (where a meter is not being fitted). An equivalent lot is a measure of the additional demand a connection will place on the infrastructure in terms of the water consumption and sewage discharge for an average connection utilising a 20mm tapping and/ or meter. If there is more than one meter within a single meter assembly, the size of the largest meter (excluding the fire service meter) will determine the number of equivalent connections. If there is a combined fire and domestic meter assembly proposed (incorporating a low flow meter), whereby the meter size is largely dictated by the fire service requirements, the developer is required to submit to Barwon Water the proposed peak flow (probable simultaneous demand) associated with the domestic supply in accord with AS/NZS 3500. Barwon Water will then assess the equivalent number of connections.*

#### **Sewer**

52. *The provision and installation of a sewerage service to the development.*
53. *Reticulated sewer mains are required external to the land. This work must be undertaken by a Barwon Water accredited Consultant and accredited Contractor following the "Developer Works" process.*
54. *Private sewer services are required and subject to a Sewer Supply by Separate Written Agreement with Barwon Water. Private services are to comprise of a sewer pump-station within the land, and rising main to the reticulation sewer connection point, and internal sewer*

*mains within the land.*

**Note: The developer is to apply to Barwon Water for details relating to servicing requirements and costing for the provision of a potable water supply and where applicable, recycled water and/or sewerage services to the subdivision.**

**Expiry of Permit**

**55. This permit will expire if one of the following circumstances applies:**

- **The development, including vegetation removal, and/or use is not started within four years of the date of this permit.**
- **The development is not completed within six years of the date of this permit.**

**In accordance with section 69 of the Planning and Environment Act 1987, an application may be made to the Responsible Authority to extend the periods referred to in this condition.**

**Notes:**

**Health Requirements**

**The premise is required to comply with all State Legislation, in particular the Health (Eating House and Food Premises) Regulations 1984. Trading must not commence until the prior approval of Council's Environmental Health Officer has been obtained and the registration of the property under the Food Act 1984 has been completed.**

**Liquor Licence required**

**The provision and or consumption of liquor within the development hereby permitted must not commence until such time as a Liquor Licence has been issued, pursuant to the Liquor Control Reform Act 1988, as amended.**

## **4. BACKGROUND / KEY INFORMATION**

### **BACKGROUND**

The subject land was rezoned by the Planning Minister in 2009 (following adoption by Council in October 2008) to the Rural Activity Zone from Rural Conservation Zone with the objective of facilitating tourism development in the hinterland of Apollo Bay. The land also features many overlays including the Significant Landscape Overlay Schedule 3 (SLO3), Erosion Management Overlay Schedule 1 (EMO1), Environmental Significance Overlay Schedule 3 (ESO3), Bushfire Management Overlay (BMO) and Land Subject to Inundation Overlay (LSIO).

The current planning application has been lodged to take advantage of the zoning and deliver a tourism product to service the Great Ocean Road with the aim of having visitors stay longer in the region.

The original application had a Stage 1 component of a 180 room hotel with 82 villas, with no detail on 60 of the villas proposed, and a Stage 2 involving a hotel extension and a further 140 villas.

The amended application involves a 180 room hotel and 82 villas used in conjunction with the hotel and does not include any further staged development. Many of the villas have been relocated to be sited along a central drainage line through the site.

The proponent has submitted a socio economic report with the amended application that suggests it will support 185 FTE jobs during construction and provide 312 direct, ancillary and indirect jobs for its ongoing operation.

The proposal is of a significant scale and has raised concerns from the local community relating to potential impacts ranging from infrastructure provision to amenity and character impacts.

Council at its meeting of 22 November 2017 resolved to request the Minister for Planning to call in consideration of the application, pursuant to Section 97 of *the Planning and Environment Act 1987*, on the basis that the proposal raises significant issues in relation to State policy related to regional development and tourism development. The Minister accepted this request and is now the Responsible Authority for determining the application. The Minister has established an independent Panel to provide a recommendation on the proposal. The Panel has indicated that a hearing will be convened over 7-10 days commencing on 12 September 2018 to hear from all parties.

## **KEY INFORMATION**

### **Proposal**

The amended proposal involves the following key elements:

- Residential tourist accommodation including:
  - 180 hotel style rooms
  - 82 villas used in conjunction with the hotel located to the north, west and south of the main hotel.
- Hotel facilities including a bar, an all-day dining restaurant, a main restaurant, retail tenancies and an observatory.
- A wellness centre and a 25-metre swimming pool.
- Staff accommodation.

Further details of the amended application include the following:

- The main hotel building would be located to the western side of the site (near the existing dam) and staggered down the contours of the site. The main hotel building appears to have a maximum height of 12 metres to the observatory roof.
- 11 villas are to be located to the north of the main hotel building. The villas are proposed to be single storey and contain two bedrooms each.
- 11 villas are to be located to the west of the existing dam. These villas are also to be single storey and contain two bedrooms.
- Another 60 villas are proposed to the southern side of the main designated waterway through the centre of the site. These villas will consist of 15 one bedroom villas and 35 two bedroom villas and 10 three bedroom villas.
- The arrangement of villas allows for 159 bedrooms.
- It is estimated the site would provide for capacity of approximately 880 people at peak occupancy and with staff present.
- Buffers of 30 metres on each side of the designated waterways are to be provided to allow for revegetation and natural management of these areas.

- Access to the site will be via upgrades to the existing internal access road and creation of further access to proposed hotel and villas. Access to the site from Apollo Bay and the Great Ocean Road would be via Nelson Street and Barham River Road.
- The proposal seeks to provide 50 sealed parking spaces to the west of the main hotel building and relies on 45 sealed car parking spaces and 8 bus parking spaces to the eastern side of the hotel building, down the slope, near the maintenance areas. There is also 137 crushed rock “overflow” spaces provided for in that area. It is understood from the information submitted with the amended application that “buggies” would be provided to transport people from buses from these parking areas “up the hill” to the main hotel building.
- The proposal relies on the villas having between one to two car parking spaces depending on the number of bedrooms.
- The site is proposed to be serviced via reticulated water, sewer and power. These services will need to be extended to the site and servicing authorities have provided support for that to occur.
- Existing vegetation both exotic and native is to be maintained as part of the project beyond the development areas and additional revegetation is proposed along parts of gullies and along the western boundary. An area of 2.8 hectares of native vegetation is to be removed. The majority of this is replanted vegetation. Part of this vegetation removal includes a potential 100% removal along some gullies to manage bush fire risk however 100% vegetation removal is not proposed and only thinning of canopy is required.
- A traffic report has been submitted with the amended application that relies on 75% of visitors to the hotel arriving by bus and detailing that the Barham River Road can accommodate the additional traffic anticipated without any further works.

### **Subject Land and Surroundings**

The land is located approximately 3.6 km south west of the town of Apollo Bay and takes access from Barham River Road.

The subject land consists of two parcels and has a total area of 104.6 hectares. The land rises from the Barham River Road and the highest point to the south west corner of the site is approximately 106 metres higher than the frontage of the site to Barham River Road. The land features three gullies running through the site with the larger of these located centrally on the site nominated as a designated Waterway under the *Water Act 1989*. Another gully to the south west corner is also designated as a waterway. A large dam is present towards the higher portion of the western side of the site. The land is substantially cleared although pockets of vegetation, both remnant and planted, exist on site. The land is currently developed with a dwelling to the south east corner of the site and a Reception Centre use and development operates from the site also. Planning Permit PP433/99b issued in 2000 allowed use of the site for a Licensed Restaurant (Café), Winery, Rural Industry and Primary Produce Sales, and Place of Assembly (Tourist Related Displays & Activities).

North of the site is the Barham River Road and Barham River valley. Land at 303 Barham River Road projects into the subject land and contains an existing dwelling. North of the site to the western side also includes properties with access from the Old Horden Vale Access Road and a dwelling is present on 30 Old Horden Vale Access to the north. West of the subject land are properties with access to the Old Horden Vale Road. Land to the south of the site features properties with access from Alice Court and the Great Ocean Road. East of the site are properties with access to Conns Lane, Telfords

Access and Barham River Road. East of Conns Lane is land associated with residential development along Ocean Park Drive and the Apollo Bay airstrip.

Private land to the north and south is zoned Rural Conservation Zone and land immediately abutting the site to the east and west is zoned Rural Activity Zone. The Barham River, and Barham River Road in places, is zoned Public Conservation and Resource Zone to the north.

## **Referrals to Internal Departments & External Agencies**

Referrals occurred of the original application to external agencies and internal departments of Council. The Panel is conducting referral of the amended application to external agencies, but officers have referred the amended proposal to internal departments. Outlined below are comments as received to date relevant to the amended proposal/original proposal (external agencies).

### Internal Referrals

#### Capital and Major Projects Department

Council's engineering area provided advice through suggested conditions and raised issues related to more car parking being provided closer to the main hotel building.

In terms of the parking arrangements and likely traffic impacts a peer review of the traffic report has been undertaken by GHD and the feedback received is referred to later in the report.

#### Environment Department

Council's environment officers reviewed the original documentation submitted with the application concerning vegetation removal and general environmental impacts. No objection was provided and a list of suggested conditions related to environmental management, stormwater and construction management have been provided and referenced in the recommendation and draft conditions.

Council's environment officers have reviewed the amended proposal and suggested the increased vegetation removal associated with the amended proposal, particularly along gullies needs to be carefully considered. This issue is addressed in other parts of the report.

#### Recreation and Open Space

Advice was received from Council's Recreation and Open Space officers concerning the possible development of a path in Barham River Road as part of the application in reference to previous pathway feasibility work undertaken by Council. Whilst such a pathway in Barham River Road appears conceptually possible the detail of such a design will need more investigation however the reference to provision of such a pathway has been included in the recommendation.

Discussions internally also involved waste management officers and economic development officers who have provided information to assist with the assessment of the proposal and offered no objections.

### External Referrals

The original application was referred under Section 55 of the *Planning and Environment Act 1987* to the following external agencies and their role and responses are noted below with reference to the amended application where possible. The specific comments from agencies concerning the amended

application, other than Barwon Water, have not been received at the time of writing this report – they will be directed to the Panel in the first instance.

Barwon Water under the Environmental Significance Overlay Schedule 3 (determining referral authority)

Barwon Water has confirmed the amended proposal can be serviced by reticulated water and sewer and extension of these services to the site will be public assets and at the developer's costs. Conditions reflecting this outcome have been provided by Barwon Water via letter of 27 July 2018 and included in the draft conditions.

Country Fire Authority under the Bushfire Management Overlay (determining referral authority)

The CFA offered no objection to the original proposal and has provided conditions relevant to the Bushfire Management Plan submitted with the original application. The conditions from the CFA have been included in the draft conditions.

Corangamite Catchment Management Authority (CCMA) under Land subject to Inundation Overlay (recommending authority)

The CCMA made comment on the original proposal under the Land subject to Inundation Overlay. The CCMA are a 'recommending' referral authority for the small area of works proposed for access into the site which are affected by the overlay. Only a very small proportion of the site is affected by the overlay. The CCMA provided advice that a Flood Impact Investigation report should be undertaken to understand access issues during flood events along the Barham River Road and a Stormwater Management Plan. The delivery of a Flood Impact Investigation in relation to the Barham River Road is considered significant work in relation to the overall catchment. Such information has not been provided nor required by the Advisory Panel. The applicant has provided an Emergency Management Plan (EMP) as part of the amended application. The EMP outlines emergency procedures to be managed by the operator of the proposal in the event a permit was granted. The EMP also relies on alternative access along the Old Horden Vale Road and a new road to the site from the Great Ocean Road both of which need separate statutory approvals and are not part of the current detailed assessment. The draft conditions have included reference to an updated EMP that does not rely on the alternate access roads.

In the event the development was approved any works to widen Barham River Road would potentially require a planning permit under the Land subject to Inundation Overlay and formally involve the CCMA again as a recommending referral authority.

Transport for Victoria

The original application was also referred to Transport for Victoria under Clause 66.02-11 Integrated Public Transport Planning. Transport Victoria confirmed no objection to the proposal and offered no conditions.

Advice on the application was also sought under the Section 52 public notice provisions of the Act to the following agencies:

Vic Roads

Vic Roads was consulted concerning traffic access from the Great Ocean Road to the site. Vic Roads provided a written response offering no objection to the proposal.

#### Department of Environment, Land, Water and Planning (DELWP)

The flora and fauna and native vegetation removal report were forwarded to DELWP for comment. The original level of removal did not trigger a formal referral to DELWP. A response was received indicating no objection to the original proposal.

The amended application increases native vegetation removal and DELWP will become a formal "Recommending" referral authority.

#### **Decision Options**

In the normal processing of a planning application Council has the options of:

- a) Issuing a Notice of Decision to Grant a Permit subject to conditions; or
- b) Refusing to grant a permit on specified planning grounds.

Now that the Planning Minister has agreed to Council's request to call in the determination of the application under Division 6 of Part 4 of the Planning and Environment Act 1987 and has become the Responsible Authority for making a decision, Council is unable to make this formal decision itself.

The Minister has indicated that the process will be as follows:

1. Council as the 'referring responsible authority' must comply with any directions of the Minister and provides all relevant documents relating to the permit application to DELWP. This has occurred.
2. An independent Planning Panel appointed by the Minister will consider lodged submissions/objections, hear all the parties in the matter, and submit a report and recommendations to the Minister.
3. The Minister considers the Panel's report and determines the permit application. ie. the Minister grants the permit subject to conditions and issues the permit, or refuses to grant the permit on specified ground/s.
4. The Minister gives notice of the decision to all parties in the matter - noting that this decision is final and is not subject to the normal merits review process of the Victorian Civil and Administrative Appeals Tribunal.

If a permit is issued Council would become the Responsible Authority again for the administration and enforcement of the permit, except that the Minister would remain the Responsible Authority in respect of any subsequent amendment and/or correction of the permit, request for extension of time for the permit, and any matters which the permit specifies to be done by/to, or approved by/to the satisfaction of the Minister.

Whilst the Minister is now the Responsible Authority for the amended application, it is important that Council consider the merits of the current application and submissions which have been received in relation to it. Council will be responsible for advocating its position on the application at the Panel hearing that is being scheduled. It will be important that Council identifies its support or otherwise for the proposal, and what conditions it should be supported under, or grounds under which it should be refused.

This report outlines an officer assessment of the proposal and provides Council with a recommendation to form such a position.

An approved Cultural Heritage Management Plan (CHMP) for the site is still outstanding and in accordance with Section 52 of *the Aboriginal Heritage Act 2006* the Minister (as the Responsible Authority) cannot undertake a formal decision on the application until that is completed which has been noted by the Advisory Panel.



## **FURTHER SUPPORTING INFORMATION**

### **5. COMMUNITY CONSULTATION & ENGAGEMENT**

The original application was placed on public notice on 22 September 2017, with the notice period ending on 24 October 2017. The original application received over 181 objections and 14 letters of support.

A number of original objectors are party to the current Advisory Panel process. The amended application has been re-notified to all the original submitters and to adjoining land owners. Public referral agencies have also been notified of the amended proposal. All original submissions received to the application will still be considered and submitters are able to provide additional submissions via the re-notification process. The re-notification process ended on 27 July 2018. DELWP will be collating the submissions and circulating a summary of issues raised to the Panel and other parties. It is understood 113 submissions raising similar issues to those originally raised have been received to date.

The key themes of the original submissions with officer's comments in context to the amended application are detailed below:

**Negative impact on the character of the Apollo Bay and the surrounds by detracting from the authentic, seaside village context and will conflict with the unique elements of the Apollo Bay.**

#### Comment

The proposal does introduce a new element into the context of Apollo Bay in terms of scale and use. Such change does need to be carefully considered in relationship to the existing character and features of the locality. The amended application has confirmed a scale aligned with Stage 1 of the original application.

The proposed use seeks to support the current tourism opportunities along the Great Ocean Road with an intent to have visitors to the region stay longer and use the proposed hotel as a base for exploring existing tourist sites in the area. The proposal seeks to do this at a scale that is not currently evident in the area.

Apollo Bay currently experiences significant visitation through domestic and international tourists as part of the experience of the Great Ocean Road. Visitation includes the township being a focus for lunch stops as part of long day bus tours from Melbourne. The proposal seeks visitors to stay longer in the area as opposed to travelling through. The principles of having more diverse accommodation offers to allow people to stay for longer periods along the Great Ocean Road is referenced in State and Local policy.

The Council Plan 2017 – 2021 specifically states the following action to “*Facilitate the attraction of investment in the development of high standard accommodation in Colac and Apollo Bay, complemented by high yielding nature based experiences.*” The proposal seeks to provide 4.5 star rated accommodation with targeted links to the natural experiences the location can offer visitors.

The “Strategic Master Plan for the Visitor Economy of the Great Ocean Road 2015-2025” facilitated by Great Ocean Road Regional Tourism (GORRT) identifies the importance of providing a range of tourism accommodation to support visitors to the Great Ocean Road region. The Strategic Master Plan identifies that growth in the visitor economy could see it be the largest employer in the region

into the future, and critical to supporting such growth is the provision of suitable integrated resort accommodation to ensure visitors stay longer in the region. The proposed development seeks to provide accommodation at a level consistent with the Strategic Master Plan and to attract visitors to stay longer (and with greater opportunity for year round visitation) through experiences offered by the development and links to existing tourist experiences in the region.

The Rural Activity Zone was applied to the land in 2009 to facilitate tourism opportunities to service the area. The C55 Panel report that analysed the application of the Rural Activity Zone suggested the policy guidance that has been included in the schedule to the zone related to the subject land and made reference to extending the Rural Activity Zone further to the south. The schedule to the zone confirms that the zoning is intended to facilitate commercial, tourism or recreational development that complement agricultural pursuits, landscape features and natural attractions of the area. The proposal seeks to integrate into the rural hinterland of Apollo Bay and provide visitors with a base to enjoy the recreational and tourism attractions of the area and allow visitors to experience the agricultural and environmental context of the area through features planned for the site.

The separation of the subject land from the main township of Apollo Bay helps ensure the proposal does not physically impact on the Great Ocean Road or the Apollo Bay township and can operate from the rural hinterland with connection to Apollo Bay. Such an outcome can help maintain the seaside village character of Apollo Bay whilst allowing for a form of accommodation currently not provided for in the region but specifically identified as being of benefit to the region via the Strategic Master Plan.

**The height and scale of the proposed development is inconsistent with the natural setting and purpose of the Rural Activity Zone including impacts of lighting of the development at night.**

#### Comment

The amended application has altered the context of the main hotel building design. The key changes have been to cut the building form into the site further and separate the main elements of the hotel buildings. The amended design also captures landscaped roof areas of the parts of the hotel building to allow the building to integrate into the landscape further and confirms the distribution of the proposed villas across the site.

A design process review by an independent expert has been provided with the amended application that seeks to confirm the changes made have had consideration of the site and its context further to advice from the Victorian Design Review Panel.

The highest feature of the proposed development relates to the observatory element of the main hotel building at 12 metres, located on the eastern side and the main foyer area. The two levels of guest rooms to the north of the main hotel and the villas have heights of 6 to 8 metres.

The main hotel buildings are sited to the western side of the site and whilst in elevated locations, the buildings are proposed to follow the contours of the land and sit below the ridgeline behind the site. The site has an area of over 104 hectares and the overall building coverage in the amended application, at 1.9%, is not considered to be overbearing to the surrounding landscape. There are current building forms within the Barham River valley including houses and farm sheds. The proposal will provide for a more prominent built form within the broader valley however the siting and materials/colours will help the building sit into the context of the area and ensure the natural features and topography remain the dominant landscape elements of the valley view.

Officer assessment of the photomontages submitted with the amended application indicates that the proposal will likely not have a significant visual impact from the Great Ocean Road to the east. However it is noted that the methodology used to create the photomontages is not explained and does not appear to be based on best practice applied in VCAT and planning panel processes. This methodology should be clarified through the Panel process to ensure that impacts would not be higher than shown. The landscape visual assessment should also be broadened to include further viewpoints, such as the southern section of the Great Ocean Road in Marengo, where it is possible that views may be enjoyed over the subject land. Subject to clarification of methodology and additional viewpoints being assessed as being appropriate, the proposal is considered likely to be acceptable in the landscape. Further detailed analysis of this issue should occur as part of the Panel process to ensure the development would have an acceptable landscape impact. Ultimately, the assessment of this issue will need to take into account the Panel's findings.

The building's height and scale has been compared to the RACV resort at 1 Great Ocean Road Torquay. The RACV building contains 92 rooms and is 19 metres at its highest point and allows for a five-storey form on a much smaller site. The context of that building, within a settlement such as Torquay, is different to the proposed development on a larger rural site with a predominate 2-3 storey form. The amended application has sought to imbed the building into the land to soften the appearance of the buildings.

Concern has been raised about the impact of lighting of the facility at night and the impact this will have on wildlife and the landscape setting. There is no specific reference in policy about lighting of facilities however general reference to the importance of protecting landscape elements is regularly referenced. It is noted that the proposal does have the potential to create a significant light source within the valley at night. The overall design intent of the proposal includes reference to enjoying the night skies of the location and the observatory aims to capture some connection to that element. In this sense reducing and minimising light from the premises will be important both to respect the overall setting and allow some of the elements the site can offer visitors to be enjoyed.

The additional information submitted with the amended application has provided a general overview of limited and low level lighting to be used on the site however no specific detailed lighting plan has been provided. Such detail is considered reasonably required via permit condition, in the event such was granted, and has been included in the draft conditions.

**The proposal will create unreasonable traffic impacts and the evidence about traffic impacts supplied with the application is based on unrealistic assumptions in terms of length of stay and how people will access the site.**

#### Comment

The amended application has been supported by a traffic report by the Traffix Group outlining assumptions that have informed analysis of parking and traffic access to the site. The report draws the following conclusions:

- The amended proposal will provide 274 car parking spaces based on 0.6 parking space per hotel room, 2 spaces per 2 and 3 bedroom villas and 1 space for one bedroom villas, 5 spaces for the wellness centre and 12 spaces for the restaurant.
- Traffic generation is anticipated at 250 vehicles trip ends per day. This is based on packaged tours serving the main hotel with 75% of patrons arriving by bus with an average stay of 3 nights.

It is understood that the assumptions for the longer night stay and packaged tour bus travel to the site is based on the context of the development providing for longer stays by visitors consistent with forecast growth opportunity for such in the Strategic Master Plan for the Visitor Economy of the Great Ocean Road 2015 – 2025.

Council commissioned a peer review of the Traffix report for the amended application by GHD which has confirmed the following:

- The provision of 50 car parking spaces to service the main hotel building and uses within it such as the restaurant, wellness centre and swimming pool, is considered to be insufficient. It is recommended 122 car parking spaces be provided to service the main hotel building and these should be accessible and positioned close to the main hotel building.
- Parking proposed for the hotel villas is acceptable.
- Analysis has occurred to look at the impact of alternative scenarios with different assumptions than the Traffix Report which relies on 75% bus visitation. The scenarios looked at were 50% bus visitation, 25% bus visitation or all access by cars. This analysis has suggested that in the 75% bus visitation scenario the likely traffic generation was 340 plus vehicle trips per day which is higher than the 250 vehicle trips anticipated in the Traffix report. In a worst case scenario, where no buses were used, it is likely that up to 558 or more vehicle movements per day would be associated with the site.
- Peak vehicle movements are likely at key points of the day from general movement to and from the site and uses such as the restaurant.
- Anticipated vehicle movement plus existing daily vehicle traffic on the Barham River Road suggests the road pavement on Barham River Road should be widened to 6.2 metres with 1.5 minimum shoulder width with a recommended auxiliary left turn lane to help manage larger vehicles accessing the site.

Traffic volume data collected in January/February 2018 indicates that Barham River Road currently carries up to 650 vehicles per day during busy periods with typical peak volumes being around 50 to 60 vehicles per hour.

