

PP25/2018-1

9945

153 Main Street ELLIMINYT

**CP: 169405 (Proposed Lot 1 PS81156SC)
Pt Vol 9901 Fol 451, Parish of Elliminyt**

Two Lot Subdivision

M J Baker

Officer - Helen Evans

EXHIBITION FILE

This document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.

Submissions to this planning application will be accepted until a decision is made on the application.

If you would like to make a submission relating to a planning permit application, you must do so in writing to the Planning Department

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Application for Planning Permit for a Subdivision

Supplied by Mick Baker
Submitted Date 30/01/2018

Application Details

Application Type Planning Permit for a Subdivision
Version 1
Applicant Reference Number (Not Supplied)
Responsible Authority Name Colac Otway Shire
Responsible Authority Reference Number(s) (Not Supplied)
SPEAR Reference Number S116559E
Application Status Submitted
Planning Permit Issue Date NA
Planning Permit Expiry Date NA

The Land

Primary Parcel 153 MAIN STREET, ELLIMINYT VIC 3250
Lot 1/Plan PS811565
SPI 1\PS811565
Zone: 32.08 General Residential Zone
Overlay: 43.04 Development Plan

The Proposal

Plan Number (Not Supplied)
Number of lots 2
Planning permit application is to subdivide an existing building The planning permit application is to subdivide an existing building
Proposal Description Two-lot subdivision
Estimated cost of the development for which a permit is required \$ 0

Existing Conditions

Existing Conditions Description Two-lot subdivision of an existing dwelling, to create Lot 1 (980m2) with existing dwelling and Lot 2 (513m2) as a vacant residential lot
Title Information - Does the proposal breach an encumbrance on Title? The proposal does not breach an encumbrance on title, such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope.

Applicant Contact

Applicant Contact Mick Baker
Bakerland Properties
57B Tulloh Street, Elliminyt, VIC, 3250
Business Phone: 0402271255
Email: mickbaker78@yahoo.com.au

Applicant

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Applicant

(Applicant details as per Applicant Contact)

Owner

Owner 1

(Owner details as per Applicant Contact)

Owner 2

(Owner details as per Applicant)

Declaration

I, Mick Baker, declare that I am the owner associated with this application.

I, Mick Baker, declare that all the information supplied is true.

**Authorised by
Organisation**

Mick Baker
Bakerland Properties

Planning Property Report

from www.planning.vic.gov.au on 30 January 2018 12:37 PM

The report cannot be created

A record was found in the database for this property, but it is marked as 'proposed'.

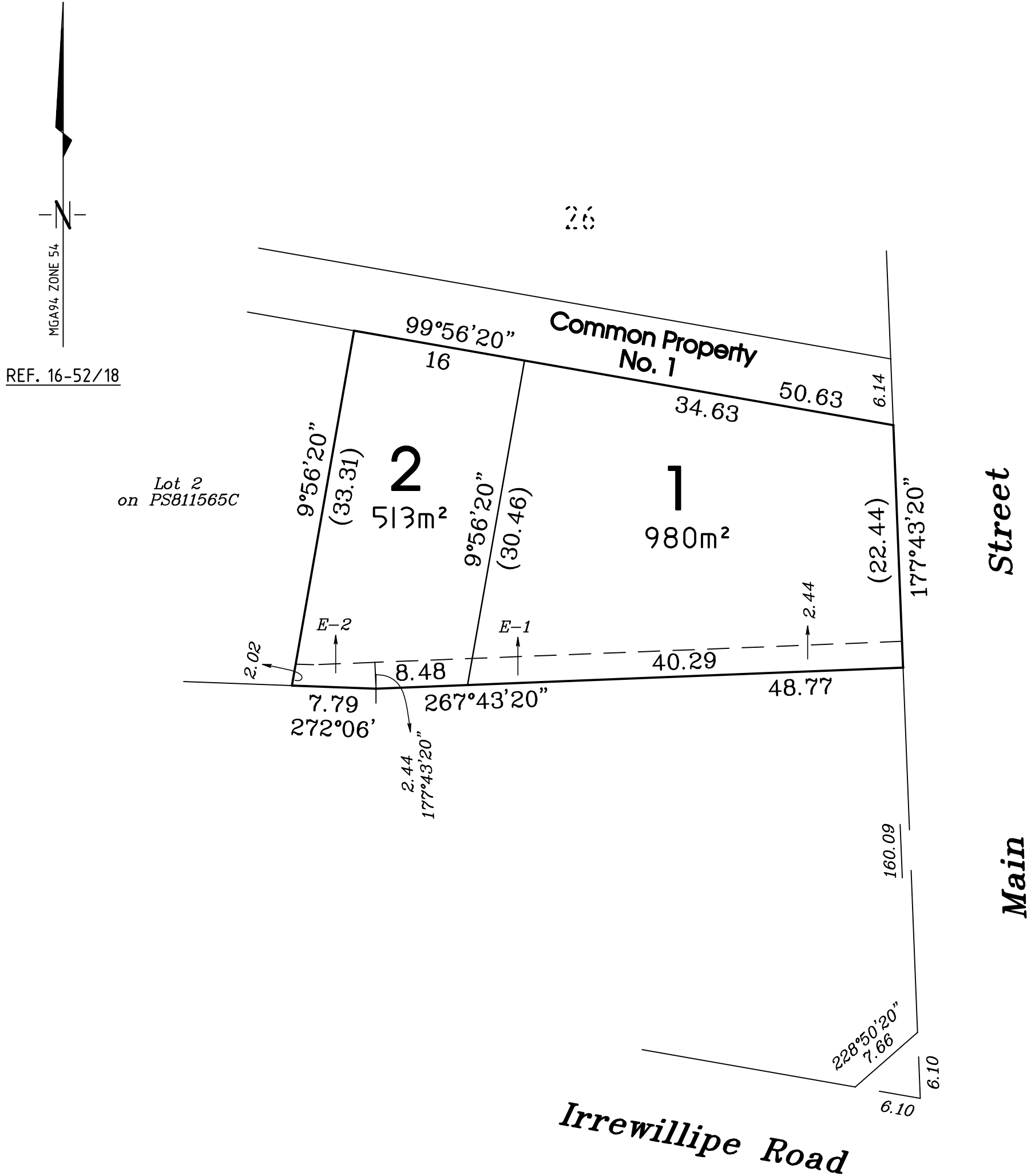
The council has not supplied the property number and/or address.

The address found in the database is 153 MAIN STREET ELLIMINYT 3250.

**PLAN OF PROPOSED SUBDIVISION
PART OF CROWN ALLOTMENT 25
SECTION B - PARISH OF ELLIMINYT
COUNTY OF POLWARTH
RE: M.J. & R.N. BAKER
SCALE 1:400** (Original Sheet Size A3)

NOTE:
Certain dimensions shown hereon are subject to survey.
Certain areas shown hereon are subject to survey.
Land contained within C/T Vol. Fol. , being Lot 1 on PS811565C.
See Title for full easement descriptions.

