

PP176/2017-2

10 Durimbil Avenue WYE RIVER

Lot: 181 LP: 50268 V/F: 8257/053

**Construction of a Dwelling and Associated
Works**

Clarke and Co Builders

Officer - Bernadette McGovan

EXHIBITION FILE

This document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.

Submissions to this planning application will be accepted until a decision is made on the application.

If you would like to make a submission relating to a planning permit application, you must do so in writing to the Planning Department

From: "Josh Collins" <josh@clarkeandcobuilders.com.au>
Sent: 27/02/19 12:00 AM
To: "inq@colacotway.vic.gov.au" <inq@colacotway.vic.gov.au>
Cc: "Rob Clarke" <rob@clarkeandcobuilders.com.au>; "Janine Vitkus" <Janine@clarkeandcobuilders.com.au>
Subject: Planning Permit Amendment - 10 Durimbil Avenue, Wye River
Attachments: Clarke&Co.Builders_Jez_Town Planning Plans (Amended).pdf, Planning Amendment Report - 10 Durimbil Avenue, Wye River - 2019.pdf, Amend a Planning Permit Form - 10 Durimbil Avenue, Wye River.pdf, Planning Payment Form - 10 Durimbil Avenue, Wye River.pdf, Planning Checklist - 10 Durimbil Avenue, Wye River.pdf, Title.pdf, Plan of Sub Division.pdf

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Good morning Colac Otway Shire,

We wish to apply for an amendment to the endorsed planning permit (PP176/2017-1) at the above mentioned address.

Please attached the following documentation for your perusal:

- Amended Plans (with amendments identified)
- Report outlining the amendments
- Amend a Planning Permit Form
- Payment Form
- Checklist Form
- Title
- Plan of Subdivision

Any issues or queries, please do not hesitate to get in contact with us.

Thanks in advance and we look forward to hearing back from you.

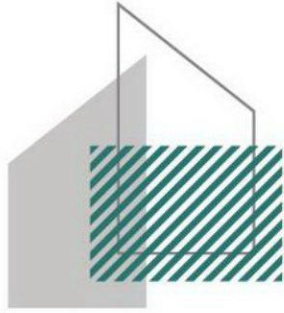
Kind Regards,

JOSH COLLINS



Clarke & Co
BUILDERS

E: josh@clarkeandcobuilders.com.au
W: www.clarkeandcobuilders.com.au
P: 0424 166 512 (Office)
M: 0417 535 394



Clarke & Co
BUILDERS

Ph: 0424 166 512
ABN: 88 966 105 732
DBU-8546 CDB-U 52130

ATTENTION: Colac Otway Shire - Planning Enquiries

SUBJECT: Planning Permit Amendment Description

PROPERTY ADDRESS: 10 Durimbil Avenue, Wye River, 3234

To Whom it May Concern,

We wish to apply on behalf of the owners for a planning permit amendment at the above-mentioned address; for the endorsed planning permit (PP176/2017-1).

Please see below a brief description of the proposed amendments to the development:

- Refer to plans where revision clouds outline extent of changes:
 - Adjustment of North and South deck extent (North = Moved with walls) (South = approx. 5m²)
 - Adjustment of windows and locations
 - Adjustment of Master bedroom extent
 - Adjustment of split level within development (living dropped down - Max height has not changed)
 - Adjustment of external material (refer to external Materials Schedule)

Please note that the overall footprint has not changed (except where the deck extends to).

Kind regards,

Clarke & Co. Builders (Rob Clarke)



Colac Otway
SHIRE

Planning Enquiries
Phone: (03) 5232 9400
Web: www.colacotway.vic.gov.au

Office Use Only Application No.:

Date Lodged: 7/

Application to AMEND a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

- Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.
- This form cannot be used to:
 - amend a permit or part of a permit if the Victorian Civil and Administrative Tribunal (VCAT) has directed under section 85 of the Act that the responsible authority must not amend that permit or that part of the permit (as the case requires); or
 - amend a permit issued by the Minister under Division 6 of Part 4 of the Act (these applications must be made to the Minister under section 971 of the Act).
- Questions marked with an asterisk (*) must be completed.
- Click for further information.

Clear Form

The Land

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 10	St. Name: DURIMBIL AVENUE
Suburb/Locality: WYE RIVER		Postcode: 3234

Formal Land Description *

Complete either A or B.

This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A Lot No.: Lodged Plan Title Plan Plan of Subdivision No.:

OR

B Crown Allotment No.: Section No.:

Parish/Township Name:

Planning Permit Details

What permit is being amended?*

Planning Permit No.: PP176 / 2017 - 1

The Amended Proposal

You must give full details of the amendment being applied for. Insufficient or unclear information will delay your application.

What is the amendment being applied for?*

- Indicate the type of changes proposed to the permit.
- List details of the proposed changes.

If the space provided is insufficient, attach a separate sheet.

This application seeks to amend:

What the permit allows Plans endorsed under the permit

Current conditions of the permit Other documents endorsed under the permit

Details:

- PLEASE REFER TO PLANS FOR MINOR ADJUSTMENTS & REPORT OUTLINING THE AMENDMENTS.

Provide plans clearly identifying all proposed changes to the endorsed plans, together with: any information required by the planning scheme, requested by Council or outlined in a Council checklist; and if required, include a description of the likely effect of the proposal.

Development Cost **i**

Estimate cost of development*

If the permit allows *development*, estimate the cost difference between the development allowed by the permit and the development to be allowed by the amended permit.

Cost of proposed amended development:	Cost of the permitted development:	Cost difference (+ or -):
\$ 300,000	\$ 300,000	\$ 0.00

Insert 'NA' if no development is proposed by the permit.

You may be required to verify this estimate.

Existing Conditions **i**

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Have the conditions of the land changed since the time of the original permit application? Yes No

If yes, please provide details of the existing conditions.

- LAND IS CURRENTLY VACANT WITH NO CURRENT DEVELOPMENTS ON THE LAND.

Provide a plan of the existing conditions if the conditions have changed since the time of the original permit application. Photos are also helpful.

Title Information **i**

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes (If 'yes' contact council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

Applicant and Owner Details

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Name:		
Title: MR	First Name: ROB	Surname: CLARKE
Organisation (if applicable): CLARKE & CO. BUILDERS		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.:	St. Name: PO BOX 865 BELMONT
Suburb/Locality: BELMONT	State: VIC	Postcode: 3216

Please provide at least one contact phone number *

Contact information for applicant OR contact person below	
Business phone: 0424 166 512	Email: rob@clarkeandcobuilders.com.au
Mobile phone: 0412 612 512	Fax: N/A

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Contact person's details*	Same as applicant <input checked="" type="checkbox"/>	
Name:		
Title:	First Name:	Surname:
Organisation (if applicable):		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.:	St. Name:
Suburb/Locality:	State:	Postcode:

Owner *


The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.


Name:		Same as applicant <input type="checkbox"/>
Title: MR	First Name: JEREMY	Surname: KLEINDIENST
Organisation (if applicable): N/A		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.: 14	St. Name: MANNA GUM DRIVE
Suburb/Locality: MOUNT DUNEED	State: 3/VIC	Postcode: 3217
Owner's Signature (Optional):	Date: 27/02/2019 day / month / year	

Declaration

This form must be signed by the applicant*

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; that all the information in this application is true and correct; that all changes to the permit and plan have been listed as part of the amended proposal and that the owner (if not myself) has been notified of the permit application.

Signature: 	Date: 27/02/2019 day / month / year
--	---

Need help with the Application?

If you need help to complete this form, read More Information at the end of this form or contact Council's planning department. General information about the planning process is available at planning.vic.gov.au

Contact Council's planning department to discuss the specific requirements for this application and obtain a checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer?

<input checked="" type="radio"/> No	<input type="radio"/> Yes	If 'Yes', with whom?:
Date:		day / month / year

Checklist

Have you:

- Filled in the form completely?
- Paid or included the application fee?
- Attached all necessary supporting information and documents?
- Completed the relevant council planning permit checklist?
- Signed the declaration above?

Lodgement

Lodge the completed and signed form and all documents with:

Colac Otway Shire
 PO Box 283
 Colac VIC 3250
 2-6 Rae Street
 Colac VIC 3250

Contact information

Phone: (03) 5232 9400
 Email: inq@colacotway.vic.gov.au

Deliver application in person, by post or by electronic lodgement.