Council's engineers have also confirmed that the Barham River Road will need widening in areas, from the current 4.8 - 5.3 metres (the current road varies in width), to allow for anticipated traffic. This cost would be borne by the applicant. This element has been included as a suggested permit condition in the draft conditions.

The opportunity of widening Barham River Road in part also provides an opportunity to include a path access along the Barham River Road to Apollo Bay to facilitate bicycle movement to and from the site. Such a feature will also ensure that broader community movement along this section of Barham River Road can occur with separation from the road pavement. A permit condition has been recommended to include such an outcome.

It is noted that additional traffic is also anticipated along Nelson Street however the increase in traffic is not considered beyond the capacity of the road. There are a number of residents in Nelson Street, and a lesser number of houses in McLachlan Street and Barham River Road which would experience higher volumes of traffic than at present, and this will have an impact on the current levels of amenity for those residents. Whilst this is not desirable, there are no other currently available alternative routes to the site which would reduce the amenity impact for residents in Apollo Bay overall. On balance, it is considered that this impact can be accepted when balanced

with the zoning of the site which encourages a form of tourist development on it and the traffic increases can be accommodated by the road network.

Overall analysis of traffic impacts, including consideration of updated traffic counts on the road access network over the Australia Day long weekend 2018, has suggested that with improvements to Barham River Road the traffic increases can be managed for this application.

**The proposal will unreasonably impact on services such as water, sewer, power, phone and internet access which are already at capacity**

Comment

The impact of the proposal on key services is an important consideration. The proposal will rely on existing essential services being provided to the site and will augment supply where such is needed to ensure service provision to the greater area is not impacted. An outline of service provision is detailed below:

*Water and Sewer*

It is proposed that the site will be serviced by reticulated potable water and sewer. Barwon Water has confirmed that the former Stage 1 development, which generally aligns with the proposed amended application, can be accommodated by existing capacity. Barwon Water had planned an upgrade to the water supply for Apollo Bay in 2024 based on worse case climate conditions. The proposed development will shift that forward to 2023. Barwon Water has advised that investigations into water supply options with the broader community will commence in 2018 to help ensure solutions are ready for implementation in 2023.

Barwon Water has also confirmed that any reticulated service provision to the site will be at the cost of the developer, and that such services will be public assets in favour of Barwon Water.

The proposal does include retention and re-use of stormwater as part of the proposal which will help provide water supplies for toilet flushing and irrigation. This will help reduce potable water use as part of the overall development of the site.

*Power*

Reticulated power is to be provided to the site. Four kiosks will be developed across the site to augment power supply. Powercor has confirmed that this will ensure that the power system can provide for the development without impacts to existing customers in the region, satisfying relevant obligations under essential services legislation.

All power cabling is to be provided underground and there is also a future possibility of solar generation (up to 100 kW) being developed on the site to help offset power usage. Whilst no formal commitment is provided to solar generation in the application, details of a commitment have been requested via suggested planning permit conditions. It is understood the development is not reliant on on-site power generation for it to proceed.

*Internet and mobile access*

The proposal anticipated being able to secure internet access via the planned roll out of the NBN network to the area in the second half of 2018.

The site is in an area that currently is mapped as having access to the 4G network via Telstra. It is anticipated that a booster for mobile access will be incorporated into the proposed development to help ensure consistent access and manage peak load times such as occur in summer. The amended

application plans include reference to a communications tower near the maintenance area but with no specific detail. Clarity on the nature and scale of the communications tower should be clarified via the Panel process.

The development will need to augment some services however analysis and discussions with service providers indicates the proposal can occur with no impact to existing customers.

**The proposal will have a negative economic impact on surrounding businesses.**

Comment

A number of objections raise a concern about negative impact to local businesses from the proposal. It is understood this ranges from issues of direct competition to matters of service provision being sourced from outside the region.

Whilst matters of direct competition between businesses are not specific planning matters the broader context of local economic impact are important matters for consideration. Tourism policy in the State Planning Policy Framework (SPPF) and the submission from Great Ocean Road Regional Tourism (GORRT) highlight the opportunity for further development of tourism facilities along the Great Ocean Road.

The amended application has been supported by a socio economic impact assessment of the proposal to the area. The report suggests the amended proposal will:

- Help satisfy anticipated demand for tourism based facilities in the region.
- Assist with the development of the local economy through job creation.
- Support local businesses and increase tourism stays in the area through a local procurement focus.
- Help slow anticipated population decline.
- Not impact on housing availability.

GORRT have provided a submission to the original proposal which highlighted that the development offers the opportunity to increase Colac Otway's share in the visitor economy and better compete for visitor nights with Warrnambool and Lorne helping support the local economy and business environment. GORRT have also suggested the proposal, if supported, could offer new markets and event opportunities to reduce the seasonality of the region and offer capacity to train and develop a local tourism workforce. It is considered that the scale of the development will allow for regular ongoing employment opportunities associated with servicing the resort and allows for a diverse range of employment opportunities from traineeships to senior management positions. All these factors are considered to help support local economic development.

The Colac Otway Council Plan 2017-2021 also recognises opportunities to improve tourism assets and supports development of new tourism accommodation and employment in tourism businesses under the goal of supporting a thriving economy and industries. Such opportunity is reflected in the current accommodation and tourism offerings such as the Cape Otway Lighthouse and numerous smaller scale accommodation offerings and the proposed Wildlife Wonders project connected to the Conservation Ecology Centre. The proposal seeks to build on this environment and provide a form of accommodation in the region to encourage visitors to stay longer and explore the existing and proposed tourist experiences. In this context it is considered such connections will provide opportunities for tourism businesses to connect with the proposal and provide for a range of choices for visitors helping support the local economy.

The socio economic report submitted with the amended application outlines the proposal will rely on a number of existing businesses to help provide attractions for visitors and services subject to market agreements. The proposed resort is targeted to provide accommodation and facilities for visitors but it is not intended to replicate current business and services needed to support such a resort whether that be wildlife experience, fishing charters or cleaning and product supply as examples. It is considered the proposal, which will operate year round, will provide an opportunity for local businesses to help service the proposed facility and the proposed guests and add to an environment of investment in the location.

Whilst the proposal includes limited retail tenancies within the hotel building, these are anticipated to be uses which would not be replicating current retail uses in Apollo Bay, being targeted at the higher end tourist market, and not of any significant scale. It is considered they would not be detrimental to the existing retail centre of Apollo Bay.

Based on the strategic focus of tourism development in the region it is considered the proposal is more likely to offer positive economic opportunities to the locality and support other tourism development than create significant negative economic impacts.

The construction of the hotel facilities alone would create significant local employment and benefits to existing businesses, and it is noted that the proponent has expressed a commitment to be seeking to maximise these benefits through the way in which the construction procurement is managed.

**The proposal will have a negative social impact through creating an isolated tourism enclave and has not considered issues of staff accommodation and how such will be delivered.**

#### Comment

A number of objections have raised the potential risk of the proposal creating a tourism enclave that is separated from the operation of Apollo Bay and surrounding areas. It is acknowledged that such an outcome would create little overall benefit to the township.

The documentation submitted with the amended application makes specific reference to looking for opportunities to integrate the proposal with the surrounding locality and below are some key elements that support such an outcome:

- Opportunities to link with local businesses and tourist attractions.
- Provide construction and permanent job opportunities.
- Potential for physical links such as an upgraded road access and a shared path along the Barham River Road.
- Opportunity for public use of the pool and wellness centre.
- Commitment to work with Otway Health to ensure any health services provided are done so in an integrated way to avoid fragmentation of such services to the township.

In relation to staff housing and impacts on accommodation provision the following are noted:

- The proposal seeks to provide some accommodation on site for staff. Such provision of staff accommodation is common in larger tourist development in coastal areas.
- It is likely the permanent positions at the resort (if approved) would generate interest for employees to look at housing options within Apollo Bay. Rather than depleting current supply this may encourage existing short-term rental to be offered for longer term rental and/or the creation of additional supply through development of new housing. Such may

be driven by individual employees or by the hotel operator. Such outcomes may provide more balance to the current housing market and provide a stabilising influence on the provision of new housing stock. Opportunities for provision of new housing areas exist in Apollo Bay to support such an outcome which is different to places along the Great Ocean Road such as Lorne and Anglesea which have no new greenfield growth areas to support such outcomes.

- There is significant suitably zoned land in the north of Apollo Bay which is available for residential subdivision to occur. Market demand for new housing has been subdued for several years in Apollo Bay – a stimulus in demand for housing for staff could provide support for increased subdivision and construction in these zoned areas.

On the basis of the above it is considered that the proposal provides for connections and support to the local community whilst respecting the character of the town and will likely support the local housing environment.

**The proposal will have a negative impact on environmental attributes of the area which are a key element why people visit the location.**

#### Comment

The site does not have specific overlays identifying the land as important for flora and fauna protection. The controls on the land do identify general environmental issues are important to consider per the Rural Activity Zone and the focus of the Environmental Significance Overlay Schedule 3, Significant Landscape Overlay Schedule 1 and Clause 52.17 Native Vegetation.

It is noted that environmental issues were not considered a barrier to rezoning the land from Rural Conservation Zone to Rural Activity Zone in 2009. The subject land, and parts of surrounding land, are used for agricultural activities and any consideration of environmental issues associated with the land needs to consider the context of the Barham River valley having a range of agricultural activities present.

The issue of environmental impact has been documented within the application and has been a focus of assessment. The amended application has been supported by a Biodiversity Assessment report dated May 2018 which involved on ground assessment of native vegetation issues. Amendment VC138 introduced new guidelines related to vegetation removal being *Guidelines for the removal, destruction or lopping of native vegetation (Department of Environment, Land, Water and Planning 2017)*. Clause 51.17-6 allows for transitional provisions for applications lodged prior to December 2017. As the current application was lodged prior to the approval of VC138 the former provisions will continue to apply to the land being the *Permitted clearing of native vegetation - Biodiversity assessment guidelines' (the Guidelines) (DEPI 2013)*. DELWP have agreed to the transitional provisions applying in this instance.

The updated report for the amended application has outlined that 2.8 hectares of native vegetation is to be removed consistent with a Moderate Risk Pathway and did not identify any significant flora and fauna species on the land. Small areas of remnant vegetation are to be removed and most of the vegetation to be removed is replanted vegetation. The report also assumes 100% removal of some areas of native vegetation to comply with defendable space requirements (to achieve space around buildings to reduce bushfire risk) as is the required practice however in reality thinning of canopy will be undertaken to meet the defendable space and 100% removal will not occur. Whilst it is acknowledged some vegetation removal occurs along gullies, which are an important feature of the site and identified as such in the Rural Activity Zone, it is considered with selective removal balanced



against bushfire management and replanting of other areas the overall development of the land does not pose unreasonable impacts on environmental values of the site.

The application has also provided details related to maintaining and improving existing waterways that run through the site and offering natural environments on the land to help support the experience of the area. Such an outcome links to the overall objectives of the Rural Activity Zone and recognises the importance of the natural setting as part of the development. The improvement to the environmental context of the land is considered positive and provides the appropriate context for tourism based development on the site. The recommended draft conditions include a land management plan to detail how issues of revegetation, waterway management and managing risks such as bushfire and geotechnical issues are integrated on the land.

The proposal has provided analysis and direction on the current environmental issues and how these can be managed and improved into the future consistent with the relevant planning controls on the land.

**It is not clear how environmental risks such as landslip, bush fire risk and flooding issues have been addressed by the proposal.**

#### Comment

The amended application has been supported by technical reports related to environmental risk issues and these are described below:

#### *Landslip and erosion*

The original proposal relied on a geo technical report and Landslide Risk Assessment (LRA) by Golder & Associates dated 1 November 2017. This report identified elements of the original proposal were located in areas of potential high risk on the site.

The amended application has relocated a number of the villas to ensure these are not located in areas of high risk, and includes an updated landslide risk assessment letter 15 May 2018 and letter dated 15 June 2018 confirming that the altered design and layout of buildings on the site results in residual risk that meets the tolerable risk criteria referred to in the Erosion Management Overlay Schedule 1. As such the amended application appears to be responding to the identified geo technical hazards. It is noted that further detailed work is required to help design specific engineering outcomes relevant to some elements of the proposed buildings and the feasibility of such investigation will be important.

Council has engaged a geotechnical expert to undertake a peer review of the updated geotechnical assessments – this is discussed in more detail later in the report.

#### *Bushfire*

The original application was supported by a Bushfire Management Statement responding to the Bushfire Management Overlay that applies to the land. The original report was supported by the CFA.

An updated Bushfire Management Statement has been submitted with the amended application outlining compliance with Clause 52.47. Comments from the CFA on the amended report are being sought by the Panel via the re-notification process.

### *Flooding*

The Land subject to Inundation Overlay which identifies the extent of the 1 in 100 year flood event extends for a minor portion of the northern boundary of the site however none of the amended development is impacted by the overlay, save for the entry into the site. Parts of the Barham River Road are impacted by the Land subject to Inundation Overlay. The CCMA provided advice that a Flood Impact Investigation report should be undertaken to understand access issues during flood events along the Barham River Road and a Stormwater Management Plan. The delivery of a Flood Impact Investigation in relation to the Barham River Road is considered significant work in relation to the overall catchment. Council resolved to seek such information via its resolution of 7 February 2018. However, such information has not been provided by the proponent nor required by the Advisory Panel.

The applicant has provided an Emergency Management Plan (EMP) as part of the amended application. The EMP outlines emergency procedures to be managed by the operator of the proposal in the event a permit was granted. The EMP also relies on alternative access along the Old Horden Vale Road and a new road to the site from the Great Ocean Road, both of which need separate statutory approvals and are not part of the current detailed assessment. Despite this the EMP does provide clear processes to manage the site in the event of emergencies and provides a useful context for the land. The draft conditions in the recommendation suggest the EMP be updated with removal of the alternate access roads that have no approval.

It is considered the amended proposal has appropriately responded to the environmental risk issues associated with the land in relation to bushfire, flooding and landslip risk. Further refinements of the landslip risk assessment and the EMP are provided for in the Panel process and draft conditions.

### **Overlooking to the adjacent property at 30 Old Horden Vale Access.**

#### Comment

Concern has been raised as to how cabins located to the north of the site may overlook land to the north at 30 Old Horden Vale Access. The setback of the villas from the common boundary in the amended application is 72 metres and this in combination with single storey villas and landscaping to the boundary will ensure any perception of intrusion can be managed appropriately.

### **Impacts of the development on the Apollo Bay airfield**

#### Comment

Concerns have been raised about the impact of the proposed development on the airfield and suggestion was made in an objection that the airfield may close due to possible road access adjacent the airfield land.

In relation to vehicle access the amended application has been assessed based on the access via the Barham River Road. No other access has been considered and therefore no access road is considered to impact on the Apollo Bay airfield.

In terms of aircraft access to the airfield it is noted that the Apollo Bay Airfield has an Airport Environs Overlay associated with it. One of the purposes of the Airport Environs Overlay is:

- *To ensure that land use and development are compatible with the operation of airports in accordance with the appropriate airport strategy or master plan and with safe air navigation for aircraft approaching and departing the airfield.*

The proposed development is located outside the Airport Environs Overlay and is approximately two kilometres from the western end of the runway at the airfield. The proposed development does not exceed the height of existing ridgelines to the rear of the site and it is considered no significant impact to aircraft navigation is anticipated.

It is noted that some documentation in the amended application refers to transfer of persons to the site via helicopter. A planning permit is specifically required to allow land to be used for a helicopter landing site, and this is not part of the current application. The recommendation references strong concern about any potential for this occur due to the likely amenity impact to nearby areas.

### **Impacts from construction**

#### Comment

General concerns about construction impacts have also been raised. In the event the proposal was supported the details of construction management will be important. It is common practise for such large scale development to provide a detailed Construction Management Plan (CMP) and such a requirement has been included in the draft conditions. A CMP would need to look at all the elements associated with managing impacts from construction ranging from issues such as vehicle access, siltation risks to waterways and housing of workers on site.

## **6. ANALYSIS**

### **ALIGNMENT TO COUNCIL PLAN OR COUNCIL POLICY**

The amended proposal connects with the Council Plan 2017-21 under 'Our Prosperity', which seeks to explore options to facilitate new tourism accommodation and facilitate the attraction of investment in the development of high standard accommodation in Colac and Apollo Bay, particularly 4-5 star accommodation. Council has partnered with the State Government for a number of years seeking to attract such accommodation to Apollo Bay to take advantage of tourism visitation along the Great Ocean Road.

The key document related to the analysis of the application is the Colac Otway Planning Scheme.

Below is an outline of the key planning policy and planning permit triggers for the application. It is noted Amendment VC148, gazetted on 31 July 2018, has made changes to the format of the Victorian Planning Provisions. The format change, amongst other matters, removes the State Planning Policy Framework and Local Planning Policy Framework and replaces these with the Planning Policy Framework and Municipal Planning Strategy. It is understood the changes are policy neutral and provide for transitional provisions to allow current local policy to remain in Clause 21 and 22 until later transitions to the new format are completed. The policy outline below is based on policy structure prior to VC148.

The State Planning Policy Framework (SPPF) seeks to ensure that the objectives of planning in Victoria are fostered through appropriate land use and development policies. The policies considered relevant to the application are identified below:

- Clause 11.07-1 Regional Planning
- Clause 12.02-4 Coastal Tourism
- Clause 12.02-6 The Great Ocean Road Region

- Clause 12.04-2 Landscapes
- Clause 13.02-1 Floodplain Management
- Clause 13.03-2 Erosion and Landslip
- Clause 13.05-1 Bushfire
- Clause 17.03-1 Facilitating Tourism

The key policy elements relevant to the site are:

- The importance of planning for regions across Victoria. The G21 Regional Growth Plan identifies the assets of the region including agriculture and tourism and protecting natural assets as important.
- Providing for diverse accommodation and experiences in coastal locations balanced with ensuring developments are of an appropriate scale, use and intensity relative to its location and minimising impacts on the surrounding natural, visual, environmental and coastal character.
- The importance of the Great Ocean Road for tourism balanced against protecting the important landscape, environmental and cultural experiences that contribute to the experience of the Great Ocean Road.
- Ensuring key environmental risks such as flooding, landslip and bushfire are considered and planned for in development.
- Encourage tourism development to help support the State as a competitive domestic and international tourist destination.

### **Local Policy Planning Framework (LPPF), including the Municipal Strategic Statement (MSS)**

The following policies in Clause 21 and 22 of the Colac Otway Planning Scheme are considered relevant to the assessment of the proposal.

#### Clause 21.02-2 Land Use Vision

This clause identifies Apollo Bay's character as a seaside village and notes opportunities for tourism in the Apollo Bay hinterland with the understanding that environmental and landscape elements that attract tourists will be protected.

#### Clause 21.03-3 Apollo Bay and Marengo

This policy describes the settlement objectives for Apollo Bay and Marengo. Key objectives related to the townships are as follows:

- *"To develop Apollo Bay as an attractive residential community which provides a high quality environment as a significant tourist centre.*
- *To retain Apollo Bay, Marengo and Skenes Creek as distinct coastal settlements with their own local character.*
- *To ensure that the natural beauty of the area is reflected in new development.*
- *To preserve the seaside village character of Apollo Bay.*
- *To ensure that change demonstrates a commitment to sustainability and is responsive to the natural environment."*

#### 21.04-5 Erosion

This policy seeks to recognise the important risk issue of landslip in the region and has the following objectives:

- *“To ensure that use and development has regard to the potential for landslip.*
- *To ensure that in areas where a risk of landslip is identified, all new buildings and works do not increase the possibility of landslip on the land or surrounding land.*
- *To manage landslip risk especially along the coastal areas.”*

#### 21.04-6 Flooding

This policy seeks to recognise flooding issues that exist across the municipality and aims to help reduce the risk associated with flood prone areas.

#### 21.04-8 Landscape Character

This policy recognises the nationally significant coastline along the Great Ocean Road and the importance of landscape character to the economy of the Shire and wider region. The Great Ocean Road Region Landscape Assessment Study (GORRLAS) is referenced which helps define some of the important landscape elements. The policy has the following objectives:

- *“To retain the open and rural character of views and outlooks, particularly from main road corridors.*
- *To maintain the dominance of the natural landscape when viewed from main road corridors and tourist routes outside townships.*
- *To protect the variety of landscape features and landmarks of the precincts identified in the GORRLAS.*
- *To increase indigenous planting in the Landscape precincts to further emphasise natural features such as creeks.*
- *To protect ridgelines from inappropriate development and vegetation removal”.*

#### 21.05-1 Agriculture

This policy supports the Rural Activity Zone on land in close proximity to the coast or within the Otway Ranges to provide for tourism use on land with moderate to low agricultural capability, provided the use and development are compatible with agricultural, environmental and landscape characteristics of the area.

#### 21.05-4 Tourism

This policy references the importance of tourism to the Shire and identifies the opportunities for tourism outcomes in the Rural Activity Zone areas including the subject land. Importantly the policy highlights the importance of ensuring tourism development does not detract from the quality of the landscape, is of high quality design and style relevant to the surrounding land uses and capable of net gain environmental outcomes.

Objectives for the policy are as follows:

- *“To encourage growth in tourism in a way that assists diversification in the economy and ensures the protection of key environmental features.*
- *To encourage investment in tourism that has close linkages with local industries and the environment.*
- *To protect key visual and environmental features which are of major significance and contribute to the tourism assets of the Shire.*

- *To provide a range of accommodation and related activities which encourages tourist visitation.*
- *To provide for a preferred mix of uses in the Rural Activity Zone to the west of Apollo Bay.*
- *To provide for a preferred mix of uses in the Otway Ranges.*
- *To encourage economic development in towns in the Otway Ranges through tourism uses and development which acknowledge and respond to environmental constraints and protect landscape values”.*

The C55 Panel identified that clause 21.05-4 required proposals for use and development in any Rural Activity Zone west of Apollo Bay or in the Otway Ranges to be assessed against the following criteria:

- Use and development for equestrian supplies, helicopter land site, landscape gardening supplies, motor racing track, tavern, and other similar uses should be avoided.
- The scale of development and use should relate to the land size and surrounding uses.
- Development should be subservient to the landscape and not detract from the landscape quality.
- Development should be of high design quality and the style should respect surrounding development.
- Support compatible tourism and recreation related land uses and development within the Rural Activity Zone located on the northern approach to the Forrest Township.
- Development should provide a net environmental gain.
- Development should be self-sufficient in, or meet all the relevant costs of, infrastructure provision.

### **Other relevant provisions**

#### Clause 52.06 Car Parking

The above clause provides standards related to car parking provisions for various uses and development. There are no specific ratios associated with a residential hotel and integrated tourism development as proposed. The provision allows the Responsible Authority to determine the appropriate level of parking based on detail provided in an application and the context of the proposed use and development. The amended application proposes 274 parking spaces exceeding some statutory requirements in Clause 52.06. However, review of the parking provision has suggested the arrangement and placement of parking for the main hotel building and the number of spaces should be altered as detailed earlier in the report. The draft conditions suggest an alternative provision and distribution of parking.

#### Clause 52.17 Native Vegetation

The above clause controls native vegetation removal on larger sites. Native vegetation removal is proposed on site and an updated Biodiversity Assessment dated May 2018 has been provided outlining how the requirements of Clause 52.17 have been satisfied in relation to native vegetation removal.

#### Clause 52.47 Planning for Bushfire

The above clause details specific requirements related to development in the Bushfire Management Overlay. A detailed response to the requirements of the Clause has been provided via an updated Bushfire Management Statement for the amended application.