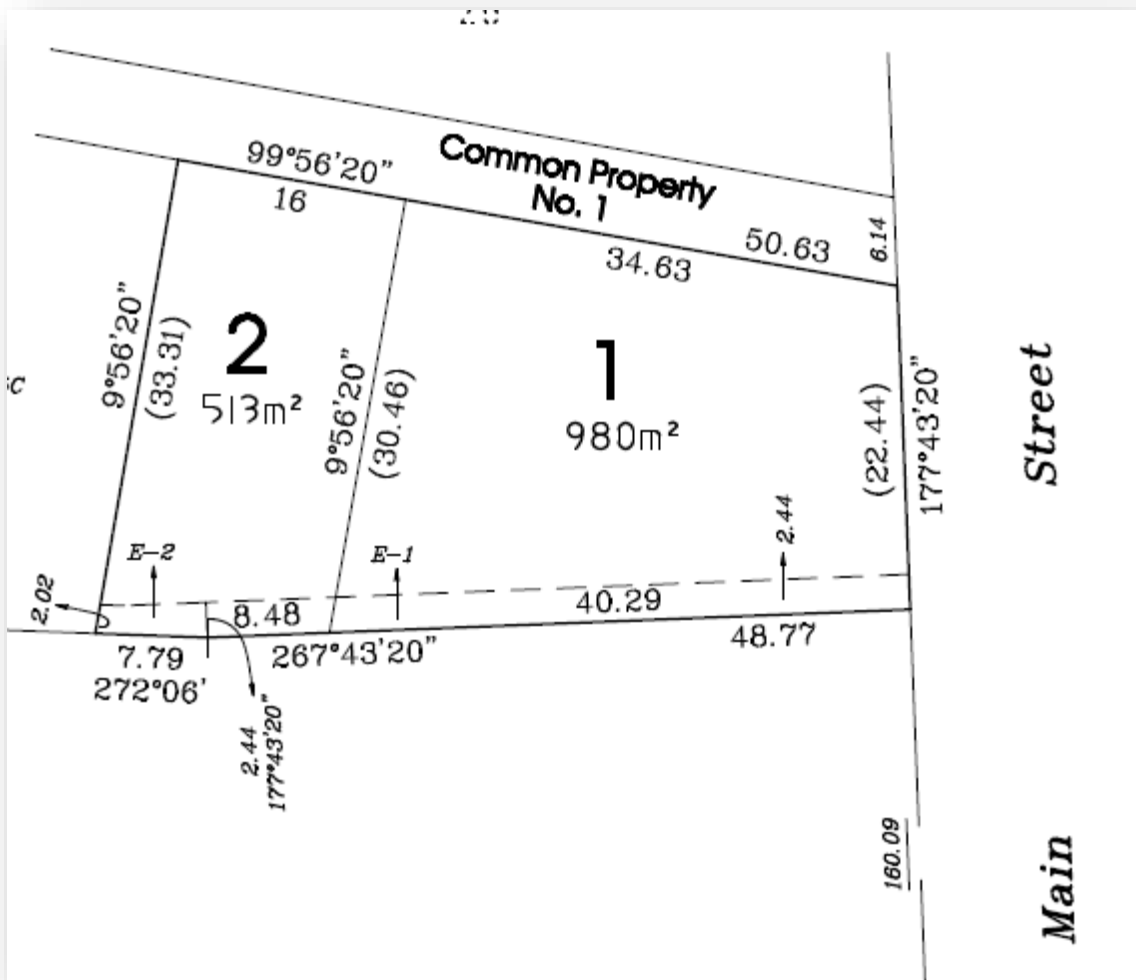
ROD BRIGHT & ASSOCIATES PTY LTD
LICENSED SURVEYORS & TOWN PLANNERS
26 MURRAY STREET COLAC 3250
TEL 5231 4883 ACN 007 206 975



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SUBDIVISION DESCRIPTION AND DESIGN RESPONSE

Proposal: 2 Lot Subdivision
Address: 153 Main Street, ELLIMINYT 3250
Applicant: Mick Baker (Bakerland Properties)

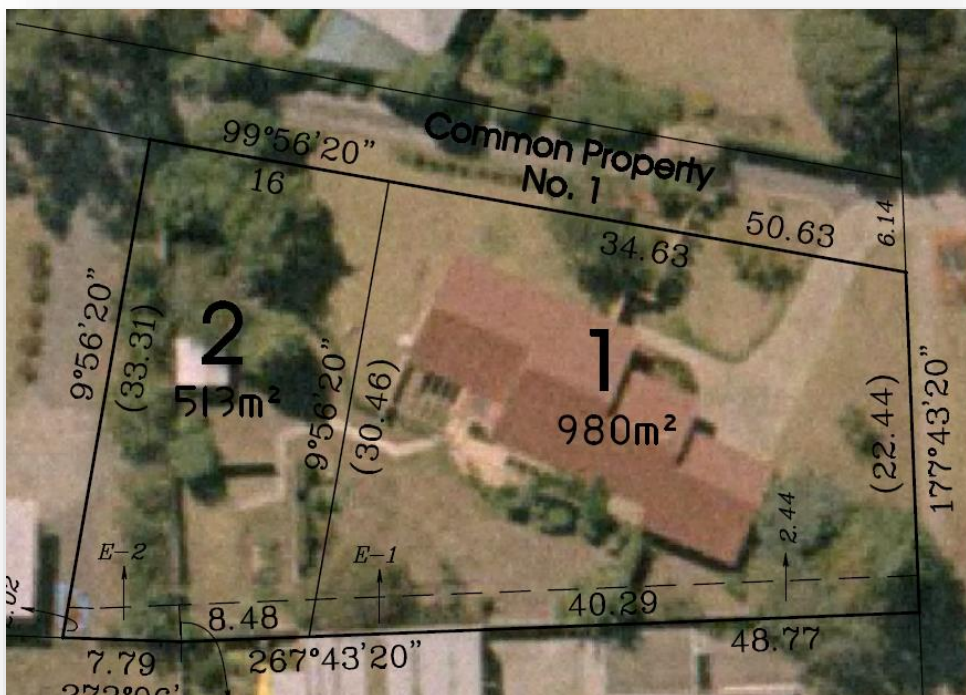


1. Subdivision site and context description

Clause 56.01-1 of the Colac Otway Planning

1.1 Location and site features

- The property is located at 153 Main Street, Elliminyt 3250. Parcel CP169405.
- The property comprises of 1493m² of residential land, with an existing dwelling fronting 153 Main Street.
- The current 2-lot subdivision is subsequent to a recent 4-lot subdivision at the property (PP4/2017-1).
- The 2-lot subdivision proposes to create Lot 1 (980m²) with an existing dwelling, and Lot 2 (513m²) as a vacant residential lot.
- The site has a frontage of 28.58m to Main St. A common property access, created from the previous subdivision, will extend along the northern boundary of the property to access both lots.
- The land is relatively flat and is located in a low-lying area of Colac. There are no drainage lines and the area is not subject to inundation.
- There is no significant views from the site.
- There are no visible contaminated soils, erosion, salinity, or acid sulphate soils or fill at the site.
- The site is not located within an area of Aboriginal Cultural Heritage Sensitivity.
- The property is connected to reticulated sewer, water and electricity and a gas supply and telephone service is available.