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958 Page 1 of 1

VOLUME 08257 FOLIO 053

Security no : 124076244938V
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LAND DESCRIPTION

Lot 181 on Plan of Subdivision 050268.
PARENT TITLE Volume 08257 Folio 036
Created by instrument A645989 20/11/1958

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors
JEREMY WILLIAM ANTON KLEINDIENST
REBECCA KATE KLEINDIENST both of 12 MANNA GUM DRIVE MOUNT DUNEED VIC 3217
AR091052X 04/06/2018

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AR091053V 04/06/2018
COMMONWEALTH BANK OF AUSTRALIA

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP050268 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 10 DURIMBIL AVENUE WYE RIVER VIC 3234

ADMINISTRATIVE NOTICES

NIL

eCT Control 15771K COMMONWEALTH BANK OF AUSTRALIA - CONSUMER
Effective from 04/06/2018

DOCUMENT END



Imaged Document Cover Sheet

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Document Identification	LP050268
Number of Pages (excluding this cover sheet)	6
Document Assembled	21/02/2019 10:34

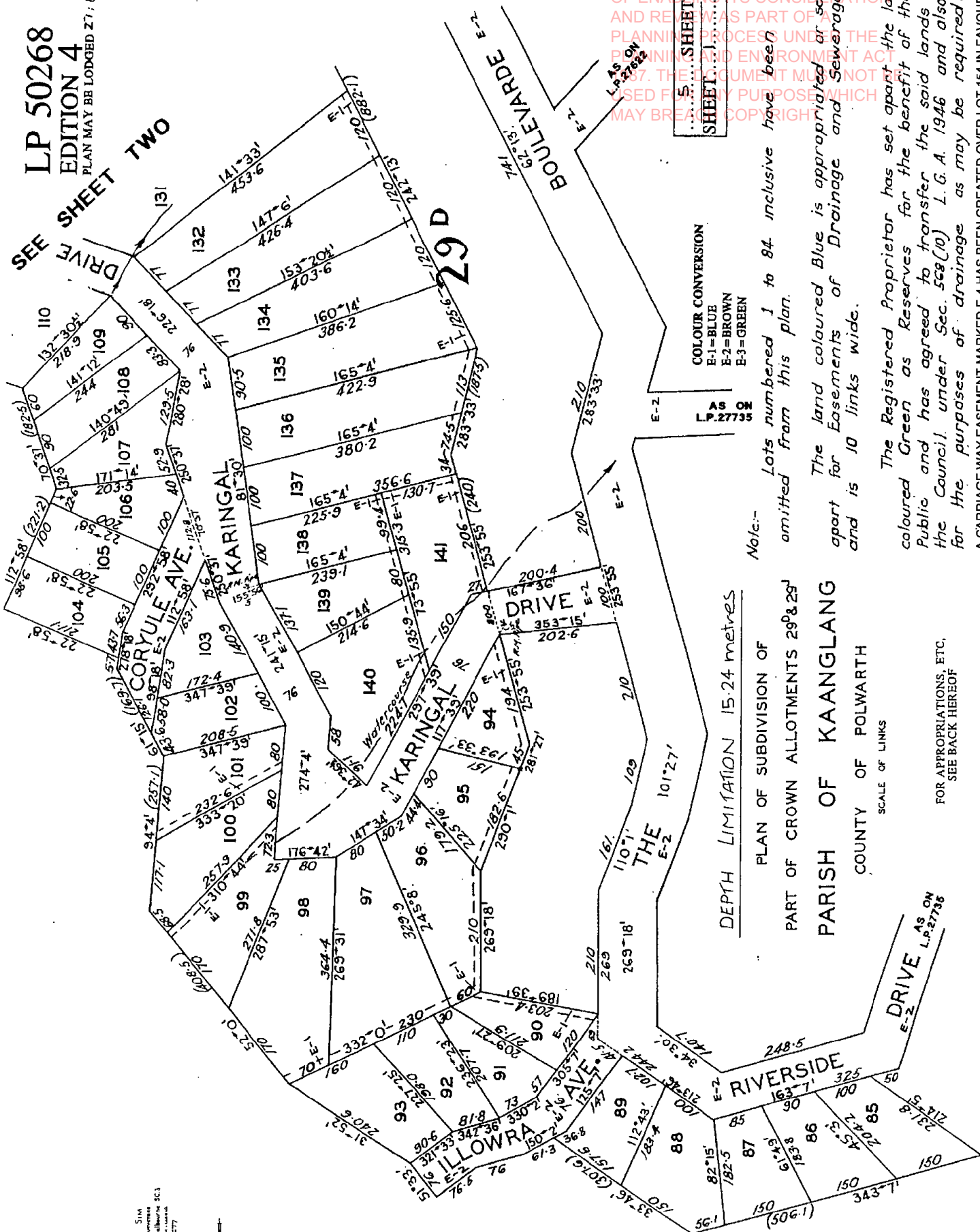
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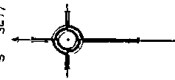
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LP 50268
EDITION 4
PLAN MAY BE LODGED 21.8 /59

SEE SHEET TWO
DRIVE



COLLIVER & SIM
553 St. Albans Rd. Melbourne VIC
TELEPHONE: 346777



5 SHEETS
SHEET 1 OF 5

COLOUR CONVERSION
E-1=BLUE
E-2=BROWN
E-3=GREEN

DEPTH LIMITATION 15.24 metres

PLAN OF SUBDIVISION OF
PART OF CROWN ALLOTMENTS 29D & 29J
PARISH OF KAANGLANG
COUNTY OF POLWARTH
SCALE OF LINKS

Notc:- Lots numbered 1 to 84 inclusive have been omitted from this plan.

The land coloured Blue is appropriated or set apart for Easements of Drainage and Sewerage and is 10 links wide.

The Registered Proprietor has set apart the lands coloured Green as Reserves for the benefit of the Public and has agreed to transfer the said lands to the Council under Sec. 569(1) L.G.A. 1946 and also for the purposes of drainage as may be required.
A CARRIAGE WAY EASEMENT MARKED E-4 HAS BEEN CREATED OVER LOT 154 IN FAVOUR OF LOT 150 ON THIS PLAN VIDE AK513966L.

FOR APPROPRIATIONS, ETC.
SEE BACK HEREOF

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LP 50268
 BACK OF SHEET ...1.....

CERTIFICATE OF TITLE V. 7603 F. 123
 LODGED BY CLEARY, ROSS & DOHERTY
 DEALING No. A. 542660 DATE 5. 6. 58
 DECLARED BY E. E. CULLIVER 20. 3. 58
 CONSENT OF COUNCIL SHIRE OF
WINCHELSEA
14. 5. 58
 PLAN MAY BE LODGED F. H. B. 27. 8. 59

THE LAND COLOURED BROWN IS APPROPRIATED OR SET APART FOR EASEMENTS OF WAY AND DRAINAGE

RIGHT ASSOCIATED WITH EASEMENT E-5: FULL AND FREE RIGHT AND LIBERTY TO AND FOR THE REGISTERED PROPRIETOR FOR THE TIME BEING OF THE DOMINANT TENEMENT AND HIS SERVANTS, AGENTS, WORKMEN AND VISITORS TO USE THE LAND MARKED E-5 FOR THE PURPOSE OF PARKING VEHICLES FOR ALL HOURS ON ALL DAYS