#### **Planning Scheme Assessment**

The various triggers for a planning permit for the proposed use and development are considered below:

##### Rural Activity Zone

The use and development of the site as a Residential Hotel requires a planning permit under the Rural Activity Zone. The Rural Activity Zone was developed by the State Government to allow a more flexible zone to be applied to rural areas that could enable a broader range of uses than could normally be considered in the Farming Zone and the Rural Conservation Zone. The Rural Activity Zone on the subject land (and adjacent sites) has a focus on facilitating tourist based outcomes, arising from strategic studies undertaken by Council in 2007. The strategic studies identified the potential for tourist related development in a number of locations including the hinterland of Apollo Bay. Below is part of the description of the Rural Activity Zone in the Schedule to the zone that applies to the subject land:

*“The objective is to provide for a preferred mix of uses in the Rural Activity Zone to the west of Apollo Bay including agriculture; tourist and recreational activities; group accommodation with tourist or recreational activities (including backpacker accommodations, camping and caravan park, cabins, etc); and restaurant, but only in association with a tourist facility or recreational activity.*

*Development and use in the Rural Activity Zone to the west of Apollo Bay will be of a scale relevant to the land size and surrounding uses; subservient to the landscape so as not to detract from the quality of the landscape; of high quality design and style relevant to the surrounding land uses; capable of net gain environmental outcomes and self-sufficient in the provision of relevant infrastructure and associated development costs”.*

The proposal provides for a new form of accommodation in the region which is supported by policy in the State Planning Policy Framework and by Great Ocean Road Regional Tourism. Officer comments on how the proposal responds to the criteria of the Rural Activity Zone schedule are provided below:

##### ***Will be of a scale relevant to the land size and surrounding uses***

The built form will present a larger scale of development than currently exists within the Barham River Valley but provides for the majority of the site to remain undeveloped with the buildings in the amended application occupying approximately 1.9% of the site excluding driveways, parking areas and hard stand areas. The proposal is not considered to overwhelm surrounding uses or prejudice agricultural uses occurring due to separation of the form from boundaries and topography helping manage interfaces to adjoining land.

##### ***Subservient to the landscape so as not to detract from the quality of the landscape***

The proposal is likely to deliver a form that can complement the overall landscape setting however further detailed analysis of landscape impacts should occur via the Panel process (as referred to earlier in the report).

***Be of high quality design and style relevant to the surrounding land uses***

The amended proposal includes a design that seeks to integrate the built form into the landscape setting through cut and fill and incorporation of landscaped roof elements. The design and layout of the built form allows the broader vistas to be captured by visitors whilst also having discrete internal views framed by landscaping and existing topography. The proposed building form also uses natural materials and colours to help respond to the landscape setting.

***Be capable of net gain environmental outcomes and self-sufficient in the provision of relevant infrastructure and associated development costs.***

No significant environmental features have been identified on the land. The proposal relies on some native planted and remnant vegetation removal and includes revegetation on site including opportunities to improve the management of existing waterways that traverse the site through creation of buffers and revegetation. The proposal can be serviced with power, water and sewer without compromising existing services. The proposal also includes opportunities to reuse water on the site for irrigation and toilet flushing and develop other forms of power generation on the site. The proposal has the opportunity to assist with development of Barham River Road and pathways to the site (at cost to the developer) and also allows for community access to planned facilities such as the 25 metre swimming pool and wellness services.

The emergency management plan prepared by Resource Management Consulting, submitted with the amendment application, has confirmed that the potential maximum capacity of the resort is 565 hotel guests, 288 villas guests and 30 staff for a total of 883 people at any given time. The emergency management plan also allows for a practical capacity of 662 people allowing for 75% guest occupation. The 2016 ABS Census data confirms a permanent population for Apollo Bay of 1,598 people. The proposal therefore provides for approximately half of the permanent population to be present at peak times however it is important to note that at peak times (i.e. summer months) it is recorded that the population of Apollo Bay can swell to around 15,000 people. In this context the proposed resort provides a proportional response to that experienced by the town currently and seeks to provide facilities to support the peak visitors to the area as part of the development. The Rural Activity Zone site supports increased and longer visitation to the area whilst being separated but connected to the Apollo Bay township which helps manage the increase in visitors and the character of the township.

It is noted that the scale of the proposal will be visible in the landscape setting of the valley. In assessing the change to the landscape, it is important to consider how the proposal responds to the setting. In a planning sense the amended proposal is considered to respond to the location. The amended application outlines that the building will sit into the site and allow for greater separation between the main hotel buildings than previously proposed. This design change, along with the arrangement of villas, will assist the built form on the land to respond to the site context. Whilst the development will be visible it is not considered that it will overwhelm the landscape setting, in particular from the Great Ocean Road, and the design of the amended application will allow the proposed built form to integrate into the site to a reasonable level. Notwithstanding, it is considered that further viewing points should be assessed to confirm the landscape impact of the proposal, and the methodology of the visual assessment confirmed using best practice techniques, as described earlier in the report.

It is important that the proposed use operates as a Residential Hotel and tourist resort. Concerns have been raised that the villas may operate separately from the hotel and provide dwelling opportunities on the land. Such an outcome would be contrary to the Rural Activity Zone schedule



which does not support rural living opportunities in the zone. The application documentation details the villas are to operate as part of the residential hotel and to ensure such an outcome it is recommended via the draft conditions that no leasing of the proposed villas separate from the hotel use can occur.

Overall, subject to clarification of the visual impact of the proposal as referred to above, the amended proposal is considered to provide a tourism facility that responds to the objectives of the Rural Activity Zone and helps deliver the strategic intent of the zone when applied to the land in 2009.

#### Overlays

The overlays that have triggered a planning permit are assessed below:

#### *Significant Landscape Overlay Schedule 3*

The above overlay applies to the entire site and has the following landscape objectives:

- *“To achieve the “Preferred Character” as specified above.*
- *To increase the use of indigenous vegetation to highlight natural features within the precinct.*
- *To consider the contrasts between landscape elements within the precinct.*
- *To ensure that development that occurs on hill faces or in other prominent locations is not highly visible and sensitively designed.*
- *To minimise the visual impact of signage and other infrastructure, particularly in coastal areas, hill faces and ridges.*
- *To protect the clear sweeping views to and from the ocean available from the precinct.*
- *To consider the dominance of an indigenous natural landscape in coastal areas, between townships, particularly from the Great Ocean Road and avoid ribbon development”.*

The Decision Guidelines in Schedule 3 detail that issues of the built form and tree removal are important factors on the landscape setting and reference Clause 21.04-8 Landscape Character and the ‘*Apollo Bay Coastal Valley and Hills Precinct Development Principles Incorporated Plan*’ from the Great Ocean Road Region Landscape Assessment Study.

The amended proposal will be visible in the valley and is located on the higher portion of the land and an assessment of the proposal in relation to the elements listed in the Significant Landscape Overlay, Clause 21.04-8 Landscape Character and the *Apollo Bay Coastal Valley and Hills Precinct Development Principles Incorporated Plan* are as follows:

- The amended proposal has cut the built form into the site and separated the main building forms further. The buildings on the land will sit below the broader ridgeline that exists behind the site and combined with the landscaping elements the building will integrate into the site.
- The buildings are separated and step down the slope and have simplified roof forms to assist the building to respect the landscape.
- The proposed building footprint on the site is minimal and provides for large expanses of the site as open land.
- Vegetation removal is proposed (2.8 hectares) and large areas of existing vegetation will be retained on site. The level of vegetation removal includes along the main gully on the site to provide defensible space for the proposed villas on the south side. The vegetation removal

has assumed 100% removal in these areas, as is required under the relevant Guidelines for such circumstances, however in reality such vegetation removal will not be to that extent as thinning of the canopy can achieve the relevant defendable space outcomes. Most of the vegetation to be removed is revegetation. Replanting is also proposed which includes the planting of appropriate indigenous and native species (canopy trees and understorey planting) with species selection targeted to specific locations such as boundary buffers, building zones, gullies, riparian environments and garden beds.

- The buildings are to be constructed in natural materials including stone and timber and use a muted colour scheme responsive to the rural coastal setting.

Visual analysis of the amended proposal from distances between 800 metres and 3.3 kilometres (along the Great Ocean Road) show the building forms will be visible from points on the Great Ocean Road and on Barham River Road closer to the site. The analysis shows that whilst visible the building forms will not be obtrusive to the broad vistas of the valley and the vegetated topography of the land will still be dominant. The visual analysis also shows the buildings will not create silhouettes in the views provided. However, it is noted that the methodology used to create the photomontages is not explained and does not appear to be based on best practice. While officers believe that the proposal is likely to be acceptable in the landscape, further detailed analysis of this issue should occur as part of the Panel process, including the assessment of further viewing points not already shown, in particular the view across the site from Great Ocean Road west of Marengo where there is some potential for the building to be visible depending on the topography.

It is important to note that the Significant Landscape Overlay Schedule 3 allows notice to be provided to DELWP and the Western Coastal Board via Clause 66.06 of the Planning Scheme. Such notice was provided to those agencies and no correspondence raising concerns have been received from those agencies.

It is considered that subject to further clarification of landscape impacts as described above, the amended proposal can allow for the building form to sit reasonably on the site and allow the natural topography, vegetation and ridgelines to remain as the dominant features of the views of the Barham River valley from the Great Ocean Road per the objectives of the Significant Landscape Overlay Schedule 3.

#### *Bushfire Management Overlay*

The above overlay applies to the entire site and seeks to ensure bushfire risk is appropriately managed.

The amended application has been supported by a Bushfire Management Statement that responds to the overlay and Clause 52.47. The Bushfire Management Statement has confirmed a Bushfire Attack level (BAL) of 12.5 for construction on the site and that all defendable space can be provided within the site. The amended proposal provides all buildings will be constructed to BAL 12.5 and the main hotel will be constructed to BAL 29 to allow it to be used as an emergency assembly area in case of a bushfire.

The original Bushfire Management Statement was supported by the CFA as a determining referral authority and comment on the amended application and bushfire report is currently occurring.

#### *Erosion Management Overlay Schedule 1*

The above overlay applies to the whole of the site and seeks to manage the risk of landslip.

The amended application has responded to identified geo technical hazard areas identified by Golder & Associates and updated reports from Golder & Associates has confirmed an assessment of tolerable risk consistent with the requirements of the EMO1.

Council's geotechnical expert has peer reviewed the updated geotechnical assessments and provided the following feedback:

- An explanation of whether the identified geotechnical hazards can travel out of higher risk zones to lower risk zones, and whether the zones have been developed to allow buffers for such, should be provided.
- Confirmation should be sought that any minimum distance has been applied from the boundary of high and very high risk zones if necessary.
- Reference to the Apollo Bay Syncline and its relevance to the site as part of broader geological conditions in the area should be included.
- More detailed explanation is required of what the detailed engineering measures referred to may involve in managing some risks, and the proponent should make reference to surface and subsurface treatments.

Whilst this feedback seeks further clarity on some detailed elements it is acknowledged that geotechnical and landslip risk issues have been more appropriately responded to by the amended proposal, and the assessment has been made on the basis of detailed plans for each of the proposed buildings. The above elements should be analysed further through the Advisory Panel process and have been included in the draft conditions.

#### *Environment Significance Overlay Schedule 3*

The above overlay applies to approximately 28 hectares of the northern part of the site. The overlay seeks to manage any impact on a declared water supply catchment through controlling building and works, vegetation removal and effluent disposal.

The proposal has minimal works in the overlay area and importantly no waste water treatment is proposed as the site will be serviced by reticulated sewer.

Barwon Water is a determining referral authority in relation to the overlay and did not raise any objection concerning the limited work proposed in the overlay area per the original proposal and the amended proposal does not change that context. Further advice from Barwon Water is being sought by the Panel via the re-notification process.

#### Clause 52.06 Car Parking

The amended proposal is supported by a traffic and parking report. The traffic and parking report in relation to parking provisions does not specifically align with the parking shown on the plans. In assessing both the traffic and parking report and the amended plans it is understood the proposal seeks to provide car parking as follows:

- 50 spaces to the rear of the main hotel building consisting of the following:
  - Parking for guests of the hotel at a ratio of 0.6 spaces per room but assumes 75% arrive by bus and therefore only 27 spaces are provided for the 180 room hotel.
  - 5 spaces for the wellness centre.
  - 12 spaces for the restaurant.
  - 6 additional unallocated spaces.
- 45 car parking spaces and eight bus parking spaces located east of the main hotel (down the hill) near the maintenance building.
- 137 unsealed overflow car parking spaces near the maintenance building.
- Two car parking spaces per each villa.

It appears the parking located near the maintenance building will be served by buggies that can be used to travel to the other parts of the site including the main hotel building.

A peer review of this analysis suggested a different allocation of spaces to different components of the development. The proposed parking for the villas was supported and overflow parking near the maintenance area could remain. However, parking to the west of the main hotel building should consist of 122 car parking spaces (currently 50 spaces) as follows:

- 45 spaces for the hotel
- 12 spaces for the wellness centre
- 14 spaces for the restaurant
- 51 spaces for the swimming pool

The draft conditions include a requirement for amended plans to show parking as described above.

#### Clause 51.17 Native Vegetation

The above controls require a permit for native vegetation removal and aims to ensure that there is no net loss to biodiversity as a result of the removal of native vegetation. The control references the three step approach in accordance with the *Guidelines for the removal, destruction or lopping of native vegetation (Department of Environment, Land, Water and Planning, 2017)*.

As noted earlier, Amendment VC138 was approved by the State Government in December 2017 that introduced the *Guidelines for the removal, destruction or lopping of native vegetation (Department of Environment, Land, Water and Planning, 2017)*. Clause 51.17-6 allows for transitional provisions for applications lodged prior to December 2017. As the current application was lodged prior to the approval of VC138 the former provisions will continue to apply to the land being the *Permitted clearing of native vegetation - Biodiversity assessment guidelines' (the Guidelines) (DEPI 2013)*. DELWP have agreed to the transitional provisions applying in this instance.

The amended application has been supported by an updated Biodiversity Assessment report dated May 2018. This report outlines that 2.8 hectares of native vegetation is proposed to be removed (which includes remnant patches, revegetated areas and scattered trees including Mountain Ash and Blue Gums) and the permit application falls under the Moderate Risk-based pathway in the Guidelines. An offset requirement for native vegetation removal is required and totals 0.500 General Biodiversity Equivalence Units (BEU).

The majority of vegetation to be removed relates to areas along gullies to provide defensible space for some villas and relates to areas of planted vegetation of indigenous or native species undertaken with public funds (Landcare). The report assumes 100% removal in these areas at a theoretical level as required by the guidelines however in reality all the vegetation in these areas will not be removed and only thinning of the canopy will be required to provide the five metre separation at the canopy level for defensible space under the bushfire controls. The only remnant vegetation to be removed are small areas to the north of the site.

DELWP were not a formal referral for the original proposal and did not raise any concerns with the original level of vegetation removal. DELWP are a recommending referral authority for the amended application vegetation removal and advice from DELWP is being sought by the Panel via the re-notification process.

In addition, no concerns have been raised by Barwon Water concerning vegetation removal per the Environmental Significance Overlay Schedule 3 in the original application and such is likely to remain the same for the amended application.

Based on this assessment it is considered the proposal is consistent with objectives of Clause 52.17.

#### *Summary*

The above assessment of the amended application against the relevant planning permit triggers confirms that subject to confirmation of visual impacts of the development through the Panel process, the proposal is aligned with the policies in the State Planning Policy Framework (SPPF) and Local Planning Policy Framework (LPPF), the intent of the Rural Activity Zone and overlays present on the site and other particular provisions in the planning scheme.

It is also noted that an approved Cultural Heritage Management Plan (CHMP) is also required before any final determination of the application can be made. An approved CHMP remains outstanding in relation to the proposal. This should not impact upon Council's consideration of the proposal, rather it is a matter for the Minister to consider before deciding on the application and such an approach has been supported by the Advisory Panel.

### **ENVIRONMENTAL IMPLICATIONS**

The key environmental issues relate to the following:

- Native vegetation removal
- Management of bushfire risk
- Management of building and works in a declared water catchment
- Access to the site via a known floodplain
- Management of erosion and landslip risk
- Impact on the landscape setting

The assessment against the relevant planning controls and policy related to the above has been detailed in the "Alignment with Council Policy and Plans" section above. On balance the amended proposal is considered to provide an appropriate response to environmental related issues in context to the zone and overlays present on the land.

### **SOCIAL & CULTURAL IMPLICATIONS**

Key issues raised concerning the proposed resort relate to the impact on the identity of the Apollo Bay township and surrounding landscape and the connection the proposal will have with the surrounding community.

A response to these elements have been detailed earlier in the report in responding to objections received and the analysis against the Colac Otway Planning Scheme.

The social implications of the proposal are noted and on balance it has been considered that the opportunity exists for the proposal to provide a new form of tourist accommodation for the area (as promoted in policy related to the Great Ocean Road) with connections and support to the local community whilst respecting the character of the town.

## **ECONOMIC IMPLICATIONS**

The amended application has been supported by a socio economic report which on balance considers the proposal will have a positive social and economic impact.

GORRT have provided a submission in relation to the application detailing the importance of the tourism economy to the region and outlining the strategic policy that exists to support the growth of the tourism economy into the future. GORRT has also detailed that the proposal offers the opportunity to increase Colac Otway's share in the visitor economy and better compete for visitor nights with Warrnambool and Lorne helping support the local economy and business environment. GORRT have also suggested the proposal, if supported, could offer new markets and event opportunities to reduce the seasonality of the region and offer capacity to train and develop a local tourism workforce. The proposal also details opportunities for local employment ranging from entry level roles to senior management and construction based jobs.

Detailed analysis of the economic impacts has been outlined in earlier sections of this report related to the response to submissions. The proposal is considered to align with strategic policy both within the Colac Otway Planning Scheme and broader tourism policy related to the Great Ocean Road and will likely have a positive economic impact to the region.

## **LEGAL AND RISK IMPLICATIONS**

Council has passed on all of the information it has in respect of the application to DELWP officers to be made available to the Planning Panel. The Minister is now responsible for making a determination of the application.

There is continued significant work associated with management of the issue internally to ensure that Council's interests are met, and it is important that steps are taken to limit the impact on Council's service level in the normal course of business in the Planning Department. To ensure the timely and efficient determination of Council's position on the application and ensure that other services are not impacted Council has and continues to engage the services of a contract planner, with senior experience, to assist it with processing of the application.

Council has also engaged legal representation to present its position to the Panel with relevant expert witness input as necessary.

The Panel established to provide advice to the Minister for Planning will be focussed on forming a view on the application on its planning merits against the relevant planning controls and policy. Council now has an opportunity to form a view on the application balancing interests of the community and the relevant planning policy and controls.

The Panel has also directed Council to provide a set of "without prejudice" draft conditions per its direction of 20 March 2018. This is required from Council even in the event the Council does not support the proposal, to ensure such information is available for the decision maker if required. The draft conditions referred to in the recommendation have been developed based on the assessment of the amended application.

## **RESOURCE IMPLICATIONS (FINANCIAL ETC)**

The Ministerial consideration of the planning application and associated Planning Panel hearing will not be funded by Council, however the Shire will need to be represented at the Panel hearing and is involved in providing information to the Panel, DELWP staff, Council and the community prior to a determination.

As noted above, the processing of the application has been supported by an experienced planning consultant, and costs will be incurred by Council for legal representation of Council's position on the application at the Panel hearing. This is being funded through the operational budget.

## **7. IMPLEMENTATION STRATEGY**

### **DETAILS**

Any position of Council will be conveyed to the relevant parties to the Ministerial call in process including DELWP, the applicant and the submitters. The position will subsequently be advocated to the Panel on behalf of Council at the future Panel hearing.

### **COMMUNICATION**

As detailed above any position of Council will be conveyed to the relevant parties to the Ministerial call in including DELWP, the Panel, applicant and the submitters.

### **TIMELINE**

The Panel hearing is scheduled to commence on 12 September 2018 for 7-10 days however the timing of this will be influenced by outcomes of the Directions Hearing scheduled on 23 August 2018.

## **8. OFFICER DIRECT OR INDIRECT INTEREST**

No officer declared an interest under the *Local Government Act 1989* in the preparation of this report.

# Apollo Bay Resort

275 Barham River Road Apollo Bay VIC 3233

## Amended Town Planning Permit Application

15th May 2018



Original Application 3rd July 2017

### Drawing List

Drawing	Revision	Name
TP_001		Site Context Plan
TP_002-1		Site Contour Plan
TP_002-2		Detail Land Survey - Hotel Zone
TP_003		Title Information
TP_004	A	Existing Conditions
TP_005	A	Site Analysis
TP_006	B	<del>Master Plan</del> DELETED
TP_007	A	Proposed Staging
TP_008	A	Site Sections
TP_009	B	Hotel Zone Site Plan
TP_010	A	Floor Plan - Main Hotel Reception Level
TP_011	A	Floor Plan - Main Hotel Upper Guestroom Level
TP_012	A	Floor Plan - Main Hotel Lower Guestroom Level
TP_013	A	Floor Plan - Guestrooms 1 Upper Level
TP_014	A	Floor Plan - Guestrooms 1 Lower Level
TP_015	A	Floor Plan - Guestrooms 2 Upper Level
TP_016	A	Floor Plan - Guestrooms 2 Lower Level
TP_017	A	Main Hotel - Elevations
TP_018	A	Guestrooms 1 - Elevations
TP_019	A	<del>Guestrooms 2 - Elevations</del> DELETED
TP_020	A	Building Section
TP_021	A	<del>Hotel Villa Keyplan (Ridge &amp; Water Villas)</del> DELETED
TP_022	A	Section Through Dam
TP_023	A	Aerial View from the South East
TP_024	A	Aerial View from the West
TP_025	A	Main Hotel and Guestrooms 1 from the South East
TP_026	A	Main Hotel from the North East
TP_027	A	Main Hotel and Guestrooms 1 from the East
TP_028	A	Main Hotel and Hotel Villas from South
TP_029	A	Main Hotel from North
TP_030	A	Main Hotel View from Northern Hotel Villas (Ridge Villas)
TP_031	A	Hotel Villas (Water Villas)
TP_032	A	Materials and Finishes
TP_033	A	View Towards Site from Barham River Road
TP_034	B	View Towards Site from B100 Bridge
TP_035	A	View Towards Site from Marengo
TP_036	A	Access Routes
<b>New Drawings</b>		
<del>TP_037</del>		<del>Resort Villas - Plane Sheet 1</del> DELETED
<del>TP_038</del>		<del>Resort Villas - Plane Sheet 2</del> DELETED
<del>TP_039</del>		<del>Resort Villas Typical Elevations</del> DELETED
TP_040		View From Resort Villas
TP_041	A	Existing Trees to be Removed
TP_042	B	View from Seymour Crescent
TP_043		Cut and Fill Detail Section Sheet 1
TP_044		Cut and Fill Detail Section Sheet 2
TP_045		Landscape Risk Overlay Site Plan
TP_046		Hotel Villas - Ridge Villas
TP_047		Hotel Villas - Water Villas
TP_048		Overlooking Assessment
TP_049		Creek Plateau Villas
TP_050		Pasture Villas
TP_051		Typical Villa Cluster Elevations
TP_052		Creek Plateau & Pasture Villa Type A
TP_053		Creek Plateau & Pasture Villa Type B
TP_054		Creek Plateau & Pasture Villa Type C
TP_055		Creek Plateau & Pasture Villas Perspective View
TP_056		Blue Shed & Pavilion
TP_057		Services Area Detail Plan

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 Gulliver Stevens/Overland Pty Ltd  
 1460 Collins Street Melbourne, Victoria Australia 3002  
 P 61 3 9511 6144 F 61 3 9529 9291  
 www.gulliverstevens.com.au