1.2 Surrounding area

- Surrounding land comprises a mix of residential houses along Main Street, Irrewillipe Road, and Aireys Street (sizes from 600m² to 1400m²). Vacant residential land exists to the rear of some of those properties.
- Residential lots exist to the west of the subject site, which form part of PP4/2017-1.
- Other adjoining vacant residential land to the north, south and west is currently being used for domestic / garden / grazing purposes associated with residential houses / uses.
- Blocks of units with common property access exists approximately 50 metres to the north of the land along Main Street.
- Main Street is a major connecting road between Colac and Lavers Hill. It is fully sealed, contains kerb and channel and has a footpath on both sides. Main Street is approximately 20 metres in width and all services are available.
- The land is close to the township of Elliminyt, and is less than 200 metres north of the Elliminyt Mini-mart and Elliminyt Primary School.
- The vegetation adjoining the site comprises a mix of residential gardens and exotic pasture grasses on grazed land.



1.3 Colac Otway Shire Planning Scheme

Clause 32.08 – General Residential Zone (GRZ)

- The land is zoned General Residential 1 (GRZ1). The intent of GRZ1 is to provide for residential development at a range of densities with a variety of dwellings, and to encourage residential development that respects the neighbourhood character.

Clause 32.08-3 – Subdivision and minimum garden area requirements

- A permit is required to subdivide land. An application to subdivide land that creates a vacant lot capable of development for a dwelling or residential building, must ensure that each lot created contains the minimum garden area set out in Clause 32.08-4.
- The subdivision is subject to and meets the minimum garden area requirements in the table below.

Lot size	Minimum garden area	Requirement met
400 – 500m ²	25%	N/A
501 – 650m ²	30%	Lot 2 – YES
Above 650m ²	35%	Lot 1 – YES

Clause 43.04 – Development Plan Overlay – Schedule 2

- The land is subject to a Development Plan Overlay – Schedule 2 (Future Residential Development). The intent of DPO-2 is to encourage subdivisions and residential development in a coordinated fashion and to not compromise the orderly planning and development of the area.
- The Colac Otway Shire has prepared Draft Development Plans (May 2014) that apply to the site. The current subdivision is in accordance with the requirements of the DPO and does impact on the orderly planning and future development of the area.

Clauses 11 & 21

- Clause 11 of the State Planning Policy Framework, Clause 21 of the Local Planning Policy Framework, and the Colac Structure Plan (2007) have been considered for this proposal.



2. Subdivision design response

Clause 56.01-2 of the Colac Otway Shire Planning Scheme

2.1 Subdivision proposal

- Refer to the attached plan of proposed subdivision and existing conditions diagram.
- The subdivision proposes two lots:
 - Lot 1: 980m² residential lot with existing dwelling (153 Main St)
 - Lot 2: 513m² vacant residential lot
- Access to Lots 1 and 2 is from a common property access of 492m² from Main Street, which is 6 metres in width. This allows for a 3 metre wide sealed driveway access, overtaking spaces, and retention of landscaped gardens as per planning permit PP4/2017-1.
- All services with the exception of sewer are contained within the common property. The sewer main exists along the southern boundary of the property in the existing easement.

2.2 Subdivision design considerations

- The proposed subdivision has been designed in consideration of the GRZ1. Lots 1 and 2 are of varying size and are consistent with the surrounding pattern of residential land.
- The proposal responds to the site and context description by maximising the use of residential land close to Main Street. It complements the neighbourhood character in the area by contributing to the modern feel in a residential environment.
- The subdivision meets the minimum garden area requirements of Clause 38.08-4:
 - Lot 1 (980m²) with the existing house contains 367m² of garden area to the rear of the dwelling (refer to notations on the proposed plan of subdivision).
 - Lot 2 (513m²) contains sufficient area to accommodate a dwelling and meet the required garden area of 30%.
- The subdivision is consistent with the State and Local Planning Policy Framework as it is providing for residential development in an area which zoned for the future growth of Elliminyt. It is maximising the use of the residential land in the area whilst allowing for future growth and connectivity to the Elliminyt township.

2.3 Meeting Clause 56 objectives

The subdivision has been designed in consideration of the following Clause 56 objectives of the Colac Otway Shire Planning Scheme:

Clauses 56.03-5, 56.04-2, 56.04-3, 56.04-5, 56.06-8 to 56.09-2.

56.03 LIVABLE AND SUSTAINABLE COMMUNITIES

56.03-5 Neighbourhood Character Objective

To design subdivisions that respond to neighbourhood character.

Standard C6

Subdivision should:

- *Respect the existing neighbourhood character or achieve a preferred neighbourhood character consistent with any relevant neighbourhood character objective, policy or statement set out in this scheme.*
- *Respond to and integrate with the surrounding urban environment.*
- *Protect significant vegetation and site features.*

Response

The proposed subdivision compliments the neighbourhood character in the area. The new lots proposed will integrate with the existing residential and modern houses and unit development along Main Street. There are no known neighbourhood character objectives identified for this area.

56.04 LOT DESIGN

56.04-2 Lot area and building envelopes objective

- *To provide lots with dimensions and areas that enable the appropriate siting and construction of a dwelling, solar access, private open space, vehicle access and parking, water management, easement and the retention of significant vegetation and site features.*

Standard C8

- *Lots greater than 500m² should be able to contain a rectangle measuring 10m by 15m and may contain a building envelope.*
- *A building envelope may specify or incorporate any relevant siting and design requirement. Any requirement should meet the relevant standards of Clause 54, unless:*
 - *The objectives of the relevant standard are met, and*

- *The building envelope is shown as a restriction on a PS registered under the Subdivision Act 1988, or is specified as a covenant in an agreement under Section 173 of the Act.*
- *Where a lot with a building envelope adjoins a lot that is not on the same plan of subdivision or is not subject to the same agreement relating to the relevant building envelope:*
 - *The building envelope must meet Standards A10 and A11 of Clause 54 in relation to the adjoining lot, and*
 - *The building envelope must not regulate siting matters covered by Standards A12 to A15 (inclusive) of Clause 54 in relation to the adjoining lot. This should be specified in the relevant PS or agreement.*
- *Lot dimensions and building envelopes should protect:*
 - *Solar access for future dwellings and support the siting and design of dwellings that achieve the energy rating requirement of the building regulations.*
 - *Existing and proposed easement on lots.*
 - *Significant vegetation and site features.*

Response

The proposed subdivision allows for a building envelopes of 10m x 15m on Lot 2, and the appropriate siting and construction of one dwelling. There is no significant vegetation identified.

56.04-3 Solar orientation of lots objective

To provide good solar orientation of lots and solar access for future dwellings.

Standard C9

- *Unless the site is constrained by topography or other site conditions, at least 70 percent of lots should have appropriate solar orientation.*
- *Lots have appropriate solar orientation when:*
 - *The long axis of lots are within the range north 20 degrees west to north 30 degrees east, or east 20 degrees north to east 30 degrees south.*
 - *Dimensions of lots are adequate to protect solar access to the lot, taking into account likely dwelling size and the relationship of each lot to the street.*

Response:

Proposed Lots 1 and 2 are orientated north – south and meet the above objective.