THE LAND COLOURED BLUE IS APPROPRIATED OR SET APART FOR EASEMENTS OF DRAINAGE AND SEWERAGE

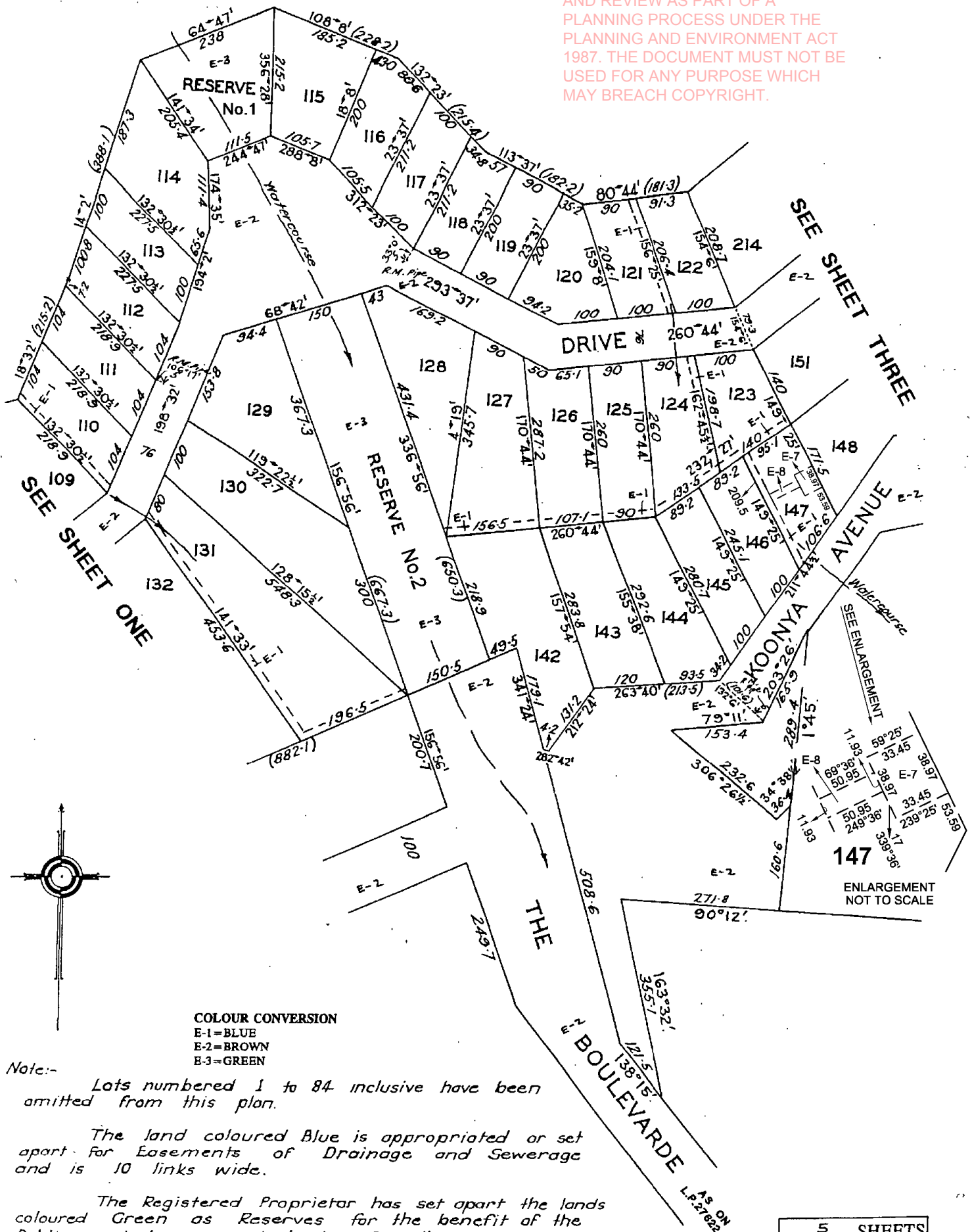
THE LAND COLOURED GREEN IS APPROPRIATED OR SET APART FOR EASEMENTS OF DRAINAGE

The registered proprietor has set apart the land coloured green as a reserve for the benefit of ^{THE PUBLIC} purchasers of lots on this plan and has agreed to transfer the said land to the Council. Section 568, Sub-section 10, L.G.A. 1946 and also for the purpose of drainage.

LAND MARKED E-4: A CARRIAGE WAY EASEMENT HAS BEEN CREATED OVER LOT 154 IN FAVOUR OF LOT 150 VIDE AK513966L.

EASEMENT INFORMATION				
Legend: A - Appurtenant Easement E - Encumbering Easement R- Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefitted / In Favour Of
E-5	CARRIAGEWAY	SEE DIAG.	AM724243K	V.8542 F.305 & V.8508 F. 825
E-6	CARRIAGEWAY	SEE DIAG.	AM724243K	VOL. 8508 FOL. 825
E-7	CARRIAGEWAY	SEE DIAG.	AM724243K	VOL. 8542 FOL. 305
E-8	RIGHT OF USE AS CAR PARKING (SEE NOTATION ABOVE)	SEE DIAG.	AM724243K	VOL. 8542 FOL. 305

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COLOUR CONVERSION
 E-1=BLUE
 E-2=BROWN
 E-3=GREEN

Note:-

Lots numbered 1 to 84 inclusive have been omitted from this plan.

The land coloured Blue is appropriated or set apart for Easements of Drainage and Sewerage and is 10 links wide.

The Registered Proprietor has set apart the lands coloured Green as Reserves for the benefit of the Public and has agreed to transfer the said lands to the Council under Sec. 568(10) L.G.A. 1946 and also for the purposes of drainage as may be required.

.....5.....SHEETS
 SHEET.....2.....

Note:-

Lots numbered 1 to 84 inclusive have been omitted from this plan.

The land coloured Blue is appropriated or set apart for Easements of Drainage and Sewerage and is 10 links wide.

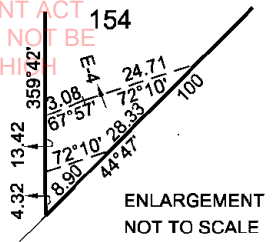
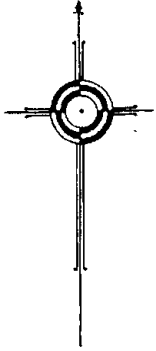
The Registered Proprietor has set apart the lands coloured Green as Reserves for the benefit of the Public and has agreed to transfer the said lands to the Council under Sec. 56(10) L.G.A. 1946 and also for the purposes of drainage as may be required.

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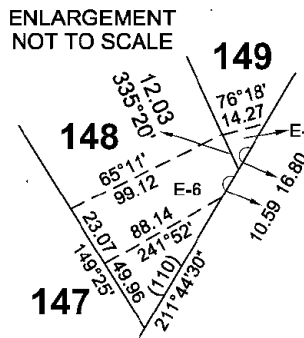
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COLOUR CONVERSION

- E-1=BLUE
- E-2=BROWN
- E-3=GREEN



ENLARGEMENT NOT TO SCALE

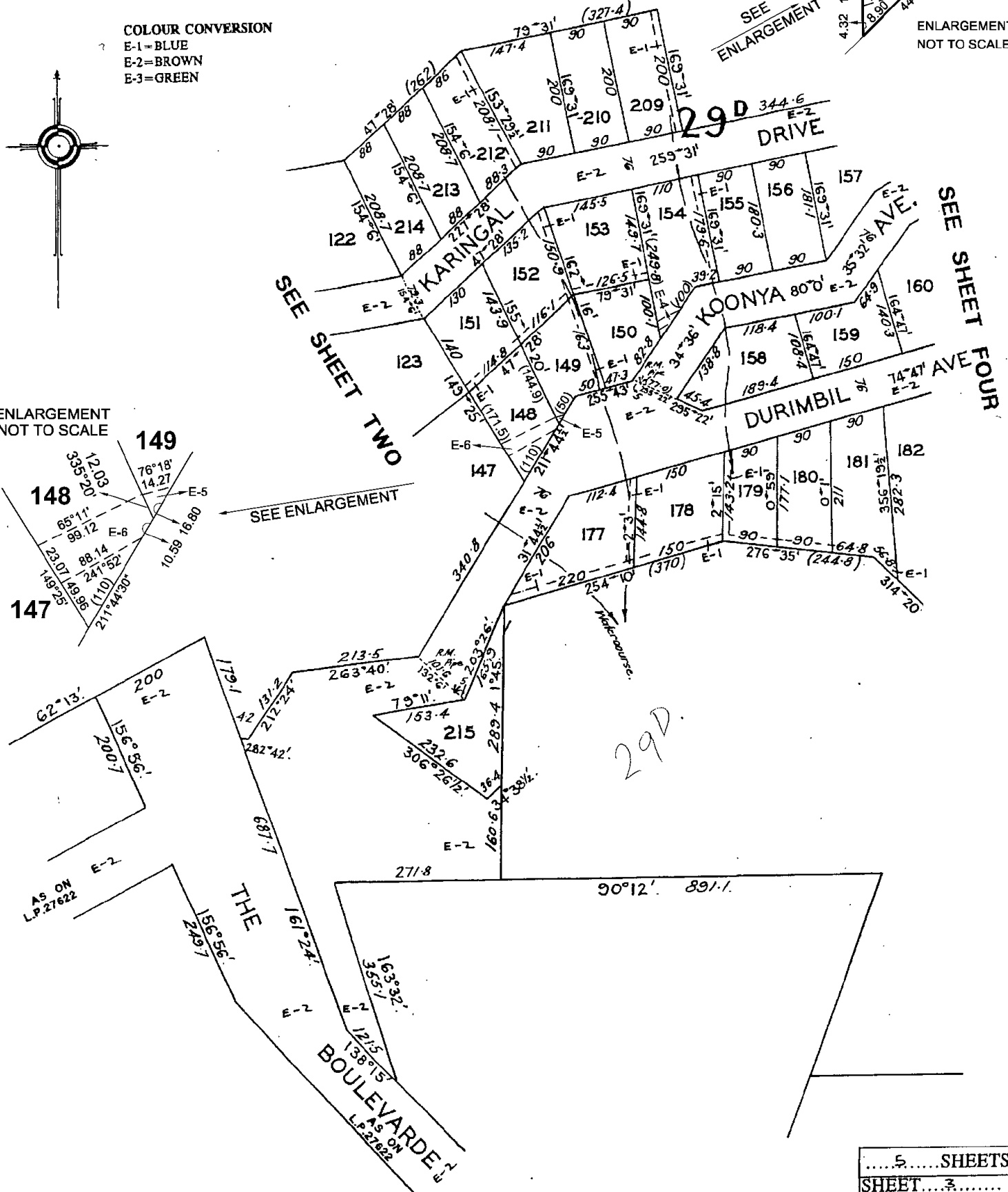


ENLARGEMENT NOT TO SCALE

SEE ENLARGEMENT

SEE SHEET TWO

SEE SHEET FOUR



.....5.....SHEETS
SHEET.....3.....