Apollo Bay Resort  
Project

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Cover Sheet  
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Apollo Bay Resort  
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Site Context Plan  
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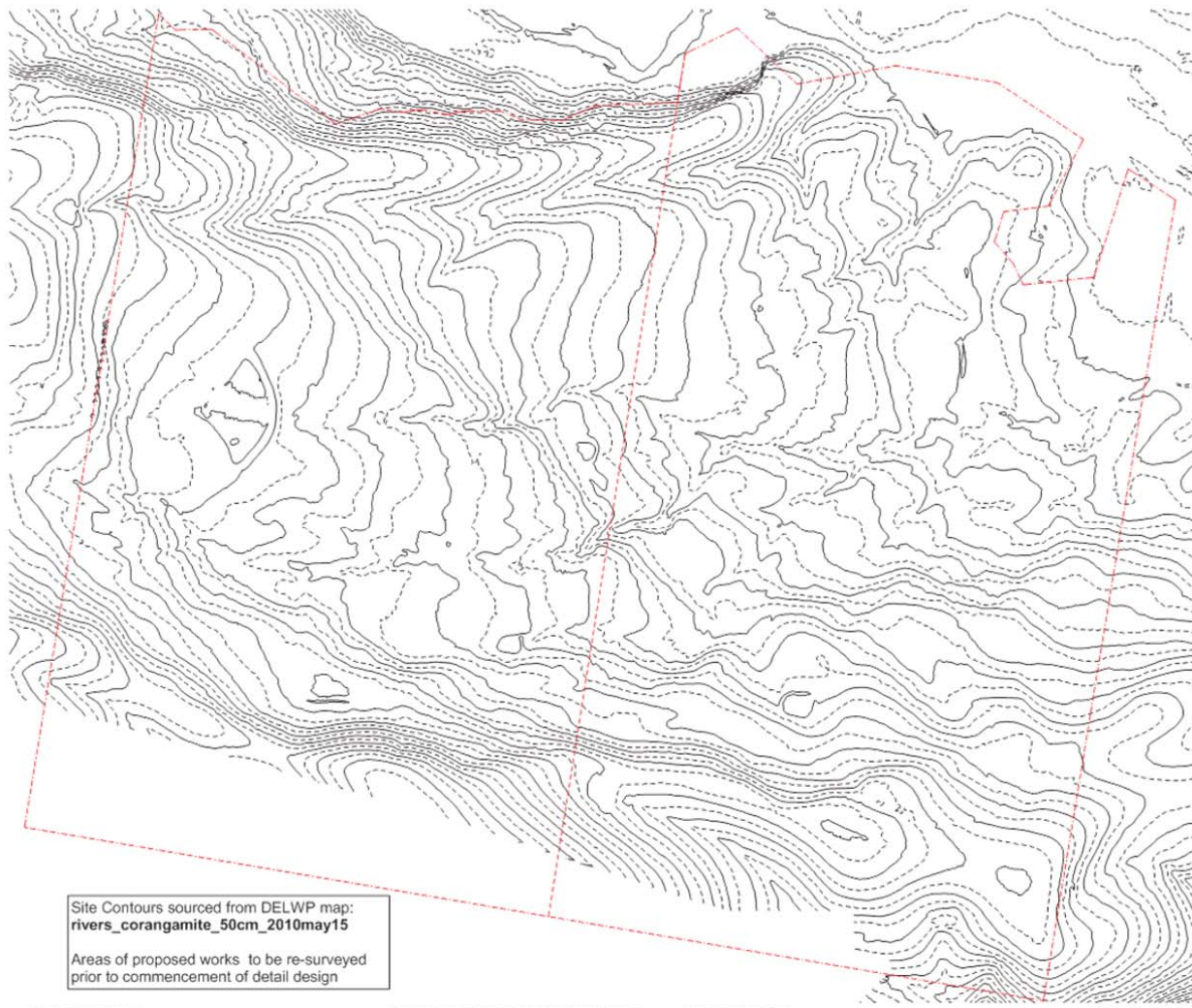
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Gullay Shire Council Pty Ltd  
 1460 Collins Street Melbourne, Victoria, Australia 3002  
 P 61 3 9514 5044 F 61 3 9589 5201  
 info@shires.com.au www.shires.com.au







Site Contours sourced from DELWP map:  
**rivers\_corangamite\_50cm\_2010may15**  
 Areas of proposed works to be re-surveyed  
 prior to commencement of detail design

**Apollo Bay Resort**  
Project

**Oceans United Investments Group Pty Ltd**  
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**Site Contour Plan**  
Drawing

**2017005 15/05/18**  
Project No. Issue Date

**TP\_002-1**  
Drawing Number Revision

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**SPOONERS**

Geoffrey Spooner/Consult Pty Ltd  
 11460 Collins Street Melbourne, Victoria Australia 3000  
 P +61 3 9631 6344 F +61 3 9628 9201  
 g.spooner@spooners.com.au spooners.com.au





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Detail Land Survey - Hotel Zone  
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Gulliver Systems (Vic) Pty Ltd  
1460 Collins Street Melbourne, Victoria Australia 3000  
P +61 3 9531 6344 F +61 3 9528 9201  
info@gulliversystems.com.au @gulliversystems



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<b>TITLE PLAN</b>		<b>EDITION 1</b>	<b>TP 757287Q</b>						
Location of Land		Notations							
Parcel Name: BARRAMURRA									
Section: 2									
County: 2 (P/1)									
Other Particulars:									
Land Plan Reference		4841 REFERENCE TO SHIP IN THE TITL REVEALS THE OVERSEA DIVISION ON THIS TITLE PLAN							
Derived From: VLS 4896 P/L 542									
Diachronisation: Nil									
Description of Land / Estimated Information		THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT. COMPLETED: 18/10/2016 VERIFIED: LHM							
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P: 03 9511 6144 F: 03 9528 9201  
info@gulfairsystems.com.au

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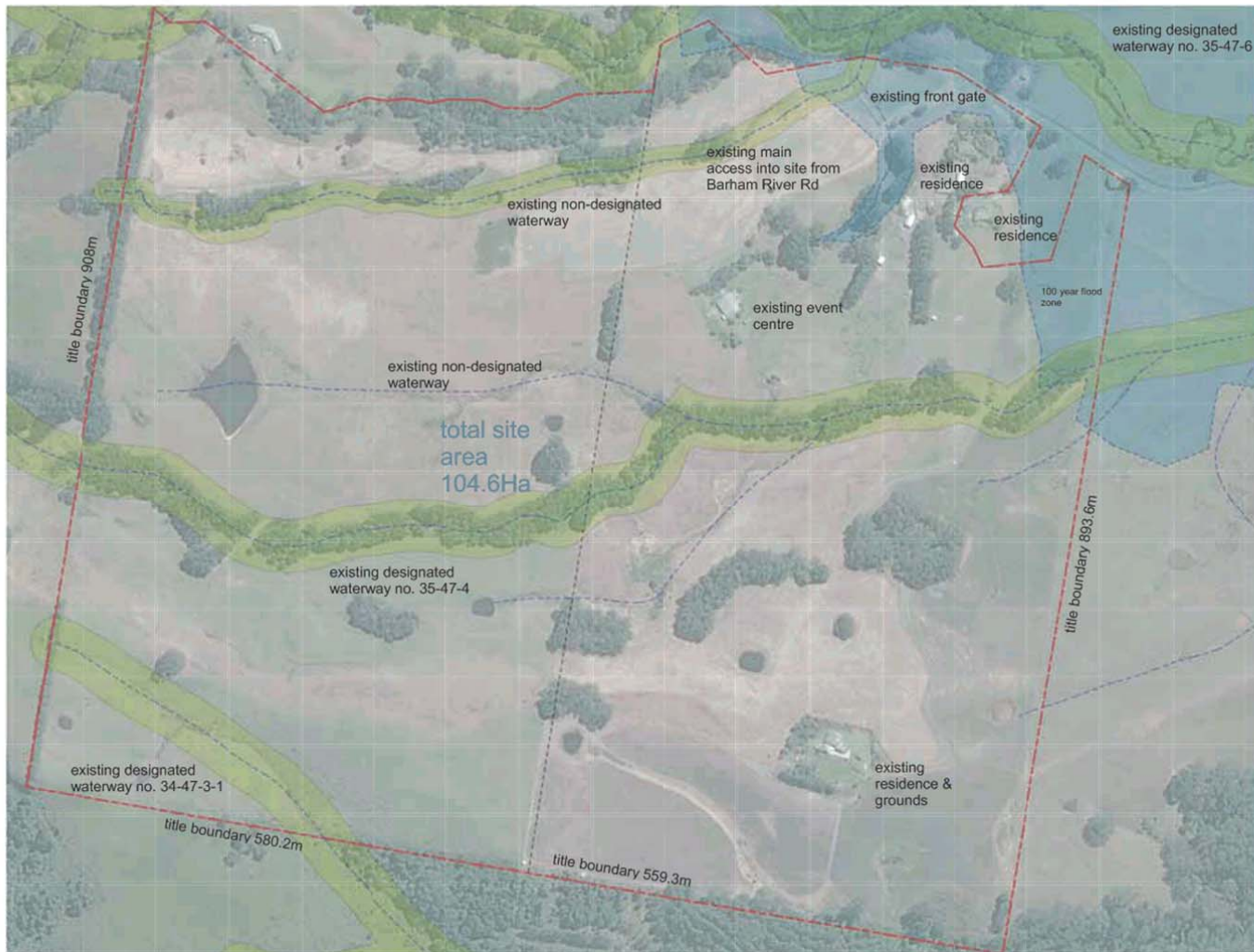
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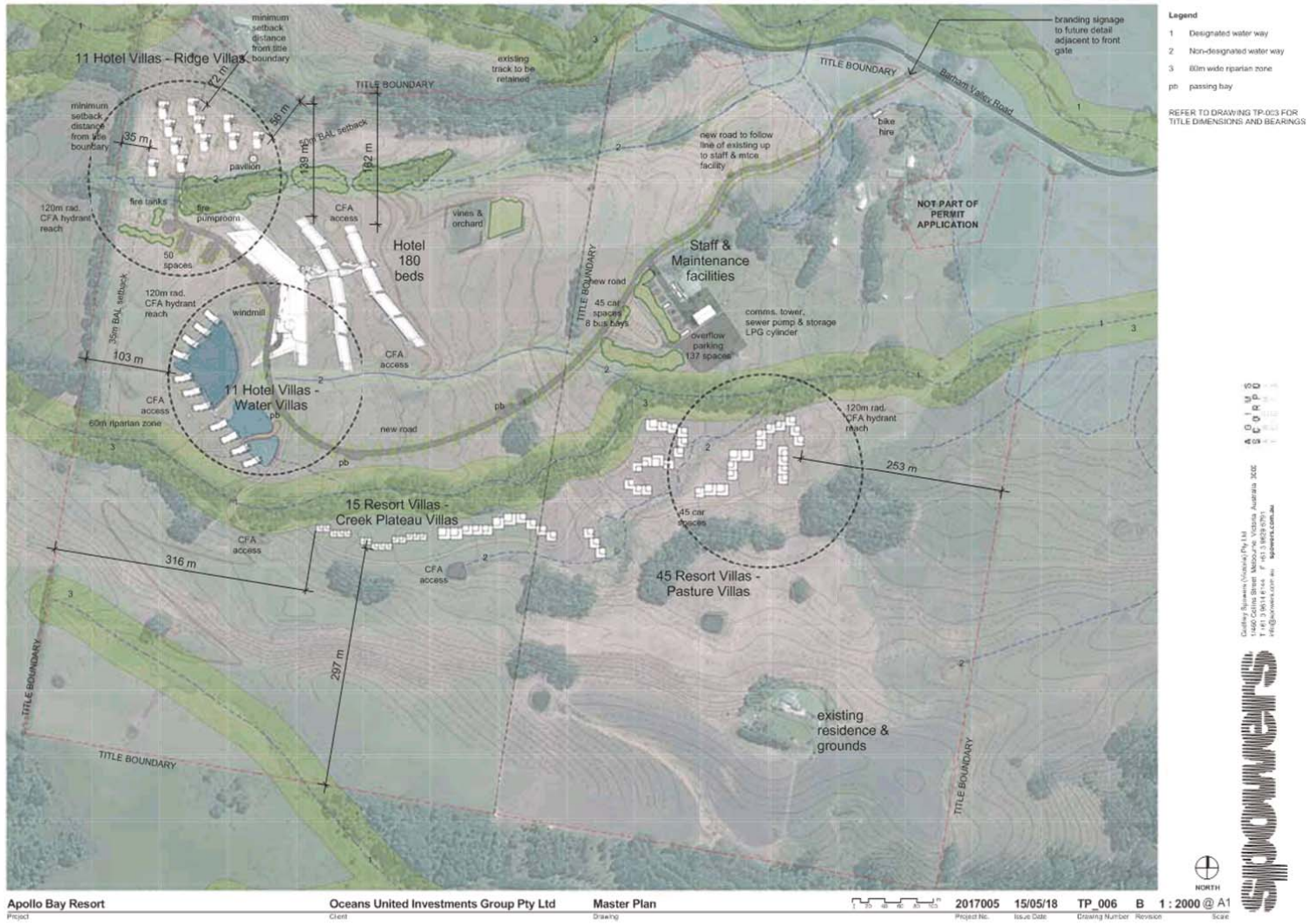
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 1460 Collins Street Melbourne, Victoria Australia 3000  
 P +61 3 9611 6144 F +61 3 9628 9291  
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<b>Apollo Bay Resort</b> Project	<b>Oceans United Investments Group Pty Ltd</b> Client	<b>Existing Conditions</b> Drawing	<b>2017005</b> Project No.	<b>15/05/18</b> Issue Date	<b>TP_004</b> Drawing Number	<b>A</b> Revision	<b>1 : 2000 @ A1</b> Scale
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Apollo Bay Resort  
Project

Oceans United Investments Group Pty Ltd  
Client

Proposed Staging  
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2017005  
Project No.

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Issue Date

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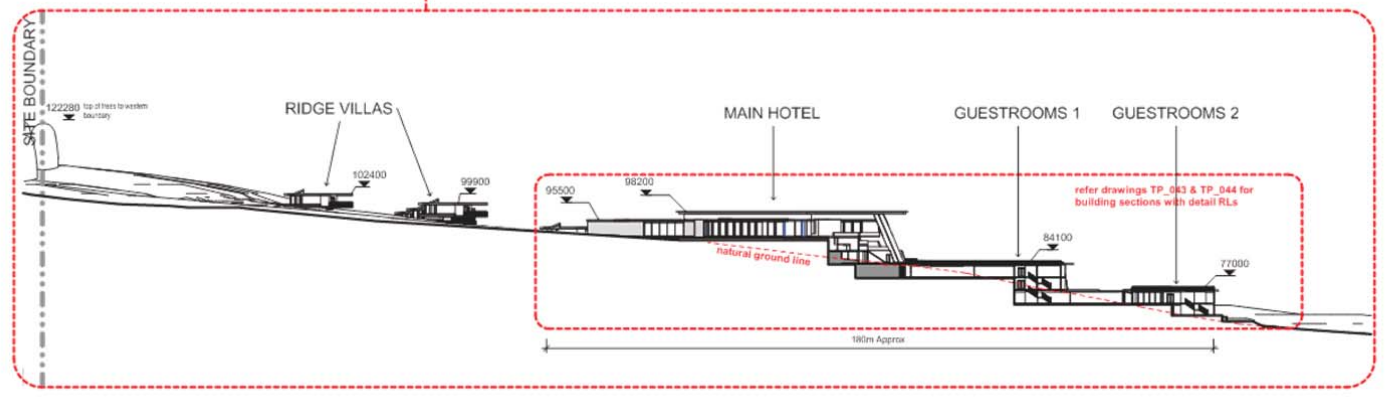
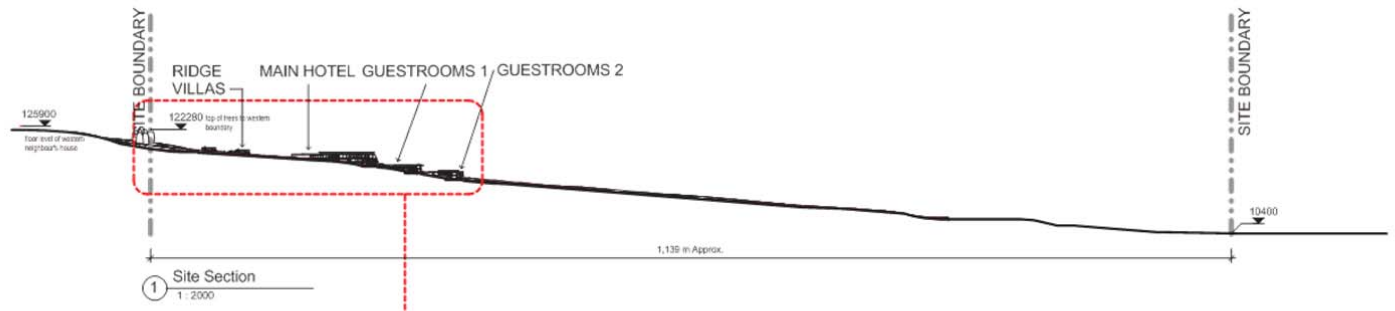
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1140 Collins Street Melbourne, Victoria Australia 3000  
P +61 3 9511 6144 F +61 3 9528 9201  
info@gsoc.com.au gsoc.com.au







Apollo Bay Resort  
Project

Oceans United Investments Group Pty Ltd  
Client

Site Sections  
Drawing

2017005  
Project No.

15/05/18  
Issue Date

TP\_008  
Drawing Number

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Revision

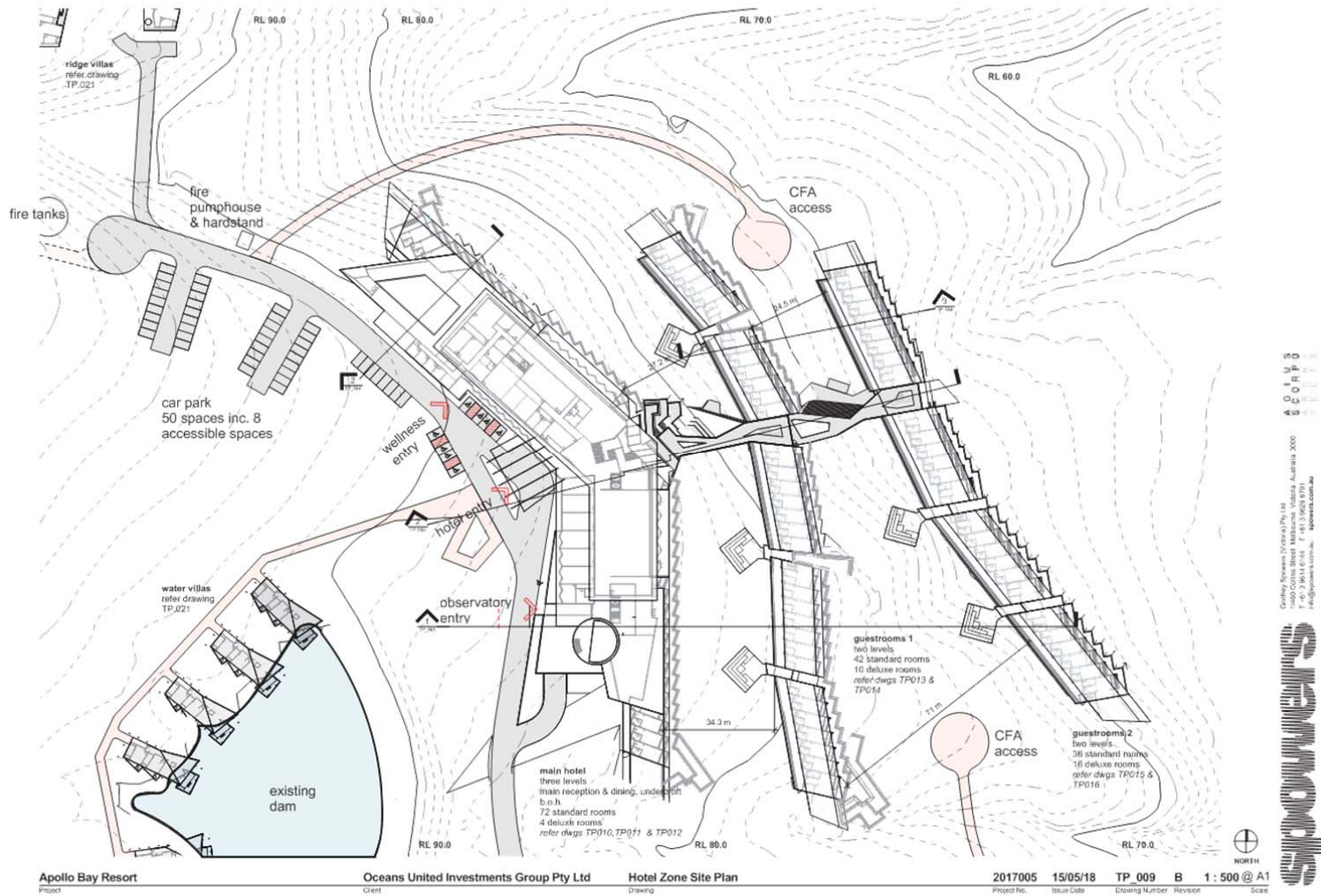
as shown  
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@ A1

A 0 P 0

Coffey Stovess/Oceans Pty Ltd  
1460 Collins Street Melbourne, Victoria Australia 3000  
Tel: 03 9511 6144 Fax: 03 9583 9201  
info@stovess.com.au www.stovess.com.au

**STOVES**



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 1460 Collins Street Melbourne, Victoria Australia 3000  
 P: +61 3 9611 6114 F: +61 3 9688 9391  
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**Apollo Bay Resort**  
Project