56.04-5 Common area objectives

- *To identify common areas and the purpose for which the area is commonly held.*
- *To ensure the provision for common area is appropriate and that necessary management arrangements are in place.*
- *To maintain direct public access throughout the neighbourhood street network.*

Standard C11

- *An application to subdivide land that creates common land must be accompanied by a plan and a report identifying:*
 - *The common area to be owned by the body corporate, including any streets and open space.*
 - *The reasons why the area should be commonly held.*
 - *Lots participating in the body corporate.*
 - *The proposed management arrangements including maintenance standards from streets and open spaces to be commonly held.*

Response:

A common property area of 492m² is proposed to facilitate a shared access for Lots 1 and 2 (refer to attached plan and PP4/2017-1). This is the only viable access arrangement to the land.

56.06 ACCESS & MOBILITY MANAGEMENT

56.06-8 Lot access objective

To provide for safe vehicle access between roads and lots.

Standard C21

- *Vehicle access to lots abutting arterial roads should be provided from service roads, side or rear access lanes, access places or access streets where appropriate and in accordance with the access management requirements of the relevant roads authority.*
- *Vehicle access to lots of 300 square metres or less in area and lots with a frontage of 7.5 metres or less should be provided via rear or side access lanes, places or streets.*
- *The design and construction of a crossover should meet the requirements of the relevant road authority.*

Response:

An existing crossover exists on Main St to access the existing dwelling. This will be used to access common property and will meet the requirements of the relevant road authority.

56.07 INTEGRATED WATER MANAGEMENT

56.07-1 Drinking Water Supply Objective

- *To reduce the use of drinking water.*
- *To provide an adequate, cost-effective supply of drinking water.*

Standard C22

- *The supply of drinking water must be:*
 - *Designed and constructed in accordance with the requirements and to the satisfaction of the relevant water authority.*
 - *Provided to the boundary of all lots in the subdivision to the satisfaction for the relevant water authority.*

Response:

The supply of drinking water will be made available to all lots in accordance with the requirements and to the satisfaction of Barwon Water.

56.07-2 Reused and recycled water objective

To provide for the substitution of drinking water for non-drinking purposes with reused and recycled water.

Standard C23

- *Reused and recycled water systems must be:*
 - *Designed, constructed and managed in accordance with the requirements and to the satisfaction of the relevant water authority, EPA and DHS.*
 - *Provided to the boundary of all lots in the subdivision where required by the relevant water authority.*

Response:

Reused and recycled water systems will be designed, constructed and managed in accordance with the requirements and to the satisfaction of Barwon Water, EPA and DHS if required.

56.07-3 Waste water management objective

- *To provide a waste water system that is adequate for the maintenance of public health and the management of effluent in an environmentally friendly manner.*

Standard C24

- *Waste water systems must be:*
 - *Designed, constructed and managed in accordance with the requirements and to the satisfaction of the relevant water authority and the EPA.*
 - *Consistent with any relevant approved domestic waste water management plan.*
 - *Reticulated waste water systems must be provided to the boundary of all lots in the subdivision where required by the relevant water authority.*

Response

Waste water systems will be connected to the reticulated system and be designed, constructed and managed in accordance with the requirements and to the satisfaction of Barwon Water.

56.07-4 Urban runoff management objectives

- *To minimise damage to properties and inconvenience to residents from urban run-off.*
- *To ensure that the street operates adequately during major storm events and provides for public safety.*
- *To minimise increases in stormwater run-off and protect the environmental values and physical characteristics of receiving waters from degradation by urban run-off.*

Standard C25

- *The urban stormwater management system must be:*
 - *Designed and managed in accordance with the requirements and to the satisfaction of the relevant drainage authority.*
 - *Designed and managed in accordance with the requirements and to the satisfaction of the water authority where reuse of urban run-off is proposed.*
 - *Designed to meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater – Best Practice Environmental Management Guidelines (Victorian Stormwater Committee 1999) as amended.*
 - *Designed to ensure that flows downstream of the subdivision site are restricted to predevelopment levels unless increased flows are approved by the relevant drainage authority and there are no detrimental downstream impacts.*
- *The stormwater management system should be integrated with the overall development plan including the street and public open space networks and landscape design.*

Response:

The stormwater management system will be made available to the proposed lots and connected to the existing stormwater system along Main Street, in consideration of the requirements of the Colac Otway Shire. This will be in accordance with PP4/2017-1 and approved drainage plans.

56.08 SITE MANAGEMENT

56.08 Site Management objectives

- *To protect drainage infrastructure and receiving waters from sedimentation and contamination.*
- *To protect the site and surrounding area from environmental degradation or nuisance prior to and during construction of subdivision works.*
- *To encourage the re-use of materials from the site and recycled materials in the construction of subdivision where practicable.*

Standard C26

- *A subdivision application must describe how the site will be managed prior to and during the construction period and may set out requirements for managing:*
 - *Erosion and sediment.*
 - *Dust.*
 - *Run-off.*
 - *Litter, concrete and other construction wastes.*
 - *Chemical contamination.*
 - *Vegetation and natural features planned for retention.*
 - *Recycled material should be used for the construction of streets, shared paths and other infrastructure where practicable.*

Response

A construction management plan that meets the above standards will be submitted to the Colac Otway Shire for approval if required.

56.09 UTILITIES

56.09-1 Shared trenching objectives

- *To maximise the opportunities for shared trenching.*
- *To minimise constraints on landscaping within street reserves.*

Standard C27

- *Reticulated services for water, gas, electricity and telecommunications should be provided in shared trenching to minimise construction costs and land allocation for underground services.*

Response

Shared trenching will be used where available and in consideration of the requirements of the relevant authorities.

56.09-2 Electricity, telecommunications and gas objectives

- *To provide public utilities to each lot in a timely, efficient and cost effective manner.*
- *To reduce greenhouse gas emissions by supporting generation and use of electricity from renewable sources.*

Standard C28

- *The electricity supply system must be designed in accordance with the requirements of the relevant electricity supply agency and be provided to the boundary of all lots in the subdivision to the satisfaction of the relevant electricity authority.*
- *Arrangements that support the generation or use of renewable energy at a lot or neighbourhood level are encouraged.*
- *The telecommunication system must be designed in accordance with the requirements of the relevant telecommunications servicing agency and should be consistent with any approved strategy, policy or plan for the provision of advanced telecommunications infrastructure, including fibre optic technology. The telecommunications system must be provided to the boundary of all lots in the subdivision to the satisfaction of the relevant telecommunications servicing authority.*
- *Where available, the reticulated gas supply system must be designed in accordance with the requirements of the relevant gas supply agency and be provided to the boundary of all lots in the subdivision to the satisfaction of the relevant gas supply agency.*

Response

All services / utilities will be designed and made available to all proposed lots in accordance with the requirements of the relevant authorities.