LP 50268

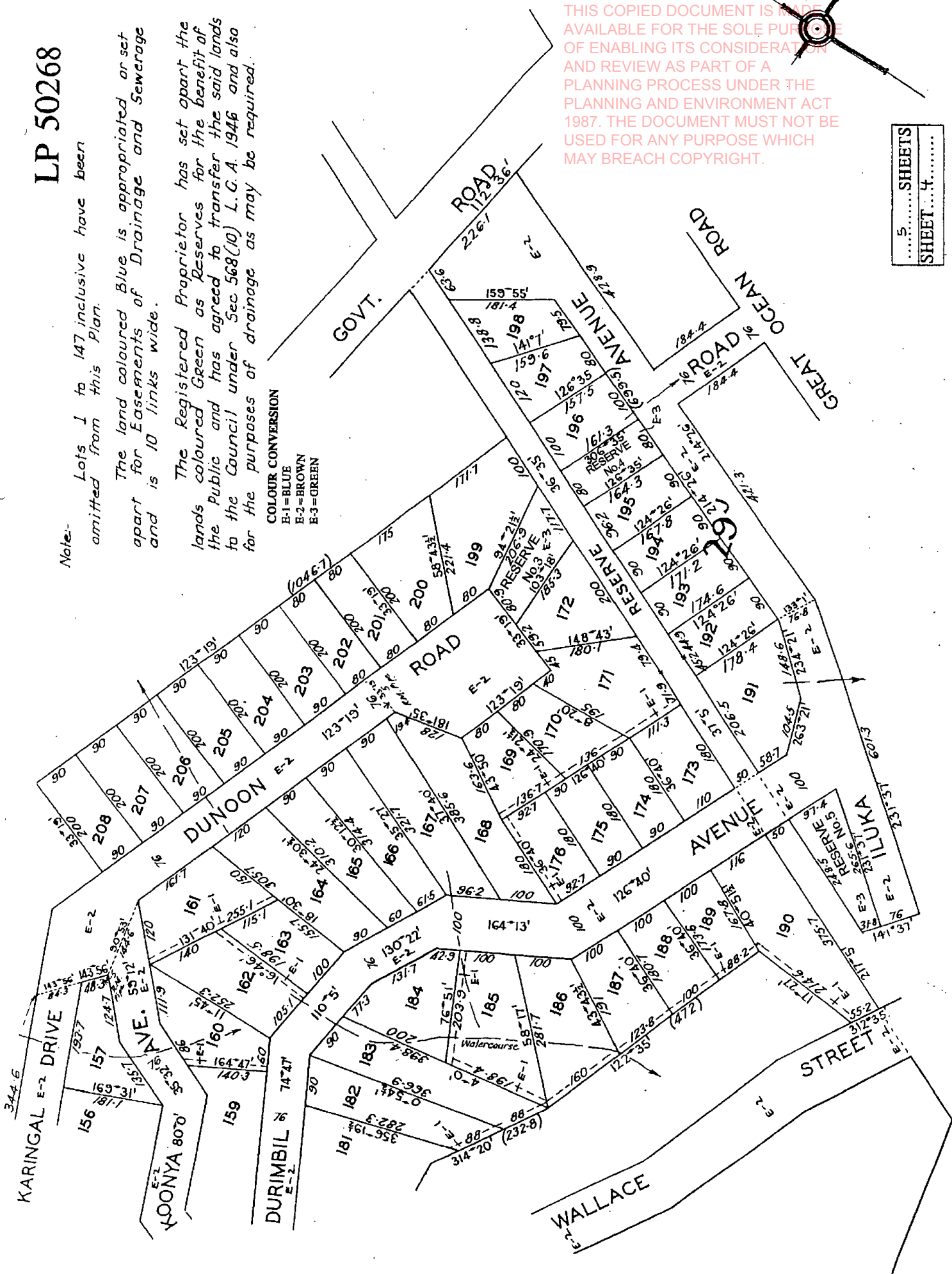
Note:- Lots 1 to 147 inclusive have been omitted from this Plan.

The land coloured Blue is appropriated or set apart for Easements of Drainage and Sewerage and is 10 links wide.

The Registered Proprietor has set apart the lands coloured Green as Reserves for the benefit of the public and has agreed to transfer the said lands to the Council under Sec 568(10) L.C.A. 1946 and also for the purposes of drainage as may be required.

COLOUR CONVERSION

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- E-3=GREEN



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.....SHEETS
 SHEET.....4.....

Toni Brain

From: Rob Clarke <rob@clarkeandcobuilders.com.au>
Sent: Friday, 5 April 2019 11:44 AM
To: INQ
Cc: Janine Vitkus; Jarrod Argent
Subject: RE: PP176/2017-2 - 10 Durimbil Avenue Wye River - Further information Required - DUE 21.5.19
Attachments: Planning Response Plans.pdf

Morning Bernadette

See attached plans showing additional information added and answers below in red.
Let me know if you require additional information

Cheers

ROB CLARKE
Director



E: rob@clarkeandcobuilders.com.au
W: www.clarkeandcobuilders.com.au
P: 0424 166 512 - Office
M: 0412 612 512 - Rob

From: INQ <inq@colacotway.vic.gov.au>
Sent: Thursday, 21 March 2019 3:08 PM
To: Rob Clarke <rob@clarkeandcobuilders.com.au>
Subject: PP176/2017-2 - 10 Durimbil Avenue Wye River - Further information Required - DUE 21.5.19

Hi Rob,

A preliminary assessment of your application has been undertaken and further information is required.
This request for further information is made pursuant to Section 54 of the Planning and Environment Act 1987.

Please submit amended plans to show the information below by **21.5.19**.

- Maximum building height above natural ground level on all elevations to demonstrate no change to building height is proposed. **Building height remains the same. See West elevation on page 5**
- A notation on all plans confirming that construction will be to BAL-40 rating. **Noted on all pages of the plan**
- Advice as to whether there would be changes to ground disturbance/site cuts as a result on the increased footprint/deck areas. If so, an addendum to the LRA would be required from your geotechnical engineer referencing the revised plans and confirming that the changes are considered to be satisfactory against landslip risk considerations. Please note that a revised LRA may be required should changes to the original

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recommendations be required. **As the deck extension will be counter levered, there will be no extra site cut or ground disturbance**

The original endorsed plans and LRA are attached for your assistance.

This request for further information is made pursuant to Section 54 of the Planning and Environment Act 1987. Your planning permit application will lapse if the requested information is not provided by **21.5.19**.

A planning permit application that has lapsed cannot be recommenced and a new planning permit application will need to be lodged if you wish to continue with your proposal.

Pursuant to Section 54A of the Planning and Environment Act 1987 you may apply in writing for an extension of time to provide the additional information. However, this request must be made before the planning permit application has lapsed.

Regards,

Bernadette McGovan
Contract Statutory Planner
Bushfire Recovery
Part time



Phone: (03) 5232 9400

Fax: (03) 5232 9586

Email: ing@colacotway.vic.gov.au

Website: www.colacotway.vic.gov.au

GENERAL NOTES

THE OWNER/BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS & SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS & SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA OR THE NEW ZEALAND BUILDING CODE (CURRENT EDITIONS) WITH THEIR RELEVANT REFERENCED AND CORRESPONDING AUSTRALIAN AND/OR NEW ZEALAND STANDARDS (CURRENT EDITIONS), STATE BASED BUILDING REGULATIONS, LOCAL PLANNING REQUIREMENTS BY-LAWS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.

THIS DOCUMENTATION HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE BUILDER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DRAFTSPERSON'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK & NO RESPONSIBILITY IS ACCEPTED BY THE DRAFTSPERSON FOR SUCH USE AND/OR RELIANCE. THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS & UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES.