**Oceans United Investments Group Pty Ltd**  
Client

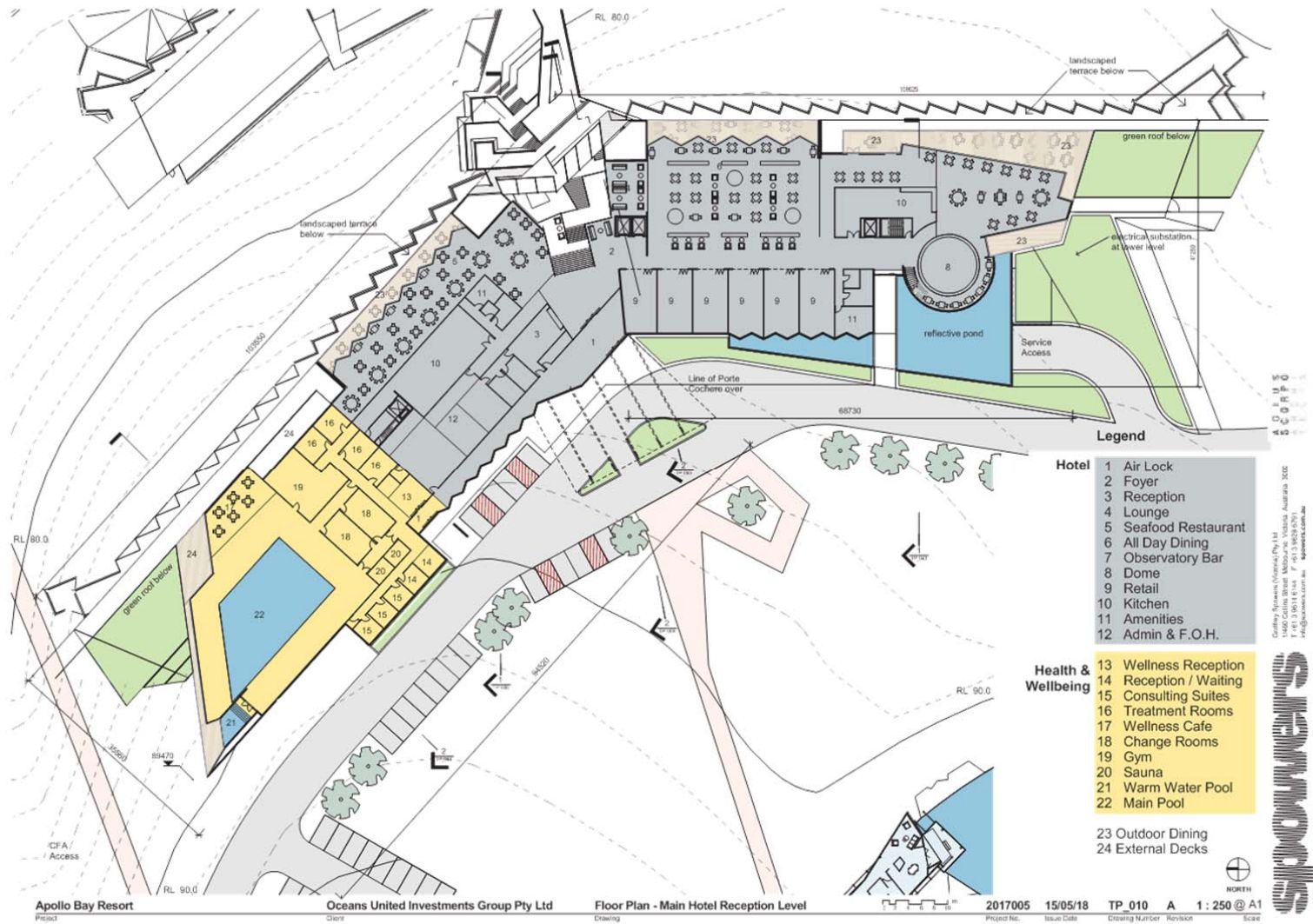
**Hotel Zone Site Plan**  
Drawing

**2017005**  
Project No.

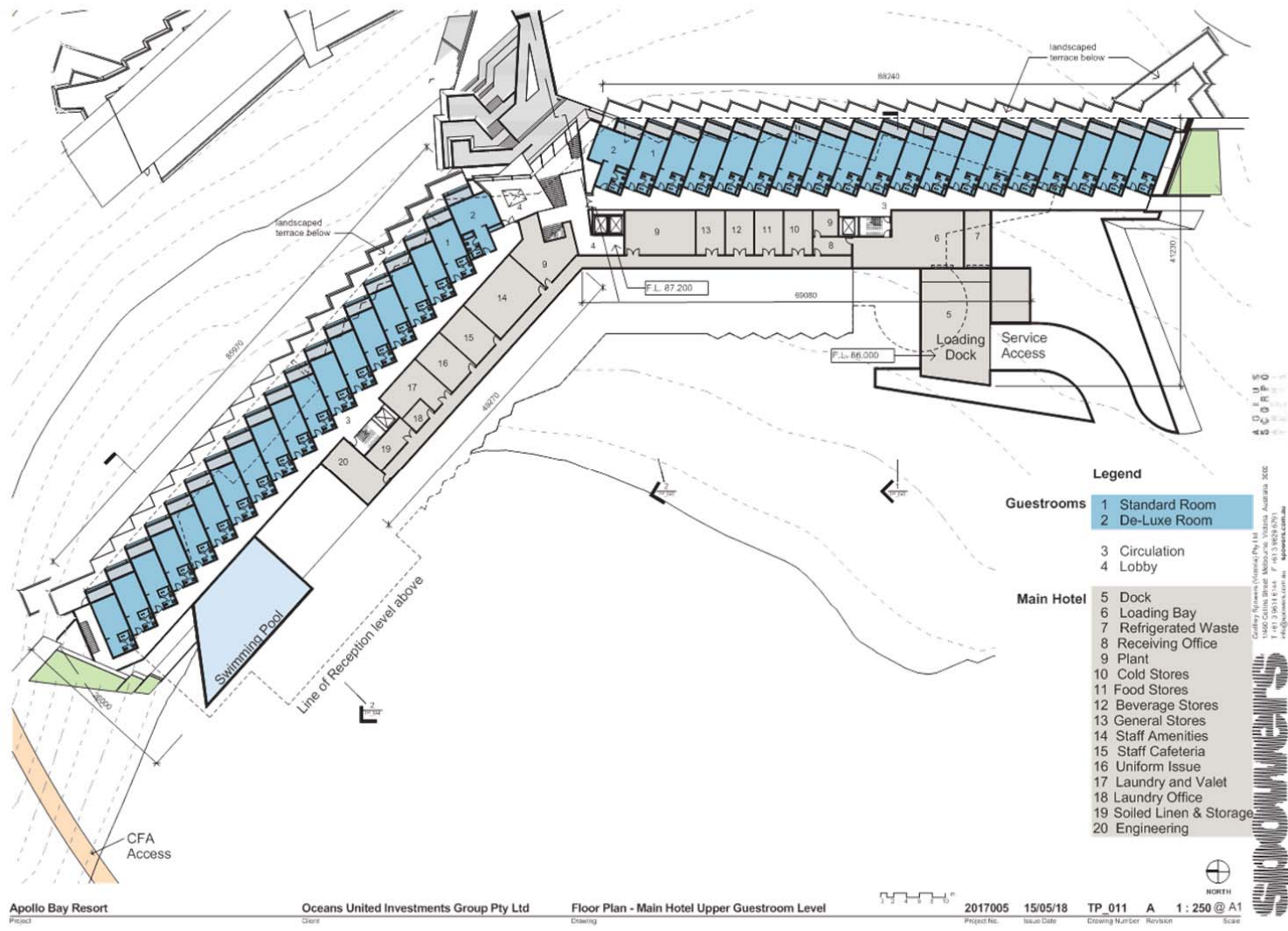
**15/05/18**  
Issue Date

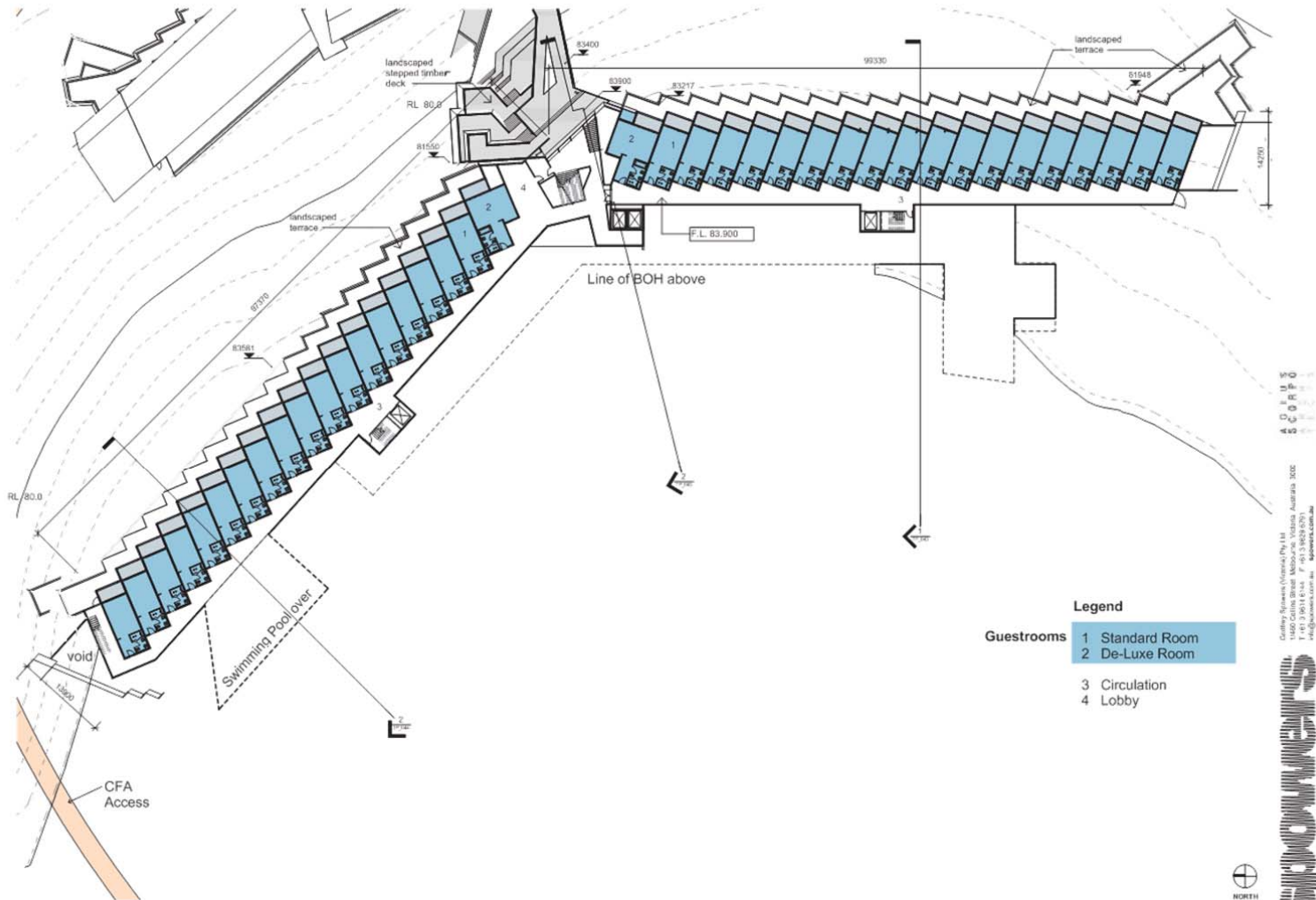
**TP\_009 B**  
Drawing Number Revision

**1 : 500 @ A1**  
Scale









- Legend**
- 1 Standard Room
  - 2 De-Luxe Room
  - 3 Circulation
  - 4 Lobby

**Apollo Bay Resort**  
Project

**Oceans United Investments Group Pty Ltd**  
Client

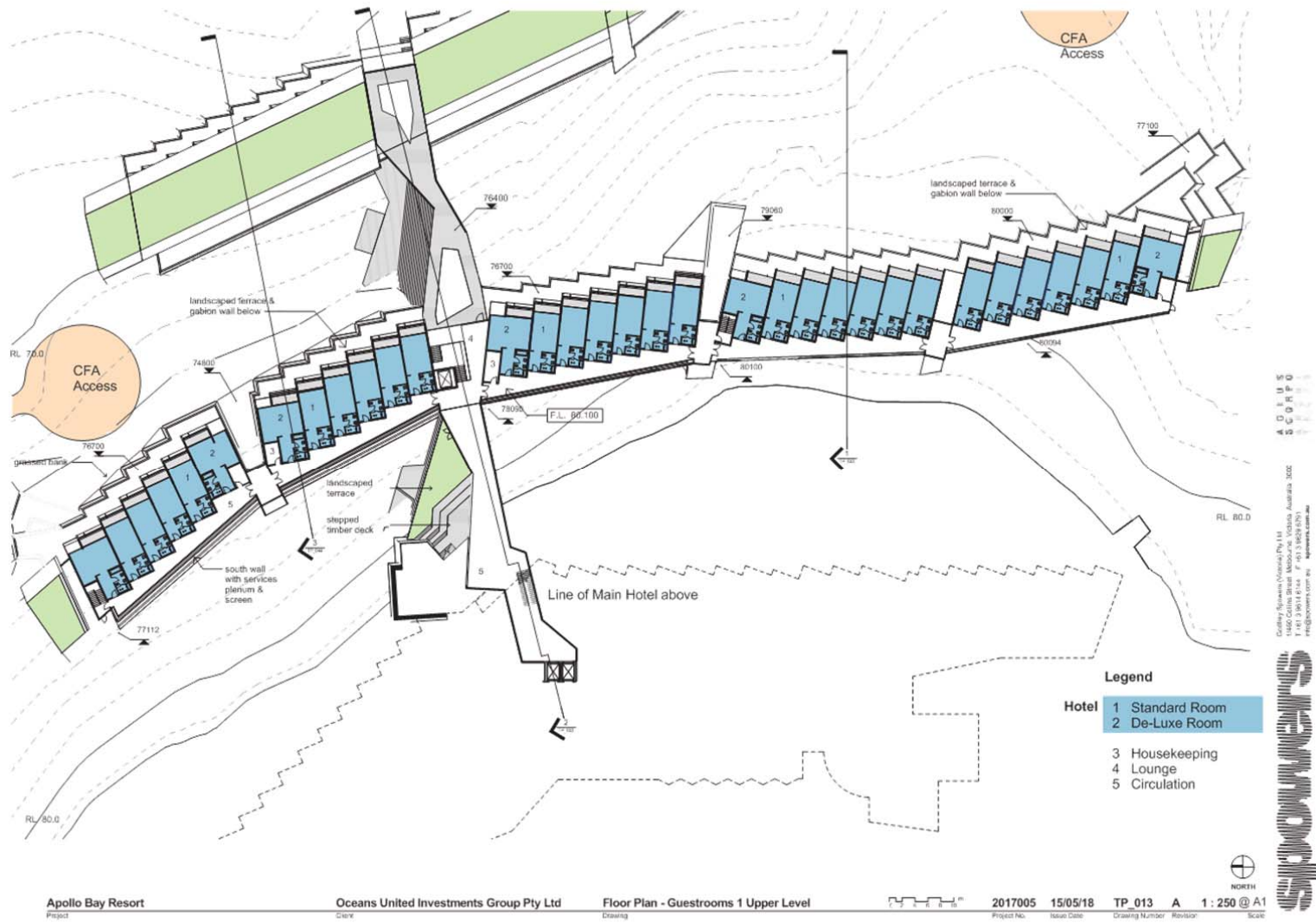
**Floor Plan - Main Hotel Lower Guestroom Level**  
Drawing

2017005 15/05/18 TP\_012 A 1:250 @ A1  
Project No. Issue Date Drawing Number Revision Scale



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 11450 Collins Street Melbourne, Victoria Australia 3002  
 P +61 3 9511 6344 F +61 3 9528 9201  
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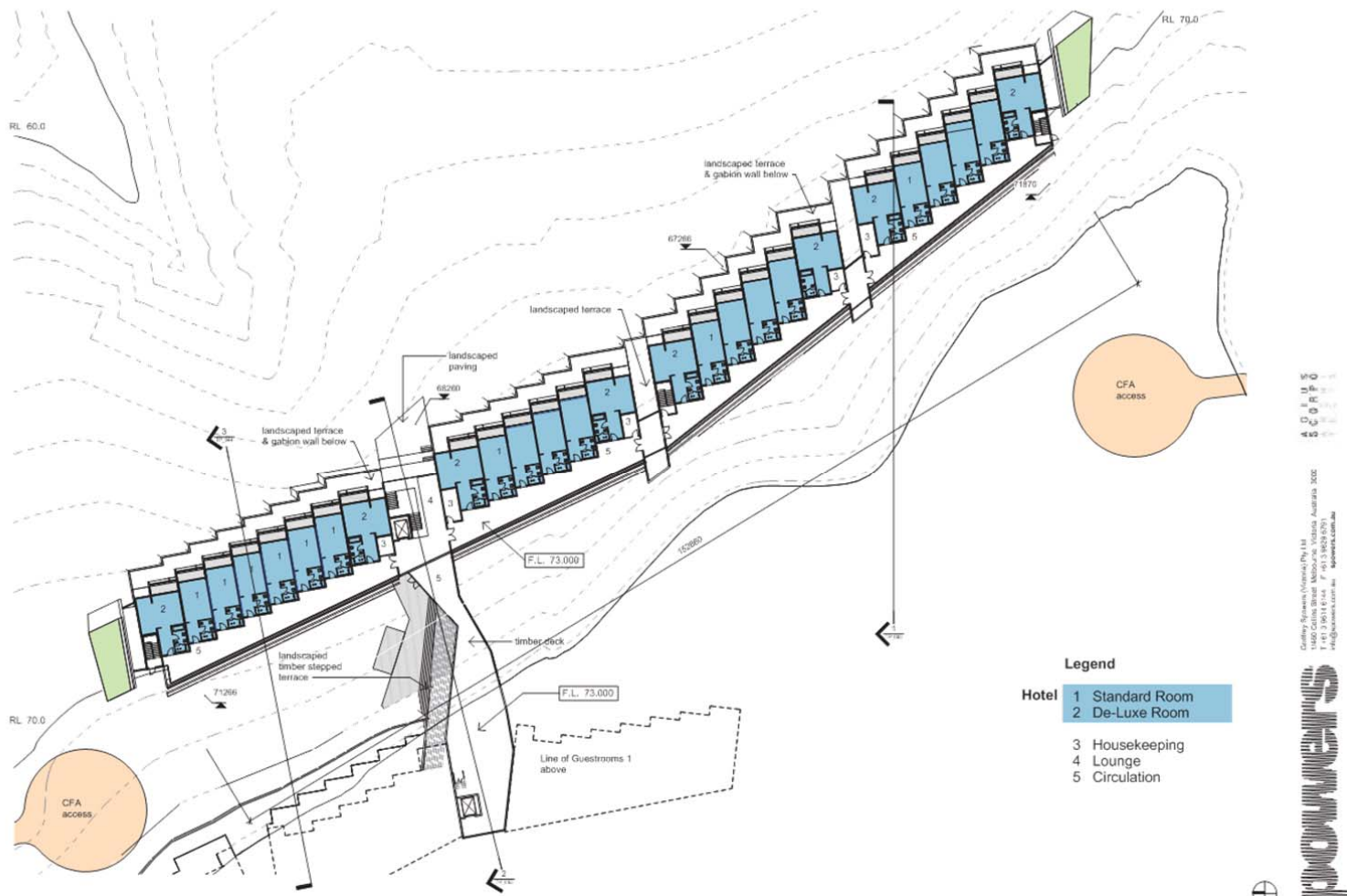


- Legend**
- Hotel**
  - 1 Standard Room
  - 2 De-Luxe Room
  - 3 Housekeeping
  - 4 Lounge
  - 5 Circulation

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 info@gulliverstevens.com.au @gulliverstevens

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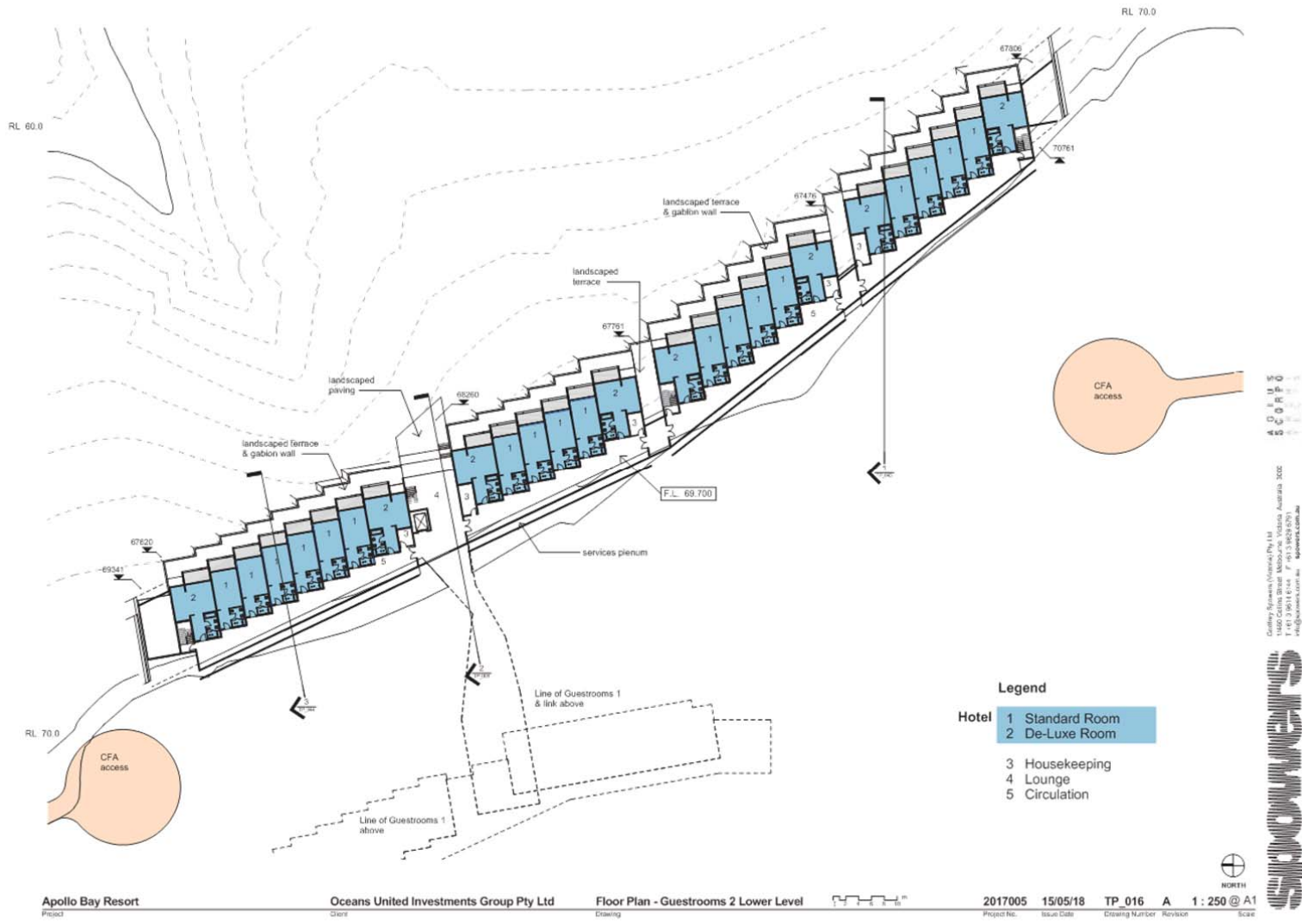


- Legend**
- Hotel**
- 1 Standard Room
  - 2 De-Luxe Room
  - 3 Housekeeping
  - 4 Lounge
  - 5 Circulation

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 1140 Collins Street Melbourne, Victoria Australia 3000  
 P +61 3 9631 6144 F +61 3 9628 9201  
 info@gulliverservices.com.au www.gulliverservices.com.au





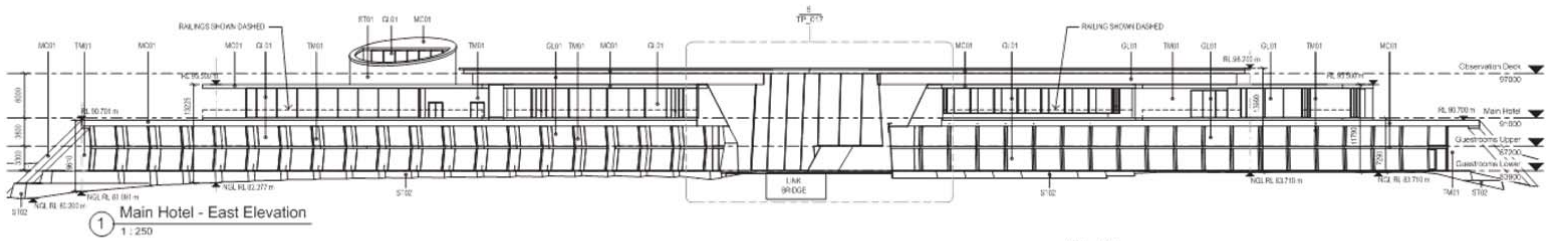


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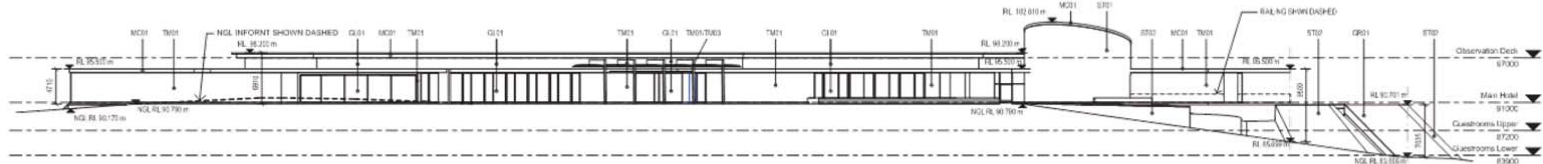
Gulliver Systems (Vic) Pty Ltd  
 1140 Collins Street Melbourne, Victoria Australia 3000  
 P +61 3 9611 6144 F +61 3 9628 9201  
 info@gulliversystems.com.au www.gulliversystems.com.au