SUMMARY

The proposed two-lot subdivision maximises the use of residential land in the Elliminyt area and provides positive benefits for the Elliminyt township by creating an additional housing site. The subdivision has carefully considered the requirements of local and state planning policy frameworks.

SITE PHOTOS



Proposed Lots 1 (dwelling) and 2 (vacant), looking east to Main Street along the proposed common property

**PLAN OF PROPOSED SUBDIVISION
PART OF CROWN ALLOTMENT 25
SECTION B - PARISH OF ELLIMINYT
COUNTY OF POLWARTH
RE: M.J. & R.N. BAKER
SCALE 1:400** (Original Sheet Size A3)

NOTE:
Certain dimensions shown hereon are subject to survey.
Certain areas shown hereon are subject to survey.
Land contained within C/T Vol. Fol. , being Lot 1 on PS811565C.
See Title for full easement descriptions.

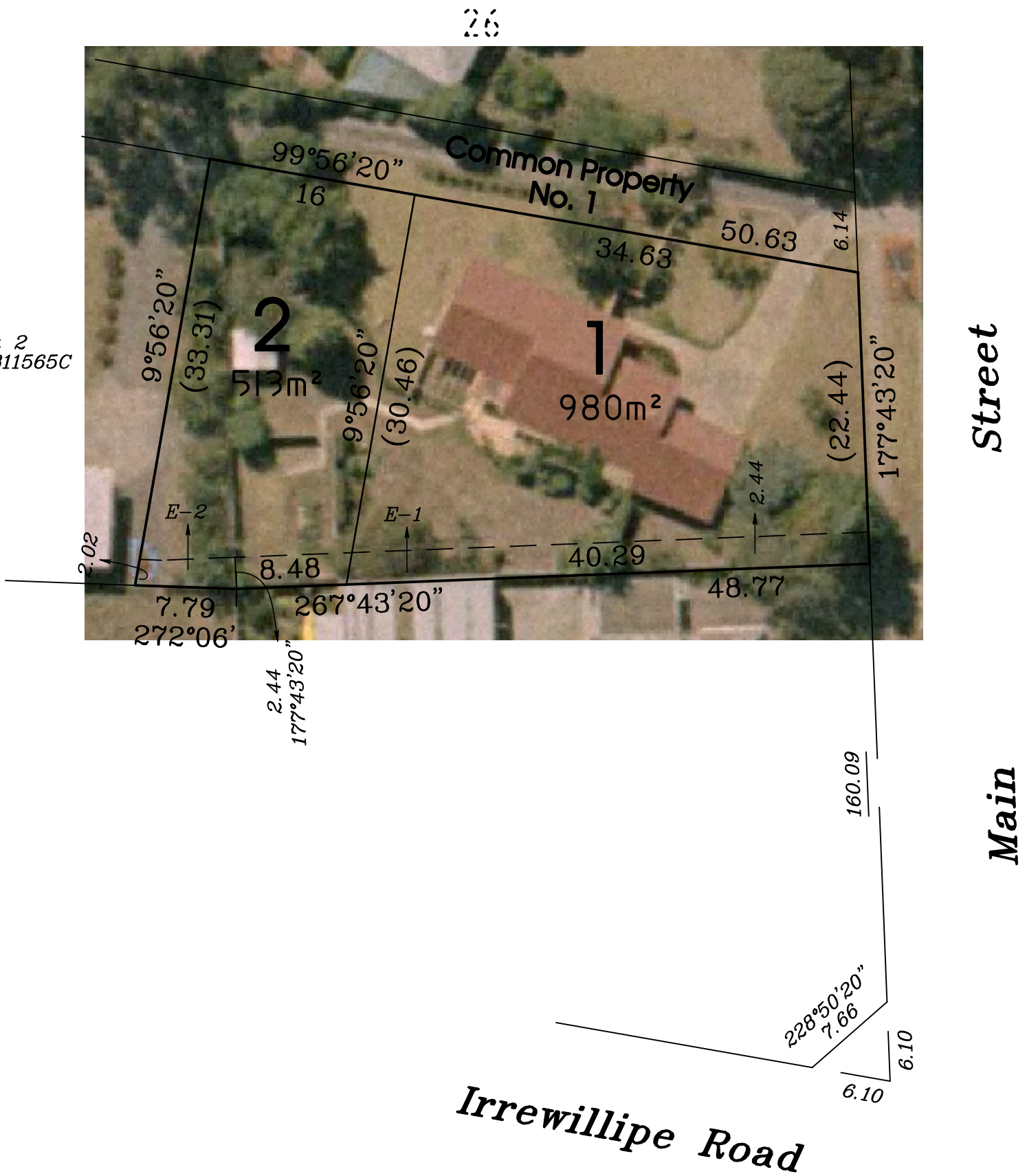
Garden Area of Lot 1 Rear Yard - 367m²

ROD BRIGHT & ASSOCIATES PTY LTD
LICENSED SURVEYORS & TOWN PLANNERS
26 MURRAY STREET COLAC 3250
TEL 5231 4883 ACN 007 206 975

Existing Conditions Diagram

MGA94 ZONE 54
REF. 16-52/18

Lot 2
on PS811565C



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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 09901 FOLIO 451

Security no : 124070118728U
Produced 30/01/2018 12:45 pm

LAND DESCRIPTION

Land in Plan of Consolidation 169405G.

PARENT TITLES :

Volume 09710 Folio 847 Volume 09871 Folio 886

Created by instrument CP169405G 14/09/1989

REGISTERED PROPRIETOR

Estate Fee Simple

TENANTS IN COMMON

As to 1 of a total of 2 equal undivided shares

Sole Proprietor

MR BAKER PROPERTIES PTY LTD of 57B TULLOH STREET ELLIMINYT VIC 3250

As to 1 of a total of 2 equal undivided shares

Sole Proprietor

BAM INDUSTRIES PTY LTD of 112 PATTERSON ROAD BENTLEIGH VIC 3204
AQ233452C 11/09/2017

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AQ233453A 11/09/2017

AUSTRALIA AND NEW ZEALAND BANKING GROUP LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP457876S FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 153 MAIN STREET ELLIMINYT VIC 3250

ADMINISTRATIVE NOTICES

NIL

eCT Control 15314Q ANZ RETAIL BANKING
Effective from 11/09/2017

DOCUMENT END

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TITLE PLAN		EDITION 1	TP 457876S
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Location of Land

Parish: ELLIMINYT
 Township:
 Section:
 Crown Allotment:
 Crown Portion:

Last Plan Reference: CP 169405G
 Derived From: VOL 9901 FOL 451
 Depth Limitation: NIL