ALL WORKS SHALL COMPLY WITH BUT NOT BE LIMITED TO THE FOLLOWING AUSTRALIAN AND NEW ZEALAND STANDARDS AS REFERENCED IN THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA AND/OR THE NEW ZEALAND BUILDING CODE AS APPLICABLE:-

AUSTRALIA

AS 1056-1991 STORAGE WATER HEATERS

AS 1273-1991 UNPLASTICIZED UPVC DOWNPIPE AND FITTINGS FOR RAINWATER

AS 1288-2006 GLASS IN BUILDINGS - SELECTION & INSTALLATION

AS 1289-1997 METHODS OF TESTING SOILS FOR ENGINEERING PURPOSES

AS 1397-2011 CONTINUOUS HOT DIP METALLIC COATED SHEET STEEL AND STRIP

AS 1657-1992 FIXED PLATFORMS, WALKWAYS, STAIRWAYS AND LADDER

AS 1668-2009 MECHANICAL VENTILATION AND AIR-CON IN BUILDINGS

AS 1684-2010 NATIONAL TIMBER FRAMING CODE

AS 1720-2010 TIMBER STRUCTURES

AS 1926-2012 SWIMMING POOL SAFETY

AS 2047-1999 WINDOWS IN BUILDINGS- SELECTION & INSTALLATION

AS 2049-2002 ROOF TILES

AS 2050-2002 INSTALLATION OF ROOFING TILES

AS 2159 2009 PILING - DESIGN AND INSTALLATION

AS 2327-2003 COMPOSITE STRUCTURES

AS 2870-2011 RESIDENTIAL SLABS & FOOTINGS - CONSTRUCTION

AS 3600-2009 CONCRETE STRUCTURES

AS 3660-2000 PROTECTION OF BUILDINGS AGAINST SUBTERRANEAN TERMITES

AS 3700-2011 MASONRY STRUCTURES

AS 3740-2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

AS 3786-1993 SMOKE ALARMS

AS 3959-2009 CONSTRUCTION OF BUILDINGS IN BUSHFIRE-PRONE AREAS

AS 4055-2006 WIND LOADS FOR HOUSING

AS 4072-2005 OPENINGS IN FIRE-RESISTANT SEPARATING ELEMENTS

AS 4100-1998 STEEL STRUCTURES

AS 4254-1995 DUCTWORK FOR AIR-HANDLING SYSTEMS IN BUILDINGS

AS 4552-2005 GAS FIRED WATER HEATERS AND/OR CENTRAL HEATING

AS 4773-2010 MASONRY FOR SMALL BUILDINGS

ISO 8336 1993E FIBRE CEMENT FLAT SHEETS

AUSTRALIA & NEW ZEALAND

AS/NZS 1170-2011 STRUCTURAL DESIGN ACTIONS

AS/NZS 1276-1999 ACOUSTICS RATING OF SOUND INSTALLATION IN BUILDINGS

AS/NZS 1428-2009 DESIGN FOR ACCESS AND MOBILITY

AS/NZS 1530-2005 METHODS FOR FIRE TESTS ON BUILDING MATERIALS

AS/NZS 1562-2009 INSTALLATION OF METAL SHEET ROOF & WALL CLADDING

AS/NZS 1664-1997 ALUMINIUM STRUCTURES

AS/NZS 1748-1997 TIMBER - STRESS GRADED

AS/NZS 2032-2006 INSTALLATION OF PVC PIPE SYSTEMS

AS/NZS 2033-2008 INSTALLATION OF PE PIPE SYSTEMS

AS/NZS 2179-1994 SPECIFICATION FOR RAINWATER GOODS

AS/NZS 2269-2008 PLYWOOD - STRUCTURAL

AS/NZS 2566-2002 BURIED FLEXIBLE PIPELINES.

AS/NZS 2904-1995 DAMP-PROOF COURSES & FLASHINGS

AS/NZS 2908-2000 CELLULOSE CEMENT PRODUCTS

AS/NZS 3500-2013 PLUMBING AND DRAINAGE

AS/NZS 3725-2007 DESIGN FOR INSTALLATION OF BURIED CONCRETE PIPES

AS/NZS 4058-2007 PRE CAST CONCRETE PIPES

AS/NZS 4200-1994 PLIABLE BUILDING MEMBRANES AND UNDERLAYS

AS/NZS 4234-2008 HEATED WATER SYSTEMS - ENERGY CONSUMPTION

AS/NZS 4256-2006 PLASTIC ROOF AND WALL CLADDING MATERIAL

AS/NZS 4600-2005 COLD-FORMED STEEL STRUCTURES

AS/NZS 4671-2001 STEEL REINFORCING MATERIALS

AS/NZS 4680-2006 HOT-DIP GALVANISED (ZINC) COATING

AS/NZS 4859-2002 MATERIALS FOR THERMAL INSULATION OF BUILDINGS

B.A.L RATING

B.A.L: 40 NOTE: ALL CONSTRUCTION IS TO BAL-40 RATING REQUIREMENTS

SITE CLASSIFCATION

CLASS: TBC

SOIL REPORT NO.: TBC

AUTHOR: TBC

DATE: TBC

ENERGY REQUIREMENTS

TBC

CONSTRUCTION REQUIREMENTS

ALL ROOF & WALL FRAMING AS PER MANUFACTURERS DETAILS TO COMPLY WITH AS1684.1.

TIMBER CONSTRUCTION IS TO CONFORM TO THE REQUIREMENTS OF AS 1684 & AS 1720

ALL CONSTRUCTION JOINT TO BRICKWORK IN ACCORDANCE WITH A.S. 2870.

ALL JOINTS TO BE SEALED WITH SILICONE.

UNREINFORCED MASONRY TO BE LATERALLY SUPPORTED WITH MASONRY TIES.

F.R.L.: WHERE THE WALL IS CONSTRUCTED ON THE BOUNDARY, THE BRICK WORK IS TO CONTINUE TO THE UNDERSIDE OF THE ROOF AND CUT AROUND THE FOOT OF THE RAFTER/TRUSS.

NON COMBUSTIBLE MINERAL FIBRE INSULATION IS TO BE PLACED UNDER THE TILE/SHEET ROOFING AND THE FASCIA IS TO BE NON COMBUSTIBLE

REFER BCA FIG. 3.7.1.3(B)

ENGINEERING REQUIREMENTS

SLAB AND STRUCTURAL ENGINEERING AS PER ENGINEER:

AUTHOR: TBC

REPORT / DRAWING NO.: TBC

DATE: TBC

INSULATION REQUIREMENTS

FLOOR: TBC

WALLS: TBC

CEILING: TBC

OTHER: TBC

TERMITE REQUIREMENTS

COLLARS AND PERIMETER TREATMENT REQUIRED

WINDOW REQUIREMENTS

WINDOW RATINGS TO COMPLY WITH A.S. 2047.

ALL GLAZING TO COMPLY WITH A.S. 1288 (WINDOWS & DOORS).

THERMALLY IMPROVED.

WINDOW SIZES ARE NOMINAL ONLY. ACTUAL SIZE WILL VARY ACCORDING TO MANUFACTURER.

WINDOWS TO BE FLASHED ALL AROUND

SUPPLIER: N/A AT THIS STAGE

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DRAWING LEGEND:



DATE	REVISION
19/02/19	TOWN PLANNING

PROJECT: KLEINDIENST RESIDENCE
ISSUE: TOWN PLANNING
CLIENT: JEREMY KLEINDIENST
ADDRESS: 10 DURIMBIL AVENUE, WYE RIVER

TITLE: GENERAL NOTES		A3
PROJECT NUMBER	19KLIEND	
DATE	19 February, 2019	
DRAWN BY	JC	
SHEET NUMBER: 1 OF 9		SCALE N/A
CHECKED BY	RC	

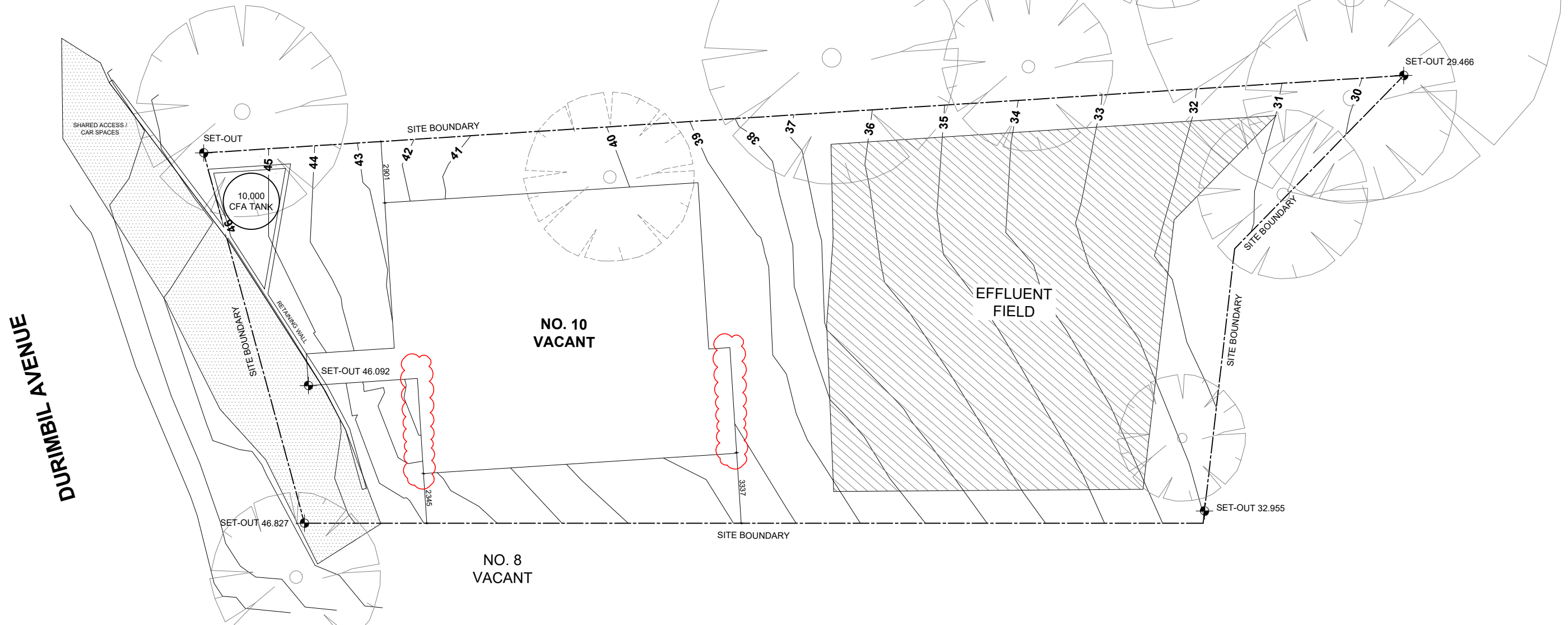
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NOTE: NO CHANGES TO GROUND DISTURBANCES / SITE CUTS AS A RESULT OF INCREASED FOOTPRINT / DECK AREAS. PREVIOUSLY SUBMITTED LRA REMAINS VALID.