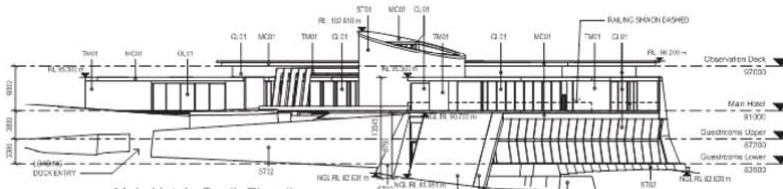
Apollo Bay Resort Oceans United Investments Group Pty Ltd Floor Plan - Guestrooms 2 Lower Level  
 Project Client Drawing  
 2017005 15/05/18 TP\_016 A 1:250 @ A1  
 Project No. Issue Date Drawing Number Revision Scale



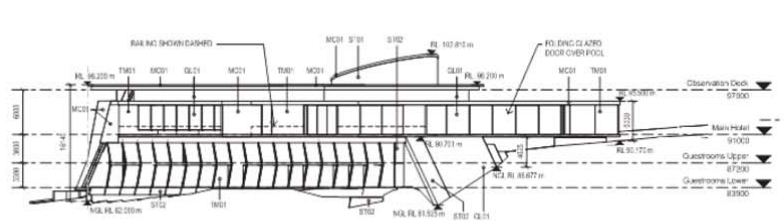
1 Main Hotel - East Elevation  
1:250



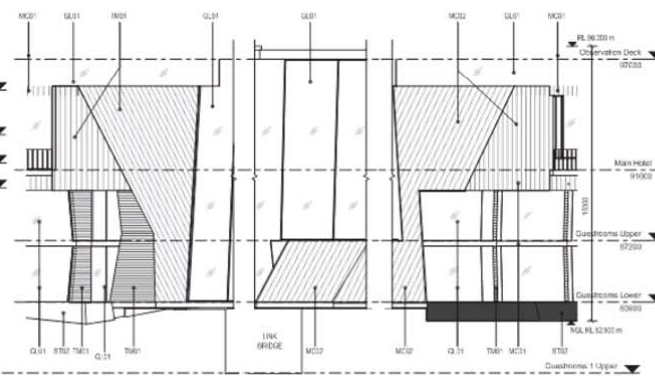
3 Main Hotel - West Elevation  
1:250



2 Main Hotel - South Elevation  
1:250



4 Main Hotel - North Elevation  
1:250



5 Main Hotel - East Elevation Callout  
1:100

EXTERNAL FINISHES LEGEND	
RF01	Recessed Brick
GL04	Lead grey zinc glass
CR01	Green roof
LX01	Landscaping
MC01	Slating over zinc steel gables and eaves
MC02	Dakenal Composite Steel Cladding
ST01	Staircase
ST02	Galvanneal cladding with roof
TM01	Victorian 'hardwood' finish - darkish, natural finish
TM02	Victorian 'hardwood' finish - darkish, aged finish
TM03	Victorian 'hardwood' finish - medium, darkish
TM04	Victorian 'hardwood' finish - darkish
TM05	Victorian 'hardwood' finish - natural stain

Apollo Bay Resort  
Project

Oceans United Investments Group Pty Ltd  
Client

Main Hotel - Elevations  
Drawing



2017005  
Project No.

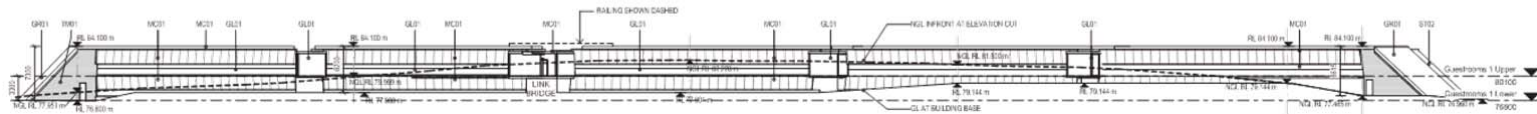
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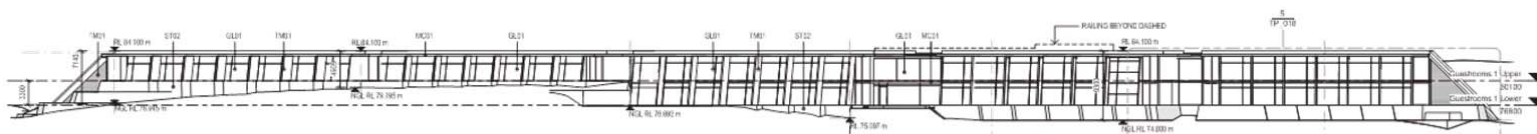
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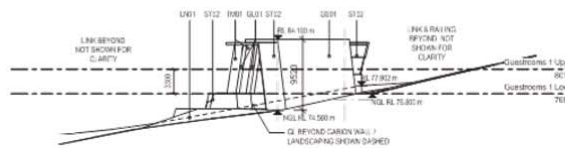
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 www.gardnerwharf.com.au



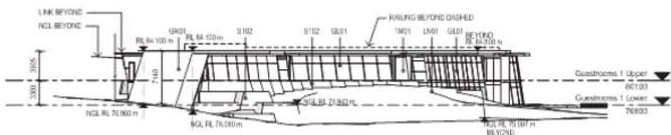
1 Guestrooms 1 - West Elevation  
1: 250



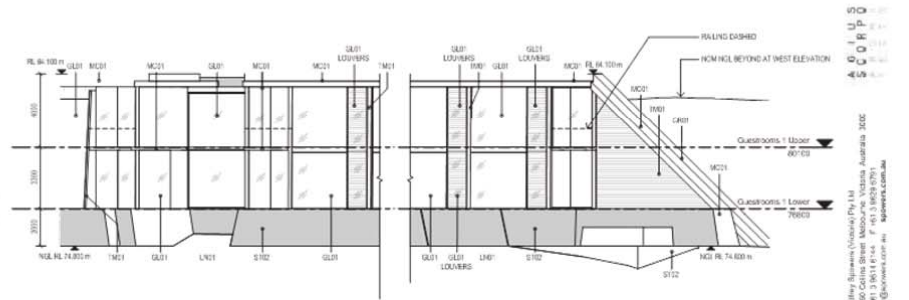
2 Guestrooms 1 - East Elevation  
1: 250



3 Guestrooms 1 - North Elevation  
1: 250



4 Guestrooms 1 - South Elevation  
1: 250



5 Guestrooms 1 - East Elevation - Callout  
1: 100

EXTERNAL FINISHES LEGEND	
GR01	Regular Brick
GL01	Cool grey tinted glass
GR01	Green roof
LM01	Landscaping
MC01	Sliding glass door with steel, galvanized and aluminium
MC02	Galvanneal Composite Slatted Cladding
ST01	Stainless
ST02	Galvanneal composite wall / roof
SW01	Victorian hardwood timber cladding - natural finish
SW02	Victorian hardwood timber cladding - stained finish
SW03	Victorian hardwood timber screening battens
SW04	Victorian hardwood timber cladding
SW05	Victorian hardwood timber charred stain

Apollo Bay Resort  
Project

Oceans United Investments Group Pty Ltd  
Client

Guestrooms 1 - Elevations  
Drawing

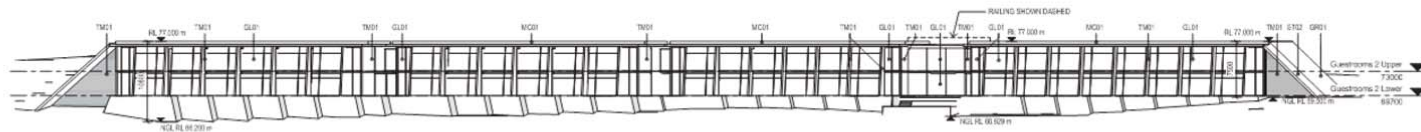
2017005  
Project No.

15/05/18  
Issue Date

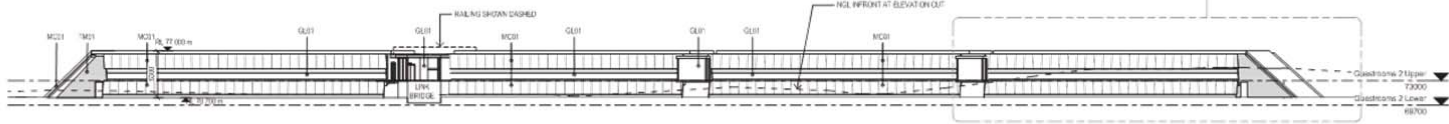
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Revision Scale

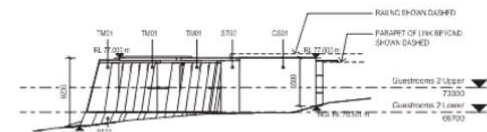
**SPROUERS**  
 Civilian Services (Vic) Pty Ltd  
 1440 Collins Street Melbourne, Victoria Australia 3000  
 P +61 3 9614 6244 F +61 3 9629 9791  
 www.sprouters.com.au



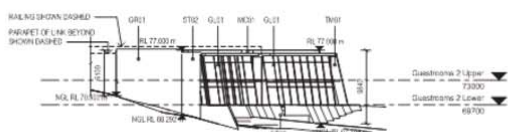
1 Guestrooms 2 - East Elevation  
1 : 250



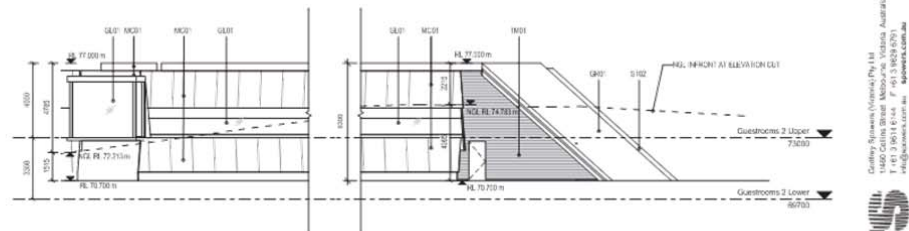
4 Guestrooms 2 - West Elevation  
1 : 250



2 Guestrooms 2 - North Elevation  
1 : 250



3 Guestrooms 2 - South Elevation  
1 : 250



5 Guestrooms 2 - West Elevation - Callout  
1 : 100

EXTERNAL FINISHES LEGEND	
BR01	Reynolds Brick
GL01	Coat grey 11000 glass
GL02	Green tint
GL03	Laminating
MC01	Slippery resin zinc silver steel, gutters and downpipe
MC02	Colourbond Corrugated Sheet/Cladding
ST01	Sandstone
ST02	Gabon terracing wall / roof
TM01	Victorian hardwood timber cladding, natural finish
TM02	Victorian hardwood timber cladding, stained/leigo
TM03	Victorian hardwood timber screening balustrade
TM04	Victorian hardwood timber screening
TM05	Victorian hardwood timber screen wall

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 P +61 3 9611 6144 F +61 3 9628 9201  
 info@gsw.com.au www.gsw.com.au

DRAWING DELETED. REFER DRAWINGS TP 043 & TP 044

Apollo Bay Resort  
Project

Oceans United Investments Group Pty Ltd  
Client

Building Section  
Drawing

2017005  
Project No.

15/05/18  
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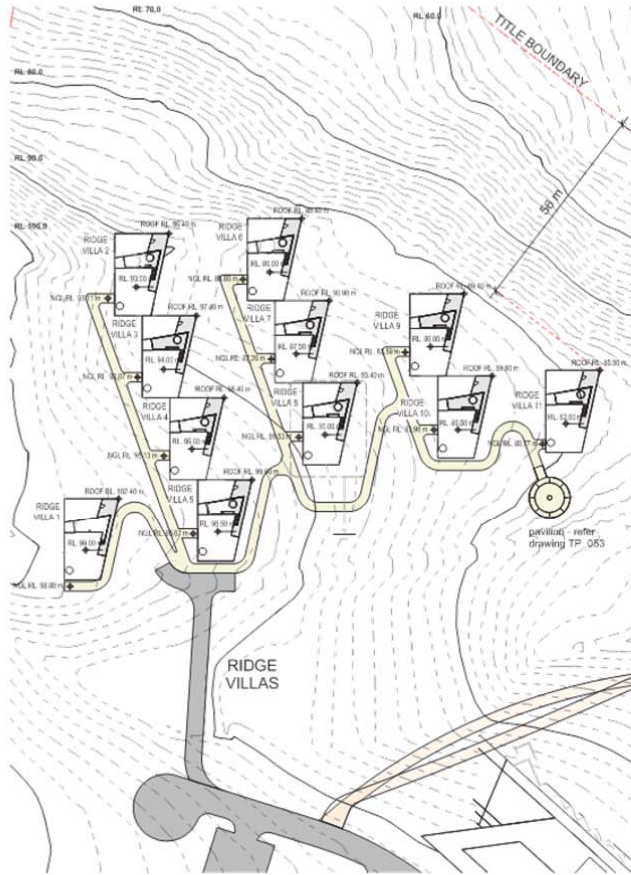
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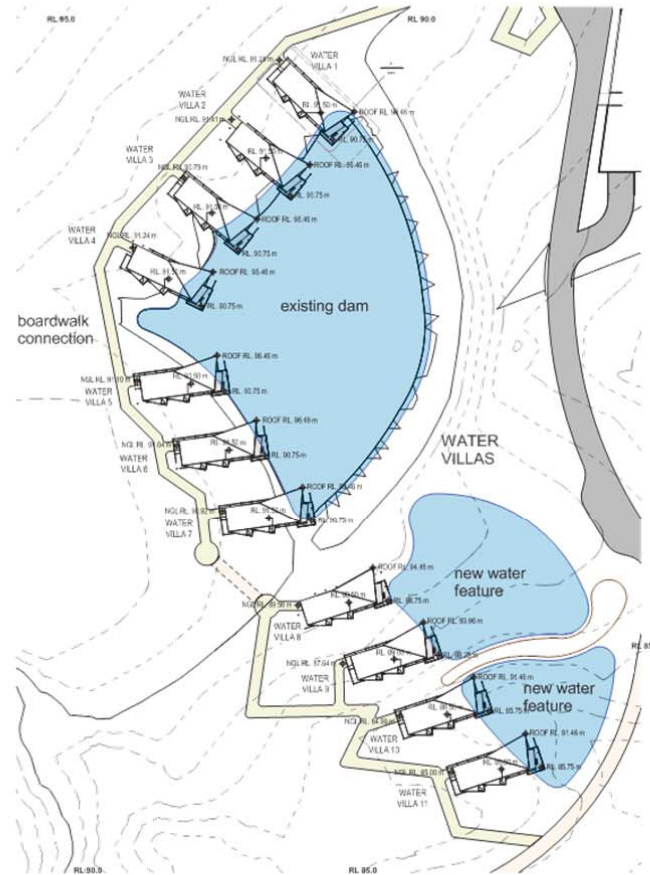
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1140 Collins Street Melbourne, Victoria Australia 3000  
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info@stammers.com.au @stammers

**stammers**





Ridge Villas Keyplan



Water Villas Keyplan

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**SPONSORS**

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Apollo Bay Resort  
Project

Oceans United Investments Group Pty Ltd  
Client

Hotel Villa Keyplan (Ridge & Water Villas)  
Drawing

2017005 15/05/18 TP\_021 A 1:500 @ A1  
Project No. Issue Date Drawing Number Revision Scale

DRAWING DELETED.

Apollo Bay Resort  
Project

Oceans United Investments Group Pty Ltd  
Client

Section Through Dam  
Drawing

2017005 15/05/18 TP\_022 A  
Project No. Issue Code Drawing Number Revision

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Scale

**SPENCERS**  
COLLIER BROSSEAU ARCHITECT PTY LTD  
14/85 Collins Street Melbourne, Victoria Australia 3000  
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collierbrosseau.com.au spencers.com.au



**Apollo Bay Resort**  
Project

**Oceans United Investments Group Pty Ltd**  
Client

**Aerial View from the South East**  
Drawing

**2017005** **15/05/18** **TP\_023** **A** **n.i.s.** **@ A1**  
Project No. Issue Date Drawing Number Revision Scale

**SPROUTERS**  
 46 U.S.  
 150 Collins Street Melbourne, Victoria Australia 3000  
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 P +61 3 9616 6144 F +61 3 9628 9201  
 www.galaxyscreens.com.au @galaxyscreens

**galaxyscreens**

**Apollo Bay Resort**  
 Project

**Oceans United Investments Group Pty Ltd**  
 Client

**Aerial View from the West**  
 Drawing

**2017005** **15/05/18** **TP\_024** **A** n.l.s. @ A1  
 Project No. Issue Date Drawing Number Revision Scale



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**Apollo Bay Resort**  
Project

**Oceans United Investments Group Pty Ltd**  
Client

**Main Hotel and Guestrooms 1 from the South East**  
Drawing

**2017005** **15/05/18** **TP\_025** **A** **n.l.s.** **@ A1**  
Project No. Issue Date Drawing Number Revision Scale





A P O L L O  
 B A Y  
 R E S O R T

Gulliver Street, Apollo Bay, Vic 3240  
 1860 Collins Street, Melbourne, Victoria Australia 3000  
 P +61 3 9616 6144 F +61 3 9628 6201  
 www.apollobayresort.com.au

**SPROUTERS**

**Apollo Bay Resort**  
Project

**Oceans United Investments Group Pty Ltd**  
Client

**Main Hotel from the North East**  
Drawing

**2017005** **15/05/18** **TP\_026** **A** n.t.s. @ A1  
Project No. Issue Date Drawing Number Revision Scale



A B I U S  
 S O P  
 Gullery, Science/Ocean/Pls 14  
 1460 Collins Street Melbourne, Victoria Australia 3000  
 P +61 3 9614 6144 F +61 3 9628 6201  
 www.gullery.com.au



**Apollo Bay Resort**  
Project

**Oceans United Investments Group Pty Ltd**  
Client

**Main Hotel and Guestrooms 1 from the East**  
Drawing

**2017005** **15/05/18** **TP\_027** **A** n.l.s. @ A1  
Project No. Issue Date Drawing Number Revision Scale

DRAWING DELETED

Apollo Bay Resort      Oceans United Investments Group Pty Ltd      Main Hotel and Hotel Villas from South      2017005      15/05/18      TP\_028      A      @ A1

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1460 Collins Street Melbourne Victoria Australia 3000  
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info@oceanic.com.au [www.oceanic.com.au](http://www.oceanic.com.au)







4 6 | U S  
 S O F  
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 1180 Collins Street Melbourne, Victoria Australia 3000  
 P +61 3 9621 6244 F +61 3 9628 9291  
 www.gso.com.au

SPORNS  
 architects

**Apollo Bay Resort**  
Project

**Oceans United Investments Group Pty Ltd**  
Client

**Main Hotel from North**  
Drawing

**2017005** **15/05/18** **TP\_029** **A** n.l.s. @ A1  
 Project No. Issue Date Drawing Number Revision Scale



4 6 1 U S  
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1560 Collins Street Melbourne, Victoria Australia 3000  
P +61 3 9616 6144 F +61 3 9628 9291  
info@spoolmeiers.com.au spoolmeiers.com.au

**spoolmeiers**

**Apollo Bay Resort**  
Project

**Oceans United Investments Group Pty Ltd**  
Client

**Main Hotel View from Northern Hotel Villas (Ridge Villas)**  
Drawing

**2017005 15/05/18 TP\_030 A n.s.s. @ A1**  
Project No. Issue Date Drawing Number Revision Scale





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 5 C O P Y  
 1 160 Collins Street Melbourne, Victoria Australia 3000  
 P +61 3 9614 6144 F +61 3 9628 9291  
 info@spoonhears.com.au spoonhears.com.au



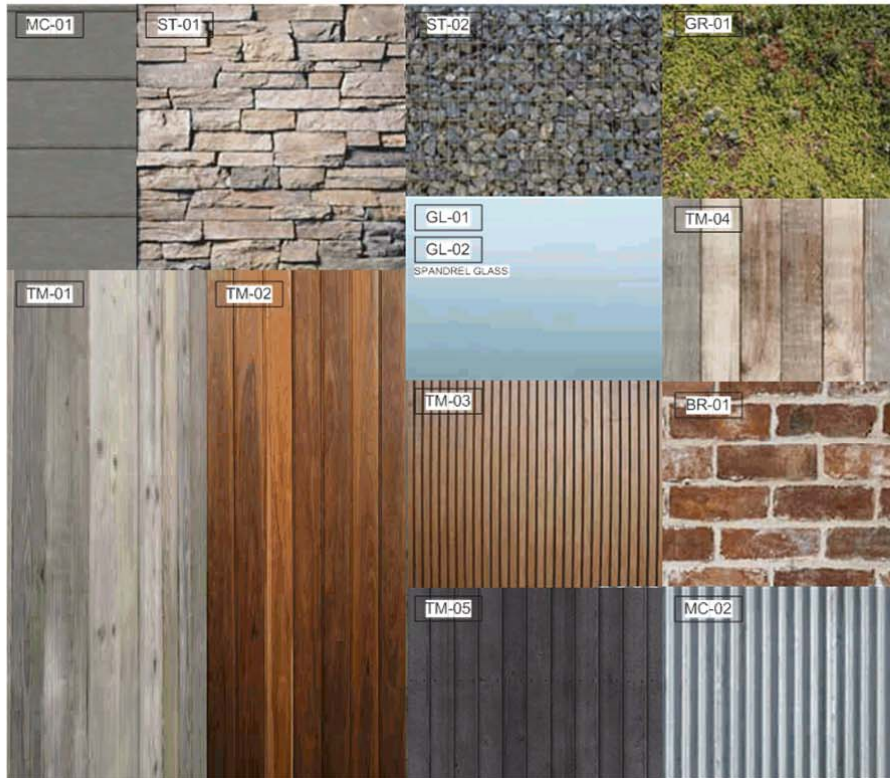
Apollo Bay Resort  
Project

Oceans United Investments Group Pty Ltd  
Client

Hotel Villas (Water Villas)  
Drawing

2017005 15/05/18 TP\_031 A n.i.s. @ A1  
Project No. Issue Date Drawing Number Revision Scale





**KEY**

- BR-01** - RECYCLED BRICK
- GL01** - COOL GREY TINTED GLASS
- GL02** - SPANDREL GLASS
- GR01** - GREEN ROOF
- MC01** - ZINC SHEET CLADDING. ZINC GUTTERS AND DOWNPIPES
- MC02** - GALVANISED CORRUGATED SHEET CLADDING.
- ST01** - STACKED NATURAL SANDSTONE
- ST02** - GABION LANDSCAIPAING WALL
- TM01** - VICTORIAN HARDWOOD TIMBER CLADDING - NATURAL FINISH
- TM02** - VICTORIAN HARDWOOD TIMBER CLADDING - SEALED FINISH
- TM03** - VICTORIAN HARDWOOD TIMBER SCREENING BATTENS
- TM04** - VICTORIAN HARDWOOD TIMBER DECKING
- TM05** - VICTORIAN HARDWOOD TIMBER CHARCOAL STAIN

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1140 Collins Street Melbourne, Victoria Australia 3000  
P +61 3 9516 6144 F +61 3 9528 6201  
info@gulliversystems.com.au @gulliversystems