Notations

ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN

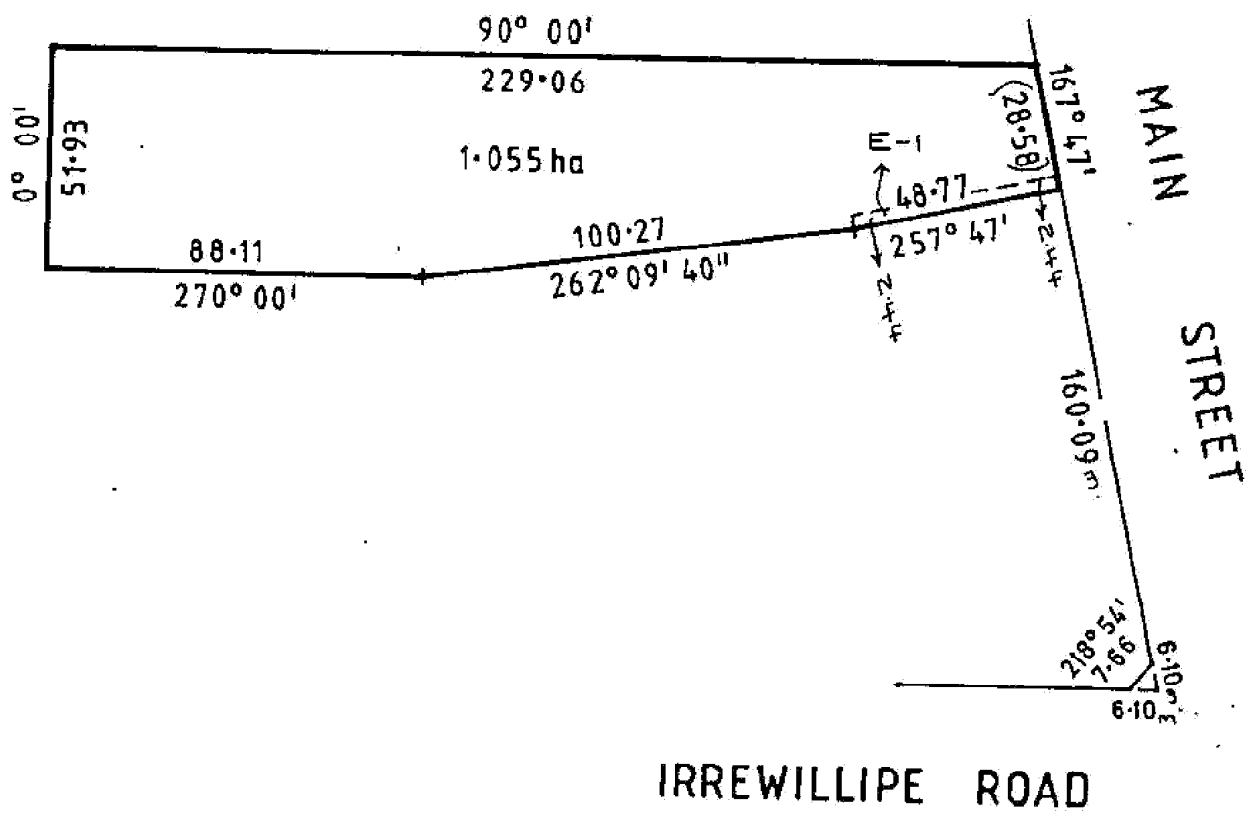
Description of Land / Easement Information

ENCUMBRANCES

AS TO THE LAND SHOWN MARKED "E-1"
 THE DRAINAGE AND SEWERAGE
 EASEMENTS (IF ANY) EXISTING OVER
 THE SAME BY VIRTUE OF SECTION 98
 OF THE TRANSFER OF LAND ACT
 SEE PLAN OF SUBDIVISION NO.86874

THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT

COMPILED: 22/08/2002
 VERIFIED: BP

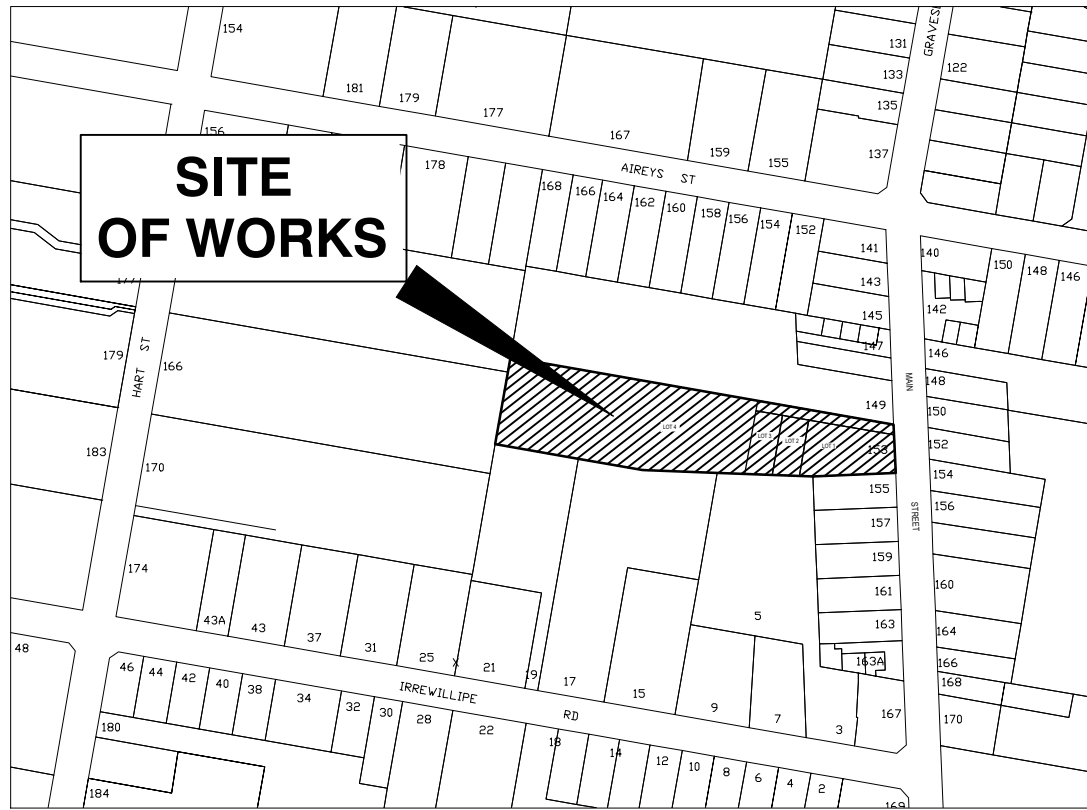


LENGTHS ARE IN METRES	Metres = 0.3048 x Feet Metres = 0.201168 x Links
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153 MAIN STREET DRIVEWAY & DRAINAGE PLANS