NO. 14
DOUBLE STOREY
DWELLING

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NO. 12
VACANT



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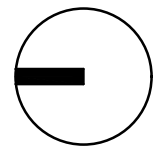
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PROJECT: KLEINDIENST RESIDENCE
ISSUE: TOWN PLANNING
CLIENT: JEREMY KLEINDIENST
ADDRESS: 10 DURIMBIL AVENUE, WYE RIVER

TITLE: SITE PLAN	
PROJECT NUMBER 19KLIEND	SHEET NUMBER: 2 OF 9
DATE 19 February, 2019	A3
DRAWN BY JC	
CHECKED BY RC	SCALE 1 : 200

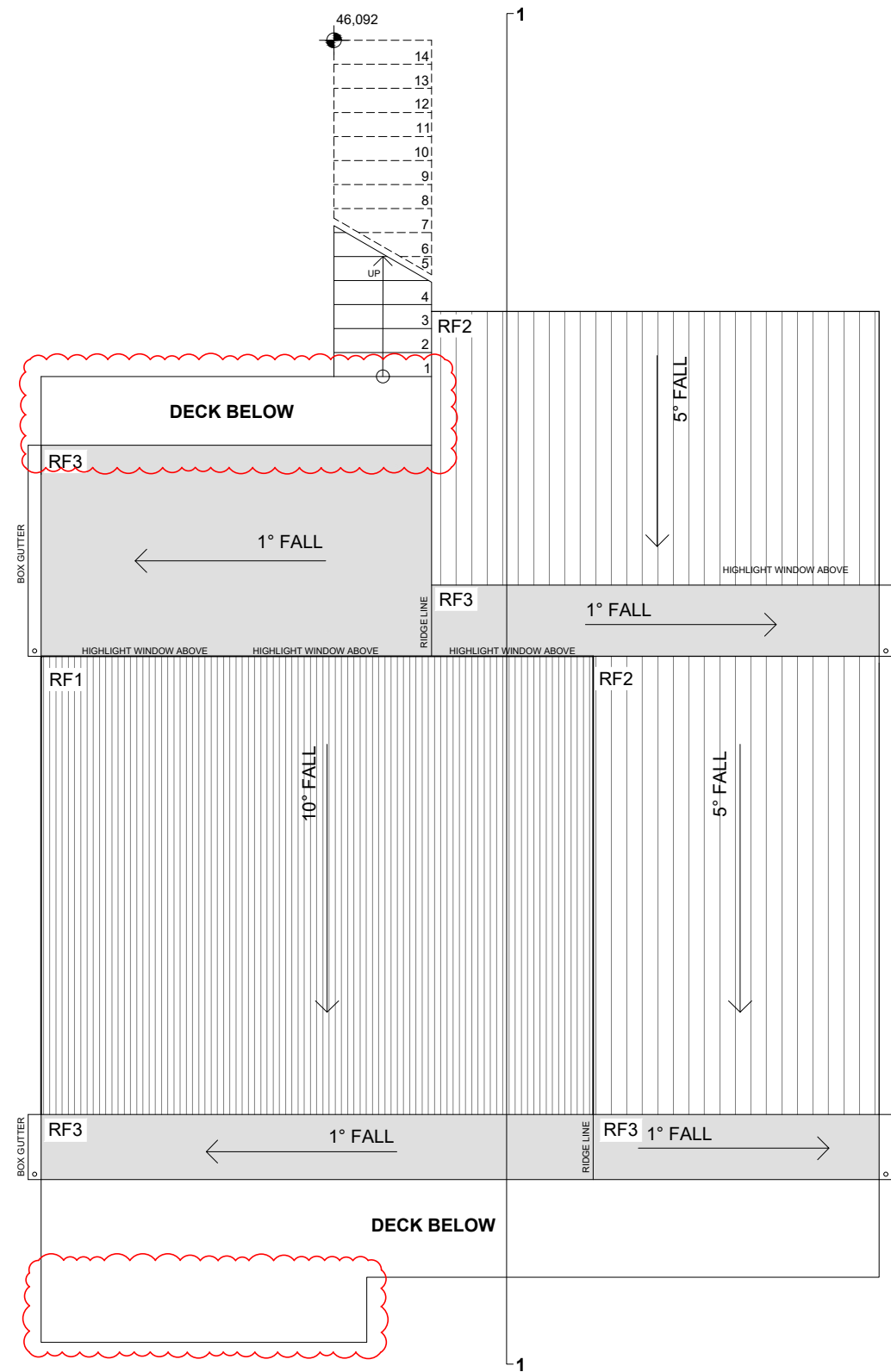


A3

1 : 200

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3 ROOF PLAN
 S3 SCALE 1:100

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PROJECT:
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ISSUE:
 TOWN PLANNING

CLIENT:
 JEREMY KLEINDIENST

ADDRESS:
 10 DURIMBIL AVENUE, WYE RIVER

TITLE:
 ROOF PLAN

PROJECT NUMBER	19KLIEND	SHEET NUMBER:	4 OF 9
DATE	19 February, 2019		
DRAWN BY	JC		
CHECKED BY	RC	SCALE	

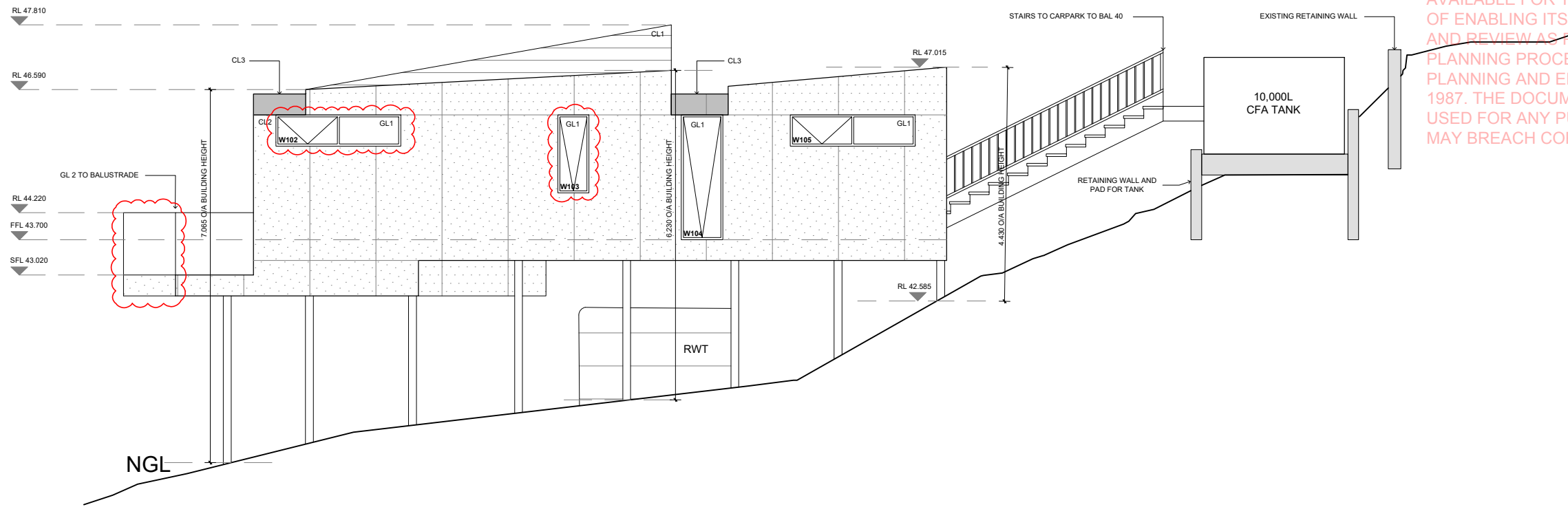
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A3