**SPANDRELS**

Apollo Bay Resort  
Project

Oceans United Investments Group Pty Ltd  
Client

Materials and Finishes  
Drawing

2017005 15/05/18 TP\_032 A n.l.s. @ A1  
Project No. Issue Date Drawing Number Revision Scale



hotel not visible in view

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1460 Collins Street Melbourne, Victoria Australia 3000  
P +61 3 9516 6144 F +61 3 9528 9251  
info@coastal.com.au www.coastal.com.au

**SPROUTERS**

Apollo Bay Resort  
Project

Oceans United Investments Group Pty Ltd  
Client

View Towards Site from Barham River Road  
Drawing

2017005 15/05/18 TP\_033  
Project No. Issue Date Drawing Number Revision

n.l.s. @ A1  
Scale





Apollo Bay Resort  
Project

Oceans United Investments Group Pty Ltd  
Client

View Towards Site from B100 Bridge  
Drawing

2017005 15/05/18 TP\_034 B n.l.s. @ A1  
Project No. Issue Date Drawing Number Revision Scale

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1460 Collins Street Melbourne, Victoria Australia 3000  
P +61 3 9616 6144 F +61 3 9628 9291  
info@galleystevens.com.au @galleystevens

**galley  
stevens**



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Geoffrey Stowers/Oceanic Pty Ltd  
 1460 Collins Street Melbourne, Victoria Australia 3002  
 P +61 3 9631 6344 F +61 3 9628 6201  
 g.stowers@oceanic.com.au www.oceanic.com.au

**STOWERS**

Apollo Bay Resort  
Project

Oceans United Investments Group Pty Ltd  
Client

View Towards Site from Marengo  
Drawing

2017005 15/05/18 TP\_035 A n.l.s. @ A1  
Project No. Issue Date Drawing Number Revision Scale





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 www.stevensvisions.com.au

**VISIONS**

Apollo Bay Resort  
 Project

Oceans United Investments Group Pty Ltd  
 Client

Access Routes  
 Drawing

2017005 15/05/18 TP\_036 A n.l.s. @ A1  
 Project No. Issue Date Drawing Number Revision Scale

DRAWING DELETED. REFER DRAWING TP\_049

Apollo Bay Resort  
Project

Oceans United Investments Group Pty Ltd  
Client

Resort Villas - Plans Sheet 1  
Drawing

2017005 15/05/18 TP\_037  
Project No. Issue Date Drawing Number Revision

@ A1  
Scale

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1140 Collins Street Melbourne, Victoria Australia 3000  
P +61 3 9511 6144 F +61 3 9528 9201  
info@gulliverservices.com.au @gulliverservices



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Apollo Bay Resort  
Project

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Client

Resort Villas - Plans Sheet 2  
Drawing

2017005 15/05/18 TP\_038  
Project No. Issue Date Drawing Number Revision

@ A1  
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1460 Collins Street Melbourne Victoria Australia 3000  
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Resort Villas Typical Elevations  
Drawing

2017005 15/05/18 TP\_039  
Project No. Issue Date Drawing Number Revision

@ A1  
Scale

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info@gulleystevens.com.au @gulleystevens





DRAWING DELETED. REFER DRAWING TP\_052

Apollo Bay Resort  
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View From Resort Villas  
Drawing

2017005 15/05/18 TP\_040  
Project No. Issue Date Drawing Number Revision

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Gulley Stevens Architects Pty Ltd  
1460 Collins Street Melbourne, Victoria Australia 3000  
P +61 3 9611 6144 F +61 3 9628 9201  
info@gulleystevens.com.au @gulleystevens





Plan



Site Photograph

**Apollo Bay Resort**  
Project

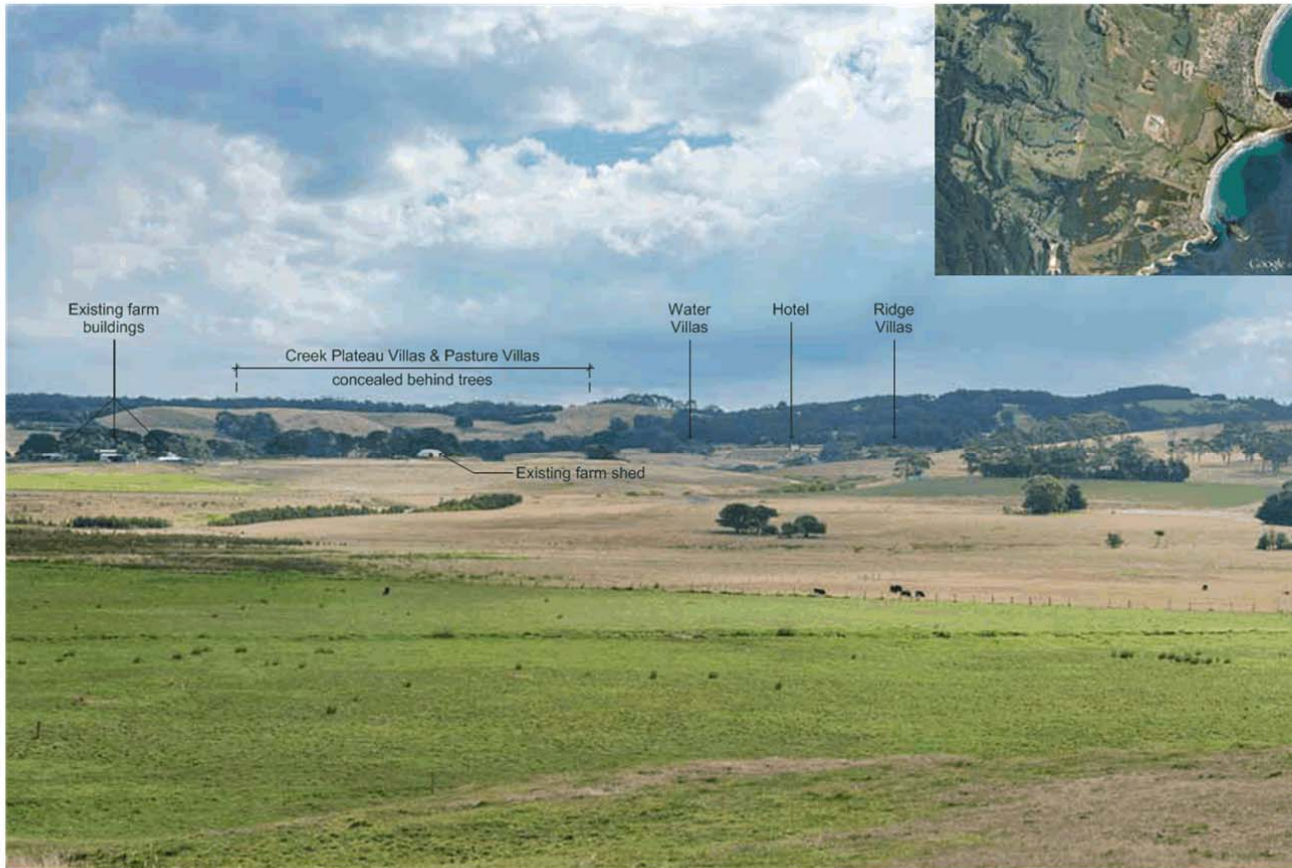
**Oceans United Investments Group Pty Ltd**  
Client

**Existing Trees to be Removed**  
Drawing

**2017005** **15/05/18** **TP\_041** **A** n.l.s. @ A1  
Project No. Issue Date Drawing Number Revision Scale

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 1 8 6 0 Collins Street Melbourne, Victoria Australia 3000  
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Apollo Bay Resort  
Project

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Client

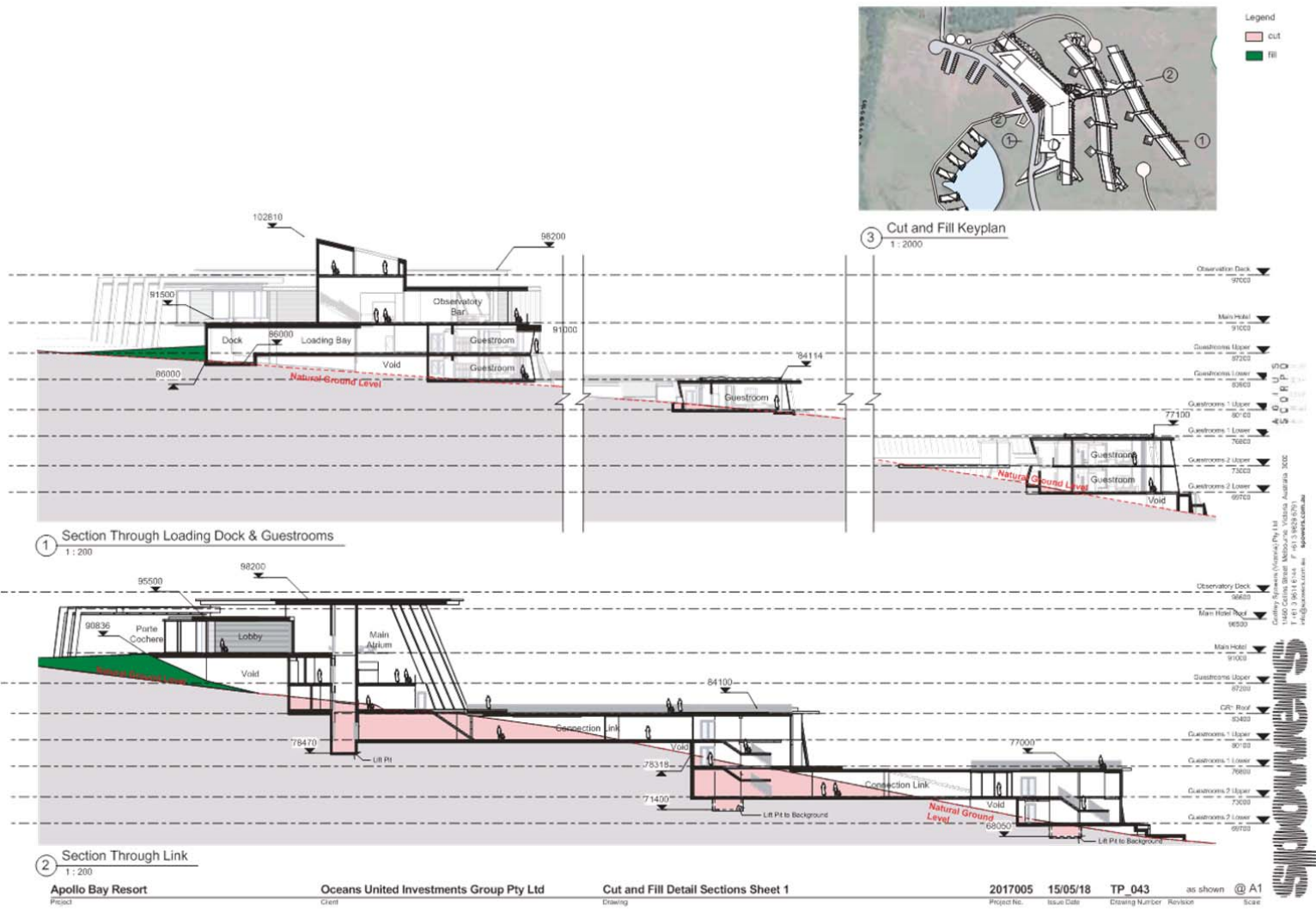
View from Seymour Crescent  
Drawing

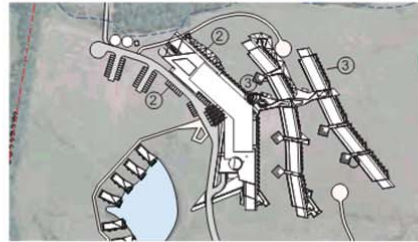
2017005 15/05/18 TP\_042 B n.l.s. @ A1  
Project No. Issue Date Drawing Number Revision Scale

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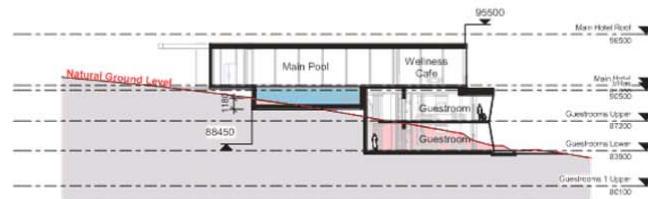
**colleystevens**



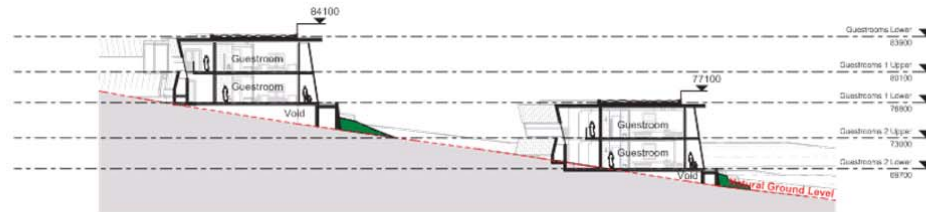


1 Cut and Fill Keyplan 2  
1:2000

Legend  
 [Red Box] cut  
 [Green Box] fill



2 Section Through Pool  
1:200



3 Section Through Northern Guestrooms  
1:200

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 info@gaffney-scimm.com.au www.gaffney-scimm.com.au



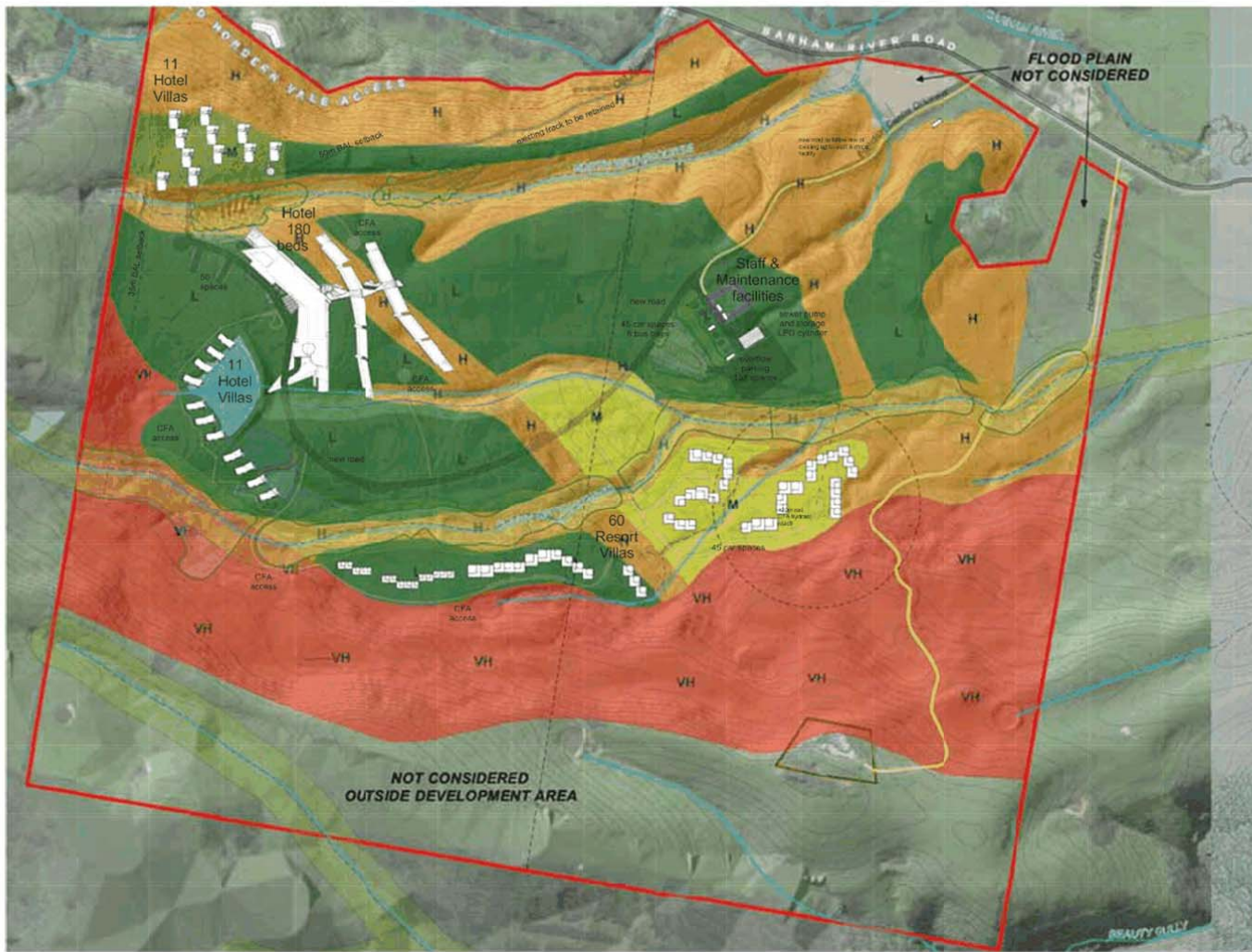
Apollo Bay Resort  
Project

Oceans United Investments Group Pty Ltd  
Client

Cut and Fill Detail Section Sheet 2  
Drawing

2017005 15/05/18 TP\_044 as shown @ A1  
Project No. Issue Date Drawing Number Revision Scale

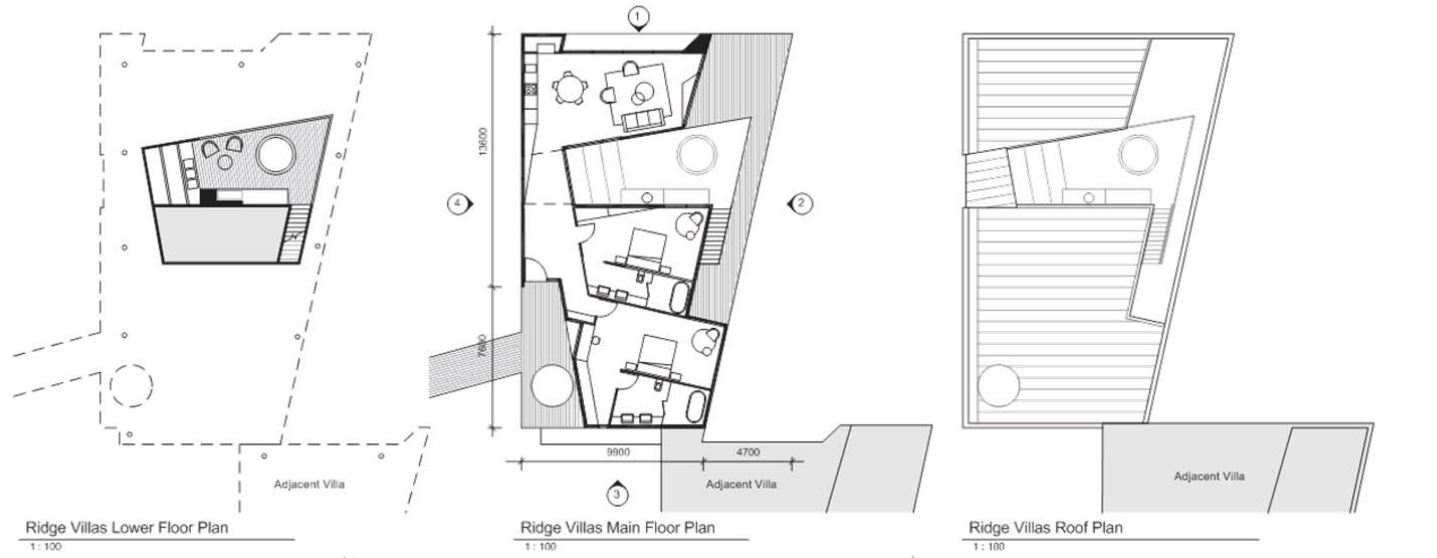




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 g@guilyservices.com.au www.guilyservices.com.au

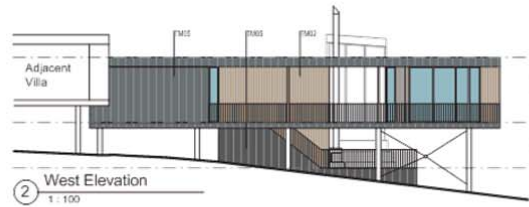




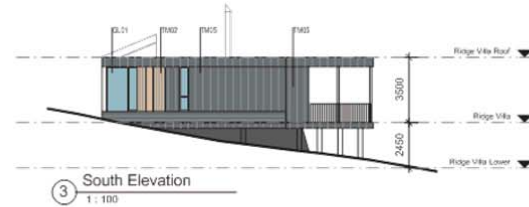
Ridge Villas Lower Floor Plan  
1:100

Ridge Villas Main Floor Plan  
1:100

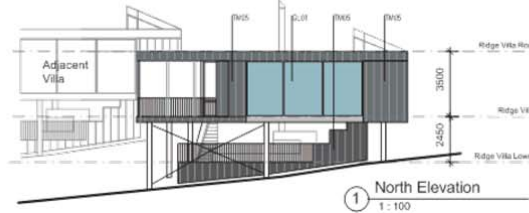
Ridge Villas Roof Plan  
1:100



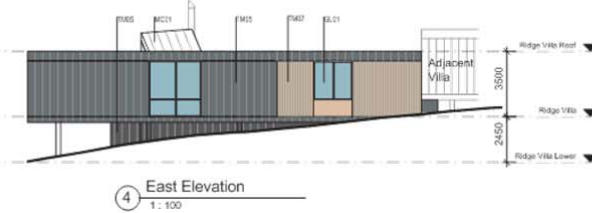
2 West Elevation  
1:100



3 South Elevation  
1:100



1 North Elevation  
1:100



4 East Elevation  
1:100

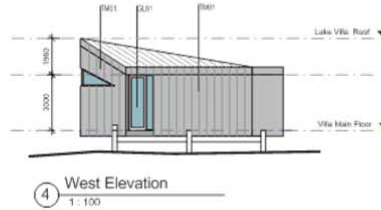
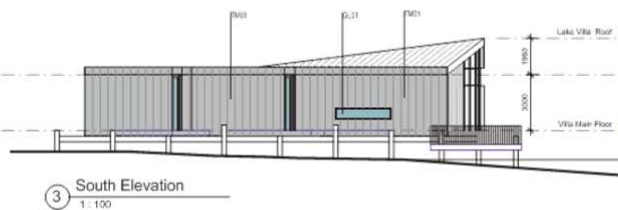
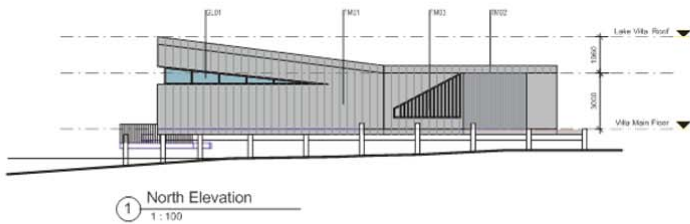
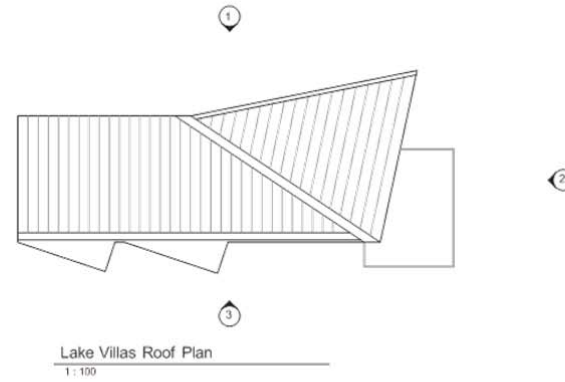
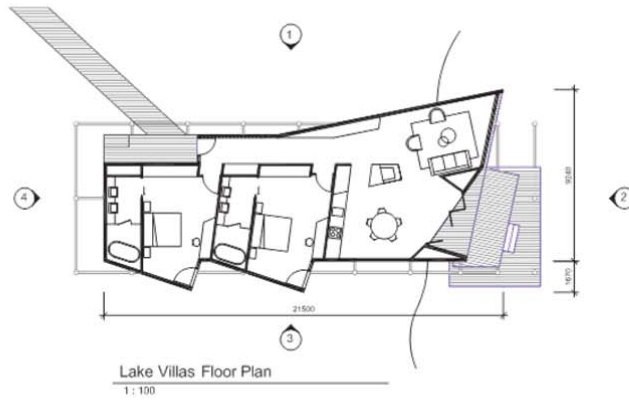
External Finishes Legend	
GL21	Clad grey tiled glass
MC01	Sliding glass door sheering
STR	Structures
STR2	Outdoor timber decking
TW01	Victorian hardwood timber decking - natural finish
TW02	Victorian hardwood timber decking - stained finish
TW03	Victorian hardwood timber screening balustrade
TW04	Victorian hardwood timber decking
TW05	Victorian hardwood timber charcoal stain