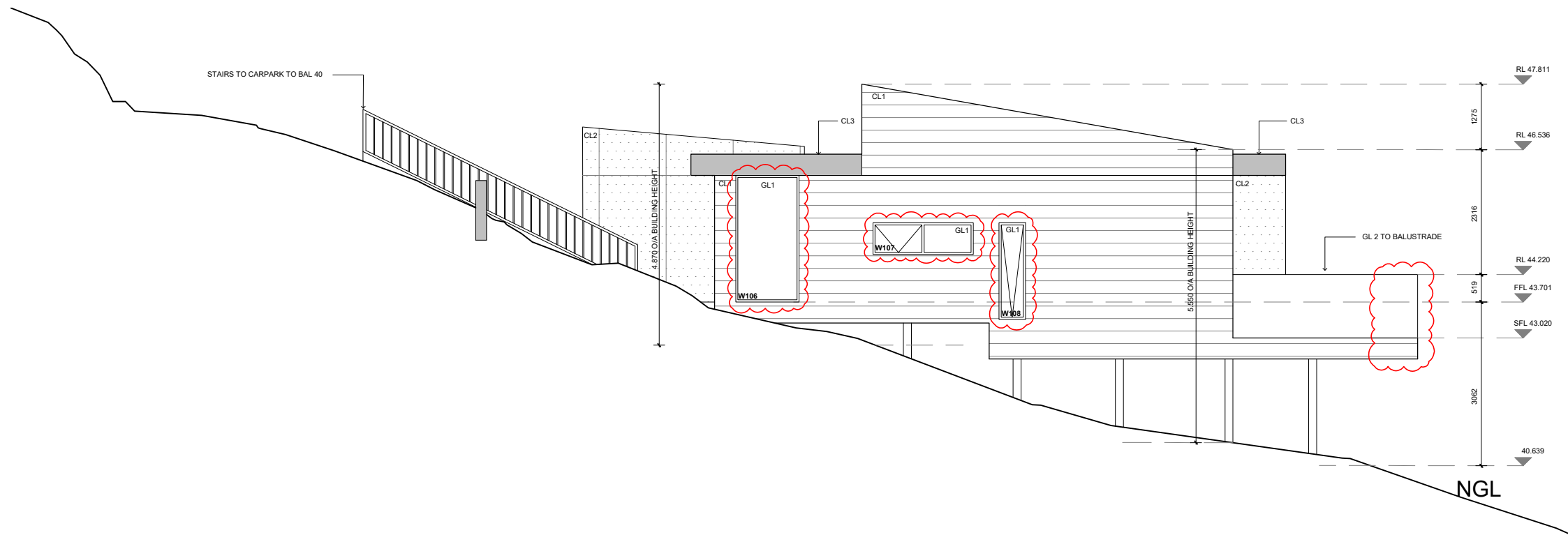
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4 EAST ELEVATION
S4 SCALE 1:100



5 WEST ELEVATION
S4 SCALE 1:100

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TOWN PLANNING

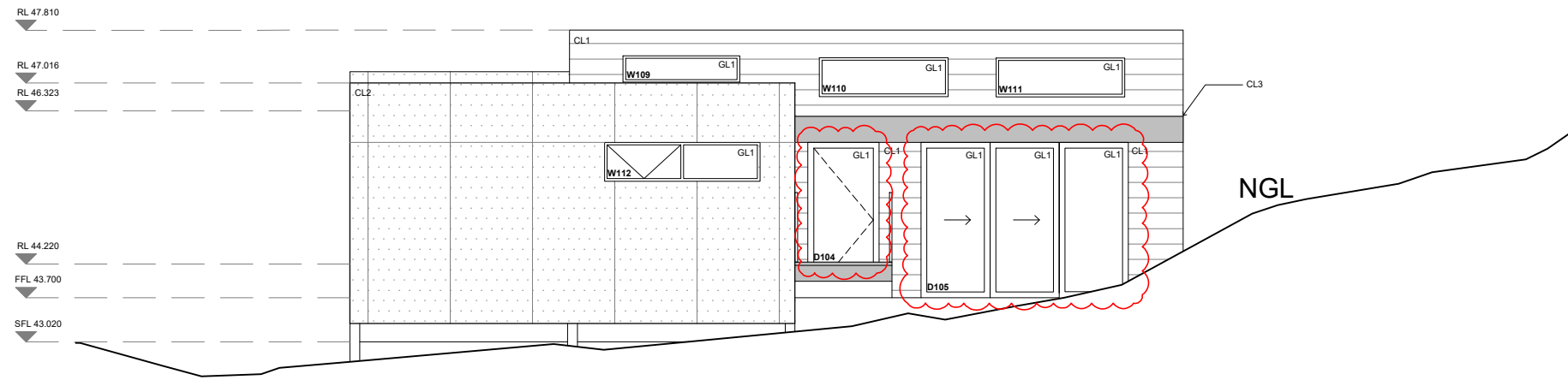
CLIENT:
JEREMY KLEINDIENST

ADDRESS:
10 DURIMBIL AVENUE, WYE RIVER

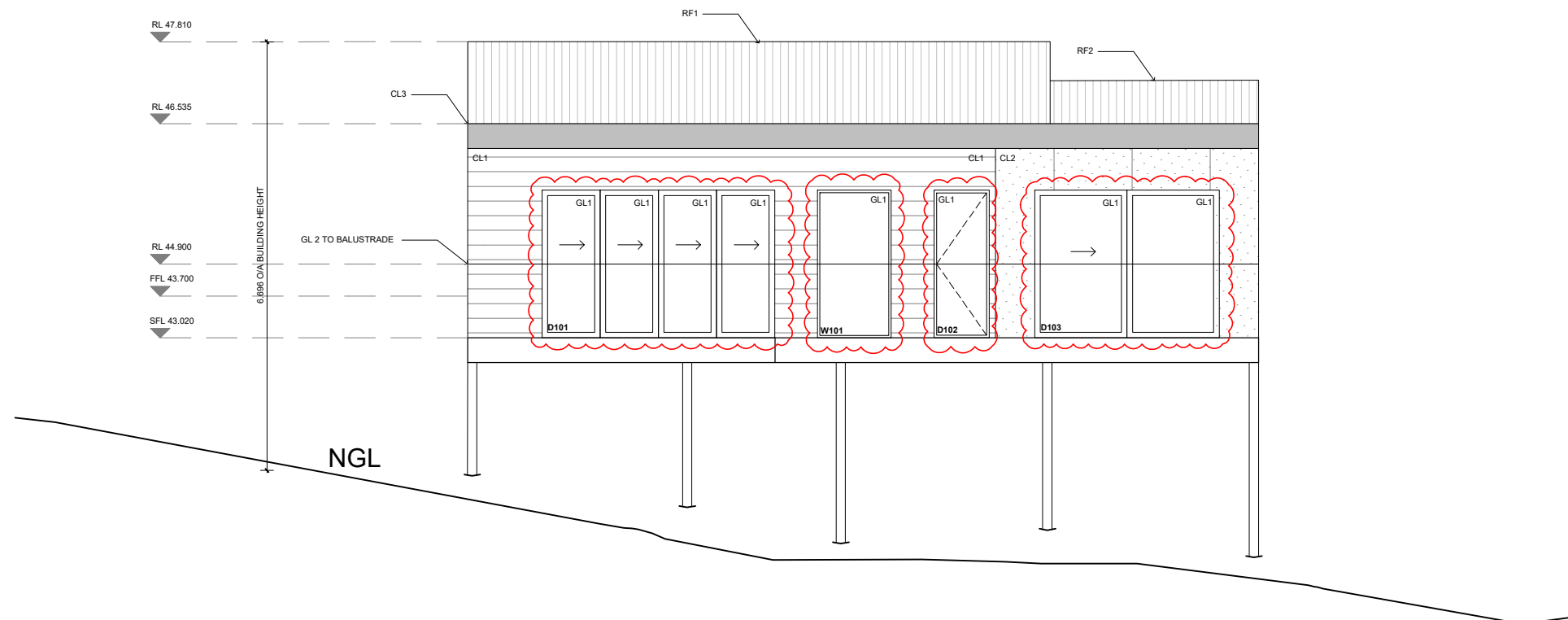
TITLE:		ELEVATIONS		
PROJECT NUMBER	19KLIEND	SHEET NUMBER:	A3	
DATE	19 February, 2019	5 OF 9		
DRAWN BY	JA	SCALE		1 : 100
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6 NORTH ELEVATION
SCALE 1:100



7 SOUTH ELEVATION
SCALE 1:100

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KLEINDIENST RESIDENCE

ISSUE:

TOWN PLANNING

CLIENT:

JEREMY KLEINDIENST

ADDRESS:

10 DURIMBIL AVENUE, WYE RIVER

TITLE:

ELEVATIONS

PROJECT NUMBER 19KLIEND

DATE 19 February, 2019

DRAWN BY JC

CHECKED BY RC

SHEET NUMBER:

6 OF 9

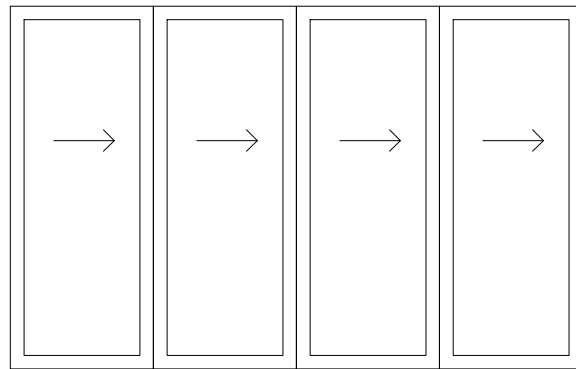
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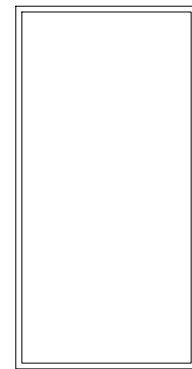
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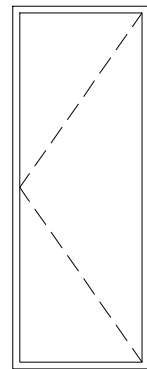
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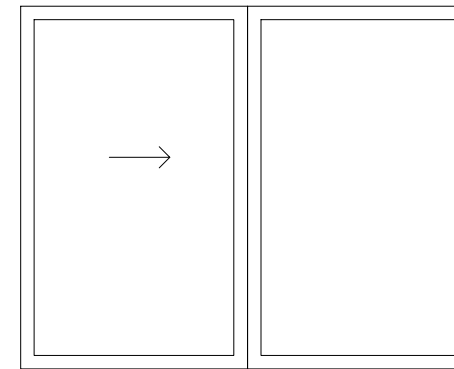
D101 - LIVING BI-FOLD
3785W x 2400H



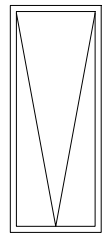
W101
1200W x 2400H



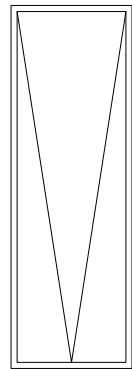
D102 - LIVING DOOR
820W x 2040H



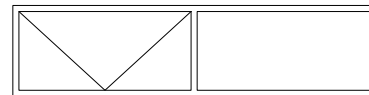
D103 - MASTER SLIDER
3000W x 2400H



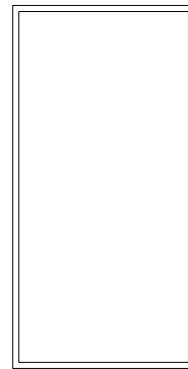
W103
600W x 1500H



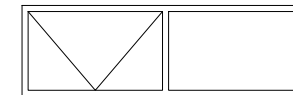
W104
800W x 2400H



W105
2400W x 600H



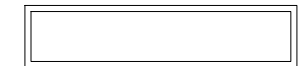
W106
1200W x 2400H



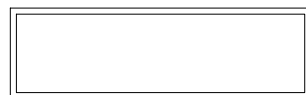
W107
1900W x 600H



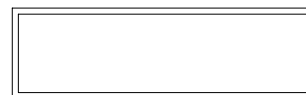
W108
500W x 1830H



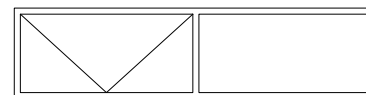
W109
790W x 600H



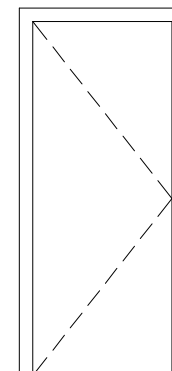
W110
1980W x 600H



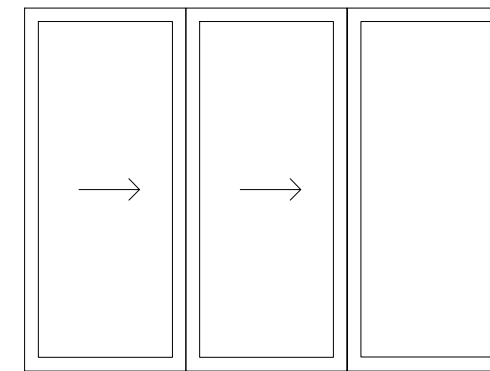
W111
1980W x 600H



W112
2400W x 600H



D104 - ENTRY DOOR
1020W x 2400H



D105 - DINING SLIDER
3000W x 2400H

7
S6

WINDOW / DOOR SCHEDULE

SCALE 1:50

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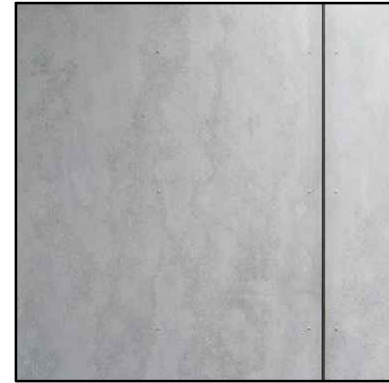
DATE	REVISION
19/02/19	TOWN PLANNING

PROJECT: KLEINDIENST RESIDENCE
ISSUE: TOWN PLANNING
CLIENT: JEREMY KLEINDIENST
ADDRESS: 10 DURIMBIL AVENUE, WYE RIVER

TITLE: WINDOW & DOOR SCHEDULE		8 OF 9	A3
PROJECT NUMBER 19KLIEND	SHEET NUMBER:		
DATE 19 February, 2019	DRAWN BY JC	SCALE 1 : 100	
CHECKED BY RC			



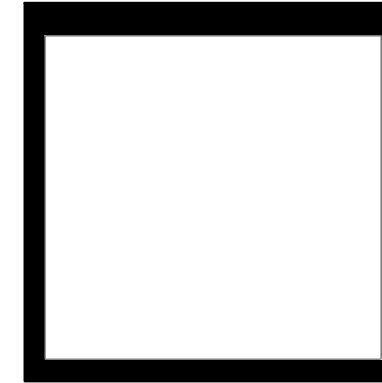
CL1
 Product : Spandek Wall Sheeting
 Finish : Dulux Monument



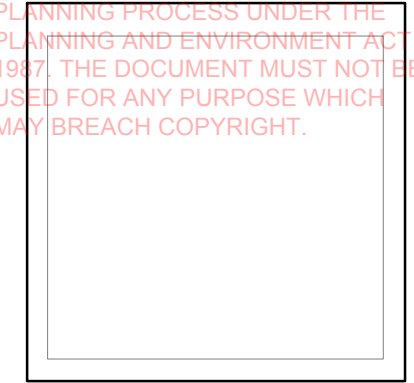
CL2
 FC Sheet
 Product : Cemintel Barestone
 Finish : Pre-Finished Board



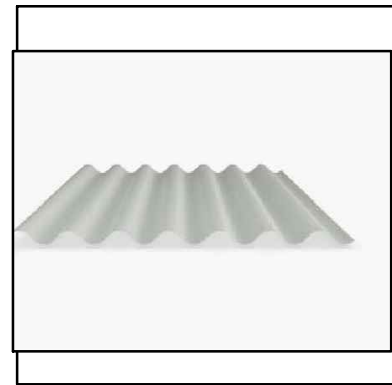
CL3
 Metal Capping
 Colour: Dulux Monument



GL1
 Aluminium Window Frames/Clear
 Glazing



GL2
 Clear Glazing Balustrade



RF1
 Selected Roof Sheet @ 10°
 Colour: Dulux Monument



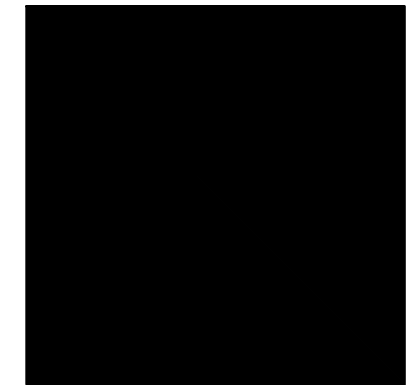
RF2
 Selected Roof Sheet @ 5°
 Colour: Dulux Monument



RF3
 Selected Roof Sheet @ 2°
 Colour: Dulux Monument



MF1
 Colour bond Down Pipes, Rain Water
 Head and other gutter accessories
 Colour: Monument



MF2
 Fire Screens
 Colour: Monument

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ISSUE:
 TOWN PLANNING

CLIENT:
 JEREMY KLEINDIENST

ADDRESS:
 10 DURIMBIL AVENUE, WYE RIVER

TITLE:
**EXTERNAL FINISHES
 SCHEDULE**

PROJECT NUMBER 19KLIEND

DATE 13 February, 2019

DRAWN BY JC

CHECKED BY RC

SHEET NUMBER:

9 OF 9

SCALE

A3

N/A