Refer TP\_021 for Key Plan of Villa Floor and Roof Levels

A B I U S  
S C O M

Gulfair, Sharnley, O'Connell Pty Ltd  
1860 Collins Street Melbourne, Victoria, Australia 3000  
T +61 3 9631 6144 F +61 3 9629 9259  
info@gulfair.com.au www.gulfair.com.au





**External Finishes Legend**

Q-01	Cast glass inter-glass
M-01	Stainless steel anti-rusting
ST-01	Sandstone
ST-02	Galvanneal zinc-plated
DN-01	Vertical hardwood inter-cladding - natural finish
DN-02	Vertical hardwood inter-cladding - stained finish
DN-03	Vertical hardwood inter-cladding - painted finish
DN-04	Vertical hardwood inter-cladding - stained finish
DN-05	Vertical hardwood inter-cladding - painted finish
DN-06	Vertical hardwood inter-cladding - stained finish
DN-07	Vertical hardwood inter-cladding - painted finish

Refer TP\_021 for Key Plan of Villa Floor and Roof Levels

A C I U B  
S C O P E

Oceans United Investments Pty Ltd  
186C Collins Street Melbourne Victoria Australia 3000  
T +61 3 9616 6144 F +61 3 9609 0571  
oceansunited.com.au | oceansunited.com.au



Apollo Bay Resort  
Project

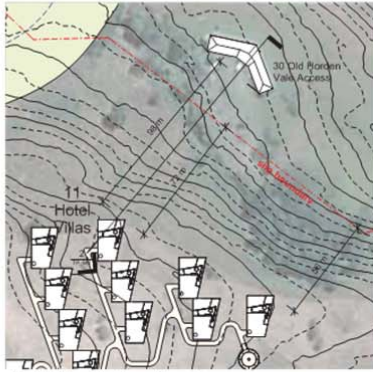
Oceans United Investments Group Pty Ltd  
Client

Resort Villa Plans Sheet 2 - Lake Villas : Typical Villa  
Drawing

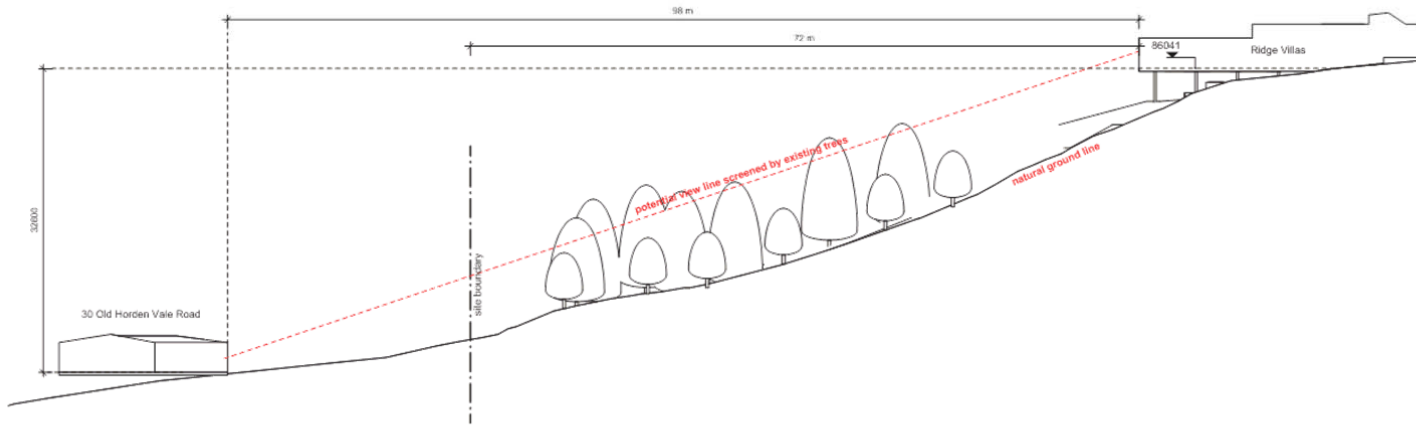
2017005 15/05/18  
Project No. Issue Date

TP\_047 1 : 100 @ A1  
Drawing Number Scale





① Detail Plan Northern Boundary  
1 : 1000



② Section Through Northern Boundary  
1 : 200

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1460 Collins Street Melbourne, Victoria Australia 3000  
P +61 3 9514 6144 F +61 3 9528 9201  
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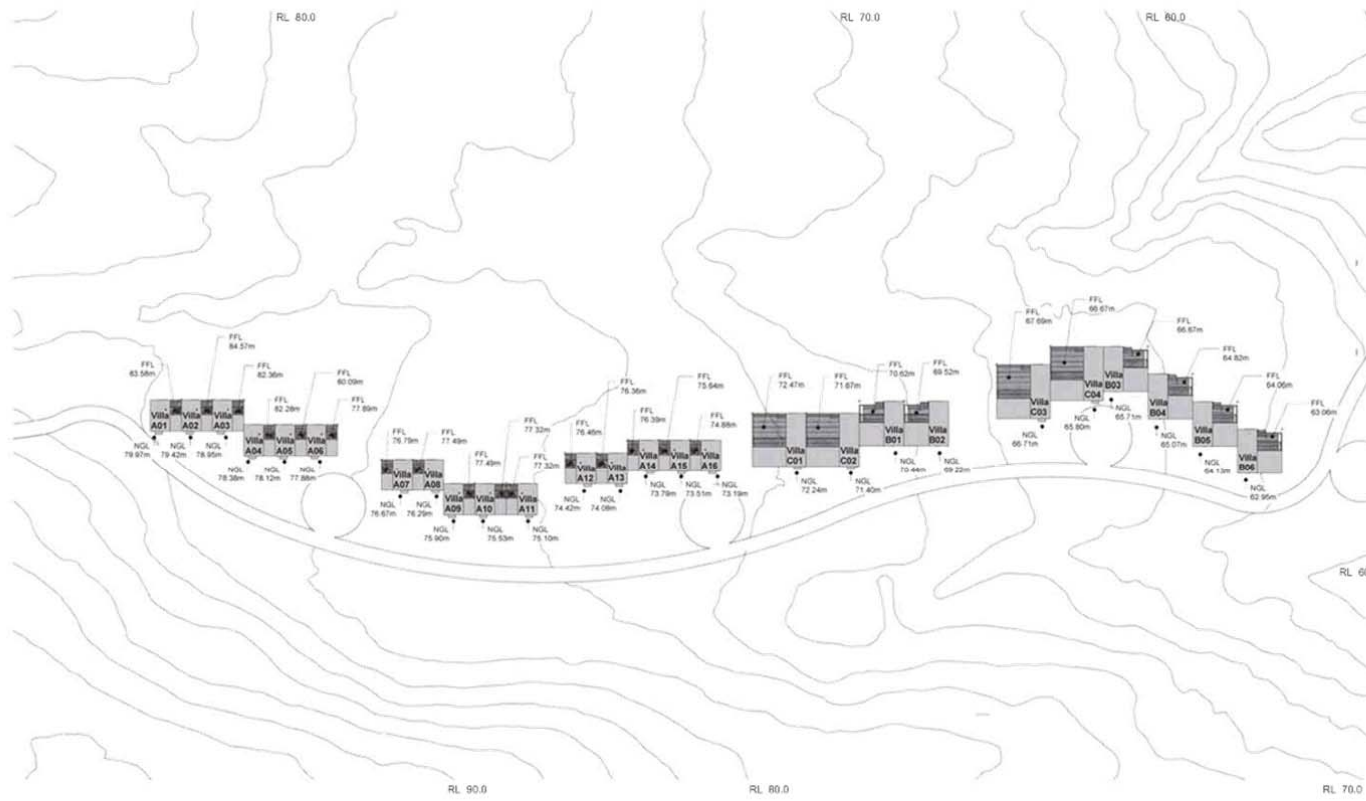


Apollo Bay Resort  
Project

Oceans United Investments Group Pty Ltd  
Client

Overlooking Assessment  
Drawing

2017005 15/05/18 TP\_048 as shown @ A1  
Project No. Issue Date Drawing Number Revision Scale



1 Creek Villas  
1:1000

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1460 Collins Street Melbourne, Victoria Australia 3000  
P +61 3 9611 6144 F +61 3 9623 9201  
info@gulliversystems.com.au @gulliversystems





2 Pasture Villas  
1: 1000

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③ Terrace Elevation  
1:100



② Entry Elevation  
1:100

A B I U S  
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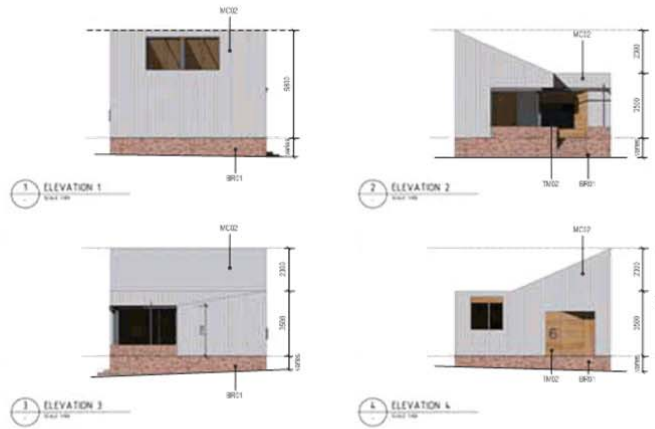
**SPROUTERS**

Apollo Bay Resort  
Project

Oceans United Investments Group Pty Ltd  
Client

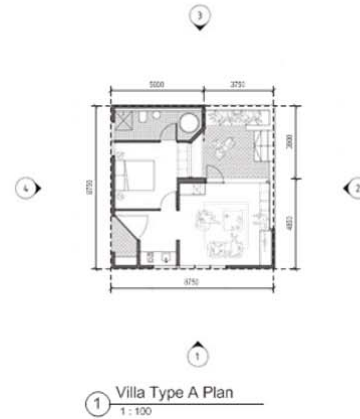
Typical Villa Cluster Elevations  
Drawing

2017005 15/05/18 TP\_051 1:100 @ A1  
Project No. Issue Date Drawing Number Revision Scale



2 Villa Type A Elevations  
1 : 100

EXTERNAL FINISHES LEGEND	
BR01	Reynold Brick
GL11	Clear grey mirror glass
GR11	Green roof
FM01	Landscaping
MC01	Sharing smart zinc sheet cladd (gabbs and clumples)
MC02	Galvalume Corrugated Steel Cladding
ST01	Stoneware
ST02	Slab on landscaping wet (1 roof)
TM01	Victorian horizontal timber cladding - natural finish
TM02	Victorian horizontal timber cladding - stained finish
TM03	Victorian horizontal timber screening - natural finish
TM04	Victorian horizontal timber cladding
TM05	Victorian horizontal timber charcoal stain

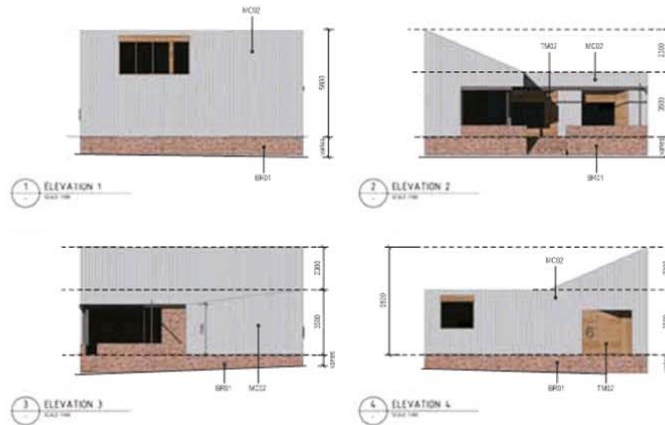


1 Villa Type A Plan  
1 : 100

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Gardner Wharfedale/Orion Pty Ltd  
1460 Collins Street Melbourne, Victoria Australia 3000  
P +61 3 9611 6144 F +61 3 9628 9201  
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**SPROUTERS**



1 Villa Type B Elevations  
1:100

EXTERNAL FINISHES LEGEND	
BR01	Reynold Bricks
GL01	Cool grey brick pavers
GR01	Green roof
LN01	Landscaping
MC01	Slating roof with silver sheet, gutters and downpipes
MC02	Darkwood Charcoal Grey Cladding
ST01	Seafoam
ST02	Dark on landscape with roof
TM01	Victorian hardwood interior cladding - natural finish
TM02	Victorian hardwood interior cladding - stained finish
TM03	Victorian hardwood interior screening soffits
TM04	Victorian hardwood interior decking
TM05	Victorian hardwood interior charred steel

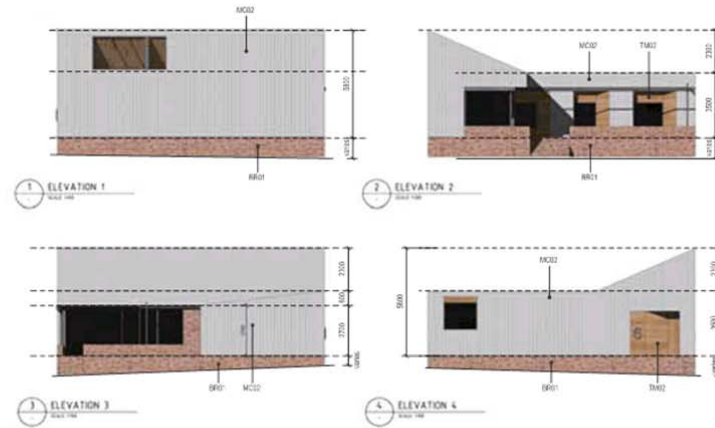


2 Villa Type B Plan  
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1460 Collins Street Melbourne, Victoria Australia 3000  
P +61 3 9611 6144 F +61 3 9628 9291  
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② Type C Villa Elevations  
1: 100

EXTERNAL FINISHES LEGEND	
BR01	Brick wall finish
GL01	Cool grey tinted glass
CO01	Down roof
LF01	Landscaping
MC01	Slanting screen (also shown above gutters and overhangs)
MC02	Darkwood Composite Street Cladding
ST01	Stonework
SI01	Galvanneal cladding wall + roof
TM01	Vertical hardwood timber cladding - natural finish
TM02	Vertical hardwood timber cladding - natural finish
TM03	Vertical hardwood timber screening - natural finish
TM04	Vertical hardwood timber screening - natural finish
TM05	Vertical hardwood timber screening - natural finish



① Type C Villa Plan  
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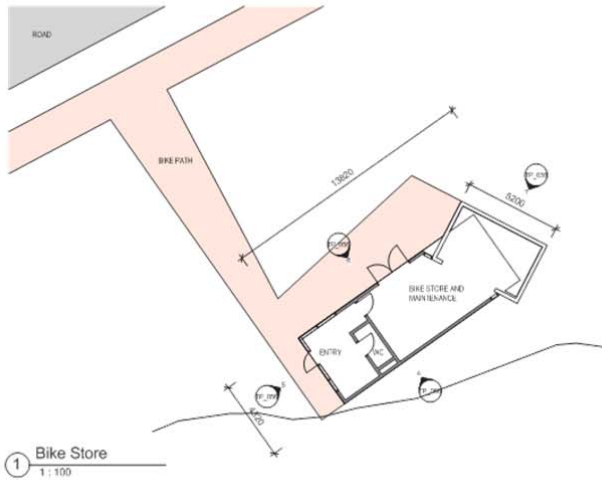
**SPROUTERS**

Apollo Bay Resort  
 Project

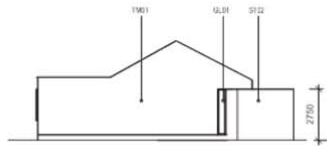
Oceans United Investments Group Pty Ltd  
 Client

Creek Plateau & Pasture Villas Perspective View  
 Drawing

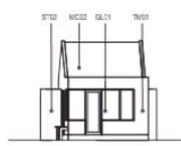
2017005 15/05/18 TP\_055 n.i.s. @ A1  
 Project No. Issue Date Drawing Number Revision Scale



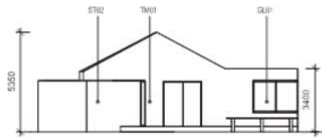
1 Bike Store  
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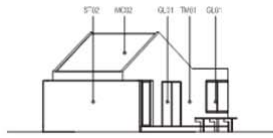
4 Bike Store South East Elevation  
1:100



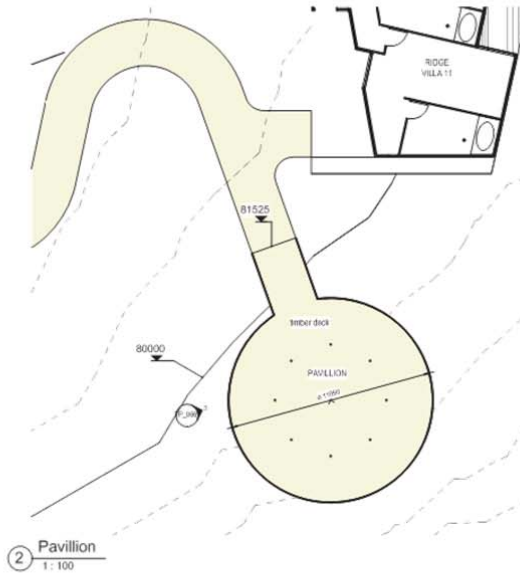
5 Bike Store South West Elevation  
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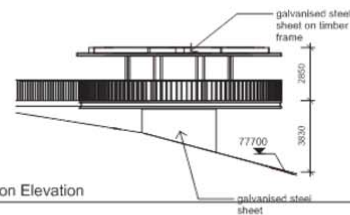
6 Bike Store North West Elevation  
1:100



7 Bike Store North East Elevation  
1:100



2 Pavillion  
1:100



3 Pavillion Elevation  
1:100

EXTERNAL FINISHES LEGEND	
BR01	Reynold brick
GL01	Clear grey tinted glass
GR01	Green roof
LAN01	Landscaping
MC01	Standing seam zinc steel sheet, gutters and downpipes
MC02	Galvanised Corrugated Steel Cladding
SR01	Sarawake
ST02	Dalton landscaping wall roof
TM01	Victorian hardwood timber cladding - natural finish
TM02	Victorian hardwood timber cladding - stained brown
TM03	Victorian hardwood timber screening battens
TM04	Victorian hardwood timber decking
TM05	Victorian hardwood timber charred slats

Apollo Bay Resort  
Project

Oceans United Investments Group Pty Ltd  
Client

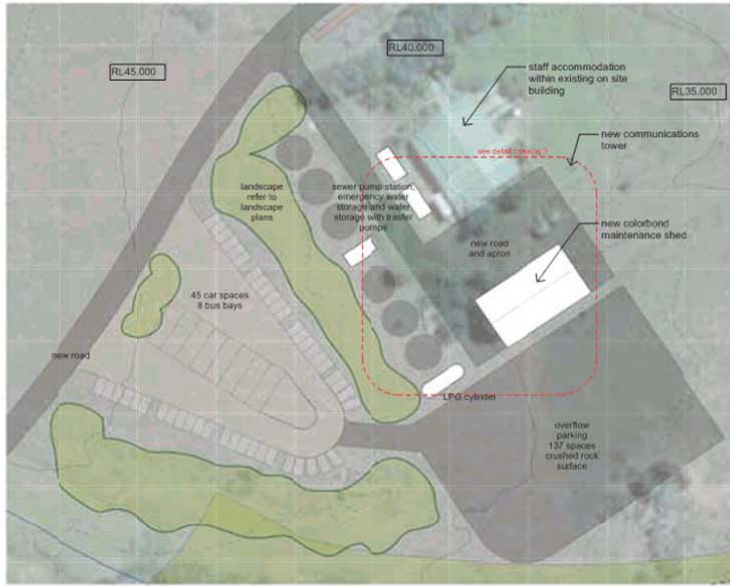
Bike Shed & Pavillion  
Drawing

2017005 15/05/18 TP\_056 1:100@A1  
Project No. Issue Date Drawing Number Revision Scale

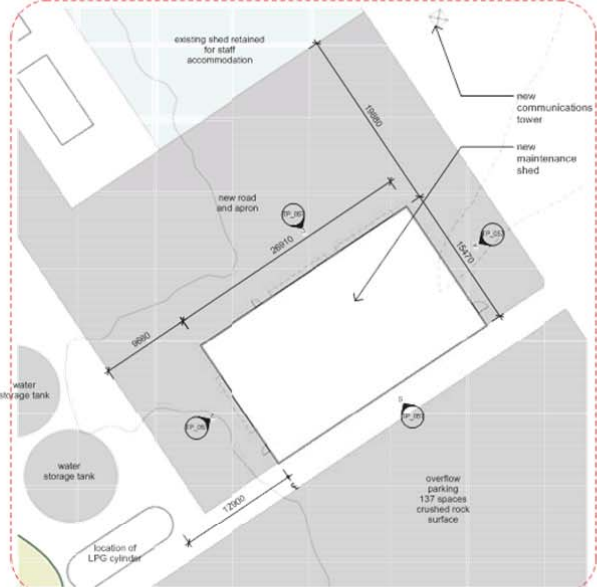
40 U.S.  
50 M.

Gulliver Structures/Concept Pty Ltd  
1460 Collins Street Melbourne, Victoria Australia 3000  
P +61 3 9611 6344 F +61 3 9628 9201  
info@gulliverstructures.com.au @gulliverstructures

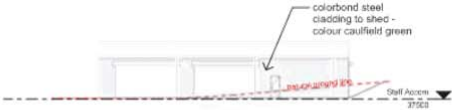
**gulliver**  
STRUCTURES



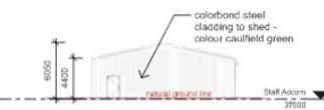
1 Staff and Maintenance Detail Plan  
1 : 500



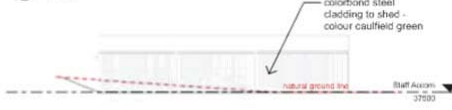
2 Maintenance Shed Plan  
1 : 200



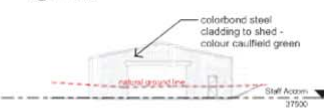
3 Shed North West Elevation  
1 : 200



4 Shed North East Elevation  
1 : 200



5 Shed South West Elevation  
1 : 200



6 Shed South East Elevation  
1 : 200

Apollo Bay Resort  
Project

Oceans United Investments Group Pty Ltd  
Client

Services Area Detail Plan  
Drawing

2017005  
Project No.

15/05/18  
Issue Date

TP\_057  
Drawing Number

as shown  
Revision

@ A1  
Scale

4 6 1 0 0 0  
 5 0 0 0  
 Giffey Services/General Pty Ltd  
 1460 Collins Street Melbourne, Victoria Australia 3000  
 P +61 3 9511 5111 F +61 3 9528 9201  
 g@giffey.com.au www.giffey.com.au