ELLIMINYT



LOCALITY PLAN
NTS

GENERAL NOTES

PRIOR TO THE COMMENCEMENT OF WORKS

- THE CONTRACTOR MUST NOTIFY THE RELEVANT AUTHORITY 7 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION OF THE RELEVANT WORKS.
- THE CONTRACTOR MUST OBTAIN AN ASSET PROTECTION PERMIT FROM THE MUNICIPALITY FOR ANY WORKS UNDERTAKEN WITHIN AN EXISTING ROAD RESERVE PRIOR TO THE COMMENCEMENT OF WORKS
- THE CONSULTANT HAS MADE EVERY REASONABLE ATTEMPT TO LOCATE EXISTING SERVICES AND HAS SHOWN THESE ON THE DRAWINGS. THE CONTRACTOR SHALL TAKE PHOTOGRAPHS AND PROVIDE A WRITTEN REPORT DETAILING THE CONDITION REGARDING ALL EXISTING INFRASTRUCTURE WHICH THEY ARE INTERFACING WITH, OR OTHERWISE HAVING AN IMPACT ON.
- PRIOR TO COMMENCING WORKS THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL SERVICES BY SITE SURVEY (INSPECTION AND CONSULTATION WITH ALL RELEVANT SERVICING AUTHORITIES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING SERVICES, WHETHER SHOWN OR NOT.
- THE CONTRACTOR MUST CONTACT DIAL BEFORE YOU DIG (CALL 1100), OR VISIT THE DIAL BEFORE YOU DIG WEBSITE PRIOR TO COMMENCING WORKS AND SATISFY THEMSELVES THAT THERE ARE NO SERVICES WITHIN THE VICINITY OF THE WORK AREA
- NO WORK IS TO COMMENCE BEFORE THE CONTRACTOR HAS ASCERTAINED WHAT UNDERGROUND SERVICES ARE PRESENT
- CONTRACTOR MUST FOLLOW THE "NO GO ZONE" SAFETY PROCEDURES AT ALL TIMES, WHICH ARE AVAILABLE FROM ALL UTILITY AND TELECOMMUNICATIONS COMPANIES, INCLUDING THE OFFICE OF THE CHIEF ELECTRICAL INSPECTOR, THE OFFICE OF GAS SAFETY AND WORKSAFE VICTORIA
- IF THESE SAFETY PROCEDURES CANNOT BE COMPLIED WITH THEN NO WORK IS TO BE UNDERTAKEN WITHOUT PERMISSION FROM THE UTILITY COMPANY
- THE CONTRACTOR IS TO ABIDE BY THE CONSTRUCTION MANAGEMENT PLAN AS PREPARED BY TOMKINSON GROUP AND APPROVED BY COUNCIL AT A MINIMUM AND COMPLY WITH ANY APPLICABLE LEGISLATIVE REQUIREMENTS
- THE CONTRACTOR MUST NOTIFY THE RELEVANT AUTHORITY 7 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION OF THE RELEVANT WORKS.

CONSTRUCTION SETOUT

- ALL LEVELS ARE TO A.H.D. AND ARE REFERENCED TO THE T.B.M. INDICATED
- NO TBM CAN BE USED WITHOUT FIRST PROVING IT TO BE CORRECT TO A SECOND TBM. TOMKINSON GROUP IS TO BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY. NO HORIZONTAL SETOUT CONTROL CAN BE USED WITHOUT FIRST PROVING IT TO BE CORRECT TO A THIRD KNOWN POINT. TOMKINSON GROUP IS TO BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY. TITLE PEGS AND T.B.M.'s TO BE RE-ESTABLISHED BY A LICENSED SURVEYOR IF FOUND TO BE MISSING.

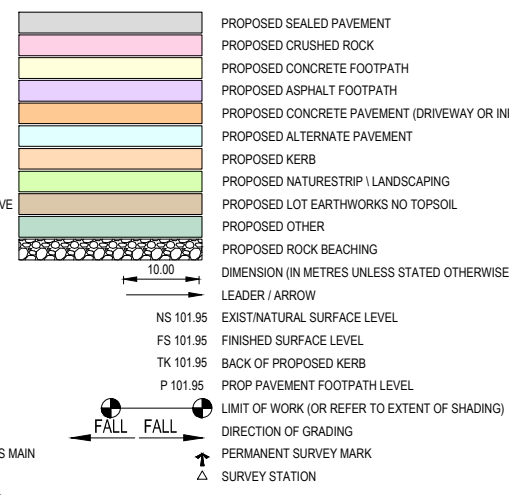
SITE MANAGEMENT DURING CONSTRUCTION

- THE CONSULTING ENGINEER IS RESPONSIBLE FOR THE DESIGN AND MANAGEMENT OF THE CONSTRUCTION WORKS. ANY PROBLEMS ARISING DURING CONSTRUCTION SHALL BE DIRECTED TO THE CONSULTANT.
- ALL WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INFRASTRUCTURE DESIGN MANUAL AND ANY OTHER RELEVANT AUTHORITY SPECIFICATIONS. A COPY OF THE INFRASTRUCTURE DESIGN MANUAL CAN BE FOUND AT www.designmanual.com.au IF YOU HAVE ANY ISSUES INTERPRETING THE MANUAL CONTACT THE CONSULTANT
- ALL WORKS MUST ABIDE BY THE APPROVED CONSTRUCTION MANAGEMENT PLAN AND MUST COMPLY WITH THE RECOMMENDATIONS OF THE ENVIRONMENT PROTECTION AUTHORITY PUBLICATION "CONSTRUCTION TECHNIQUES FOR SEDIMENT POLLUTION CONTROL" (PUBLICATION NO 275). APPROPRIATE SILTATION CONTROL IS TO BE CARRIED OUT DURING THE CONSTRUCTION AND MAINTENANCE PERIOD.

- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF CLAUSE 202 THE MINE (TRENCHING) ACT 1982 AS AMENDED AND RELEVANT REGULATIONS INCLUDING NOTIFICATION TO THE SECRETARY OF MINERALS AND ENERGY OF HIS INTENTION TO COMMENCE EXCAVATION OPERATIONS WHERE ANY TRENCH OR PIT IS 1.5 METRES OR MORE IN DEPTH.
 - FORTY-EIGHT (48) HOURS NOTIFICATION TO INSPECTORS OF RELEVANT AUTHORITY IS REQUIRED PRIOR TO AN INSPECTION BEING CONDUCTED ON ANY PARTICULAR PORTION OF THE WORKS.
 - THE CONTRACTOR SHALL TAKE THE UTMOST CARE TO PRESERVE EXISTING TREES. NO TREES SHALL BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE SUPERINTENDENT.
 - THE CONTRACTOR IS REQUIRED TO CONFINE CONSTRUCTION VEHICLES TO THE ROAD RESERVE AND EASEMENTS. ANY DAMAGE CAUSED TO THE ALLOTMENTS MUST BE MADE GOOD.
 - THE CONTRACTOR SHALL TO THE SATISFACTION OF THE CONSULTING ENGINEER AND COUNCIL'S SUPERVISING OFFICER PROVIDE AND MAINTAIN ALL NECESSARY WARNING SIGNAGE, LIGHTING AND BARRICADING TO COMPLY WITH THE REQUIREMENTS OF THE ROAD MANAGEMENT ACT
 - DISPOSAL OF EXCESS SPOIL, TRUCK ROUTE AND DISPOSAL LOCATION ARE TO BE APPROVED BY THE MUNICIPAL ENGINEERING DEPARTMENT.
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 - MACHINERY IS NOT TO BE DRIVEN OVER OR PARKED WITHIN THE DRIP ZONE OF ANY TREE
- EARTHWORKS**
- ALL EARTHWORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH AS 3798 (1996)
 - ALL FILLING WITHIN AREAS OF PROPOSED ROAD PAVEMENT IS TO ACHIEVE A MINIMUM COMPACTION OF 98% STANDARD.
 - ALL FILLING WITHIN OTHER AREAS IS TO ACHIEVE A MINIMUM COMPACTION OF 95% STANDARD.
 - ANY FILLING IN EXCESS OF 300mm DEPTH IS TO BE CARRIED OUT UNDER LEVEL 1 SUPERVISION UNLESS DIRECTED OTHERWISE. FILL AREAS ARE TO BE STRIPPED OF TOPSOIL & FILLED USING APPROVED CLAY FILL. TOPSOIL IS TO BE REPLACED NO MORE THAN 150mm THICK TO OBTAIN FINAL FILL LEVELS AS SHOWN ON PLANS. ALL FILLING TO BE CARRIED OUT IN 150mm LAYERS AND COMPACTED AS DETAILED ABOVE IN ACCORDANCE WITH AS3798-1996 ("GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS"). ON COMPLETION THE CONTRACTOR SHALL PRESENT A "LEVEL 1" TYPED REPORT NOMINATING THE EXTENT OF FILL PLACED, ITS CONFORMANCE WITH THE SPECIFICATION AND ITS CLASSIFICATION AS "CONTROLLED FILL". IF ANY SUBSTANDARD FILLING IS ENCOUNTERED ON THE SITE IT MUST BE REMOVED AND REPLACED WITH VERIFICATION PROVIDED TO THE SUPERVISING ENGINEER. A GEO-TECHNICAL REPORT MUST BE SUBMITTED SHOWING DETAILS OF DEPTH, TYPE OF MATERIAL AND DENSITY OF THE FILL AREAS CONCERNED
 - THE CONSULTING ENGINEER IS TO BE ADVISED OF ANY FILLING THAT ACHIEVES A DEPTH OF 300mm OR GREATER.
 - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL IMPORTED FILL MATERIAL, INCLUDING TOPSOIL, SATISFIES THE DESCRIPTION FOR CLEAN FILL MATERIAL IN EPA BULLETIN PUBLICATION NO. 448 (SEPT '95) AND SUBSEQUENT REVISIONS. THE CONTRACTOR SHALL PROVIDE VERIFICATION INCLUDING TEST CERTIFICATES TO THE SUPERVISING ENGINEER.
 - ALL TRENCHES ARE TO ACHIEVE THE SPECIFIED COMPACTION RESULTS WITHOUT EXCEPTION. THE CONSULTING ENGINEER RESERVES THE RIGHT TO REQUIRE COMPACTION TESTING BY A NATA APPROVED LABORATORY AT THE CONTRACTORS EXPENSE.
 - ALL EXCAVATIONS OF DEPTH 1.5m OR GREATER MUST COMPLY WITH LEGISLATION ENFORCED BY WORKSAFE VICTORIA. A "NOTICE OF INTENTION TO COMMENCE EXCAVATION" MUST BE SUBMITTED TO YOUR LOCAL WORKSAFE OFFICE.

LEGEND

	EXISTING SHRUBS / TREES		PROPOSED SEWER AND MANHOLE
	PROPOSED STREET TREE		PROPOSED SEWER RISING MAIN
	SHRUBS / TREES TO BE REMOVED		PROPOSED PRIVATE SEWER
	SIGN		EXISTING SEWER & MANHOLE
	TELSTRA PILLA		PROPOSED FUTURE SEWER
	TELSTRA PITS		PROPOSED WATER MAIN
	ELECTRICITY LIGHT & POLE		PROPOSED PRIVATE WATER MAIN
	PROPOSED KERB & CHANNEL		PROPOSED RECYCLED WATER MAIN
	EXISTING KERB & CHANNEL		EXISTING WATER MAIN, FIRE PLUG AND VALVE
	PROPOSED DRAIN / PIT / I.S.		PROPOSED FUTURE WATER
	EXISTING DRAIN / PIT		PROPOSED ELECTRICITY MAIN
	PROPOSED HOUSE DRAIN		PROPOSED PRIVATE ELECTRICITY MAIN
	FUTURE DRAIN / PIT		EXISTING ELECTRICITY MAIN & PIT
	FENCE LINE		PROPOSED FUTURE ELECTRICITY
	INVERT (DESIGN \ EXISTING)		PROPOSED GAS MAIN
	EDGE OF SEAL / EDGE OF BITUMEN (DESIGN \ EXISTING)		PROPOSED PRIVATE GAS MAIN
	TOP OF BANK (DESIGN \ EXISTING)		EXISTING GAS MAIN
	BOTTOM OF BANK		PROPOSED FUTURE GAS
	PROPOSED TITLE BOUNDARY & SITE TITLE BOUNDARY		PROPOSED TELECOMMUNICATIONS MAIN
	PROPOSED FUTURE TITLE BOUNDARY		PROPOSED PRIVATE TELECOMMUNICATIONS MAIN
	PREVIOUS STAGE TITLE BOUNDARY		EXISTING TELECOMMUNICATIONS CABLE
	PROPOSED OR EXISTING EASEMENT		PROPOSED FUTURE TELECOMMUNICATIONS
	HOUSE		PROPOSED CATCH DRAIN
	PROPOSED ELEC / TELSTRA CONDUIT & PIT		PROPOSED AG DRAIN
	PROPOSED GAS & WATER CONDUIT		



DRAWING LIST

- ROAD & DRAINAGE CONSTRUCTION PLANS**
- A3712R01 LOCALITY PLAN & GENERAL NOTES
 - A3712R02 DETAIL PLAN
 - A3712R03 DRIVEWAY LONGITUDINAL & TYPICAL SECTION
 - A3712R04 DRAINAGE LONGITUDINAL SECTION & PIT SCHEDULE
 - A3712R05 BULK EARTHWORKS PLAN



REFER TO ELECTRICAL AND TELSTRA PLANS FOR SERVICE AND CONDUIT DETAILS

WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

TABLE OF OFFSETS FOR SERVICES

STREET	GAS		WATER		ELEC		TELCO		DRAINAGE		SEWER	
	OFFSET	SIDE	OFFSET	SIDE	UG CABLE	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET	SIDE
MAIN STREET	2.8m	EAST	2.2 & 5.4m	WEST	-	-	1.1m	WEST	1.1m	WEST	3.2m	WEST

FOR COMMENT

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REV	DESCRIPTION	DES	DWG	CHK	DATE
A	AS SUBMITTED TO COUNCIL	RQ	RQ	JG	30/10/17

Tomkinson Group
Project Managers Development Planners
Licensed Surveyors Civil Engineers
ISO 9001:2008 FSS20488
Tel: (03) 5261 3788 Fax: (03) 5264 7057
1 / 3 Cliff Street Torquay 3228 email: surfcoast@tomkinson.com
web: www.tomkinson.com

Principal BAKERLAND PROPERTIES

4 LOT SUB-DIVISION
153 MAIN STREET, ELLIMINYT

LOCALITY PLAN & GENERAL NOTES

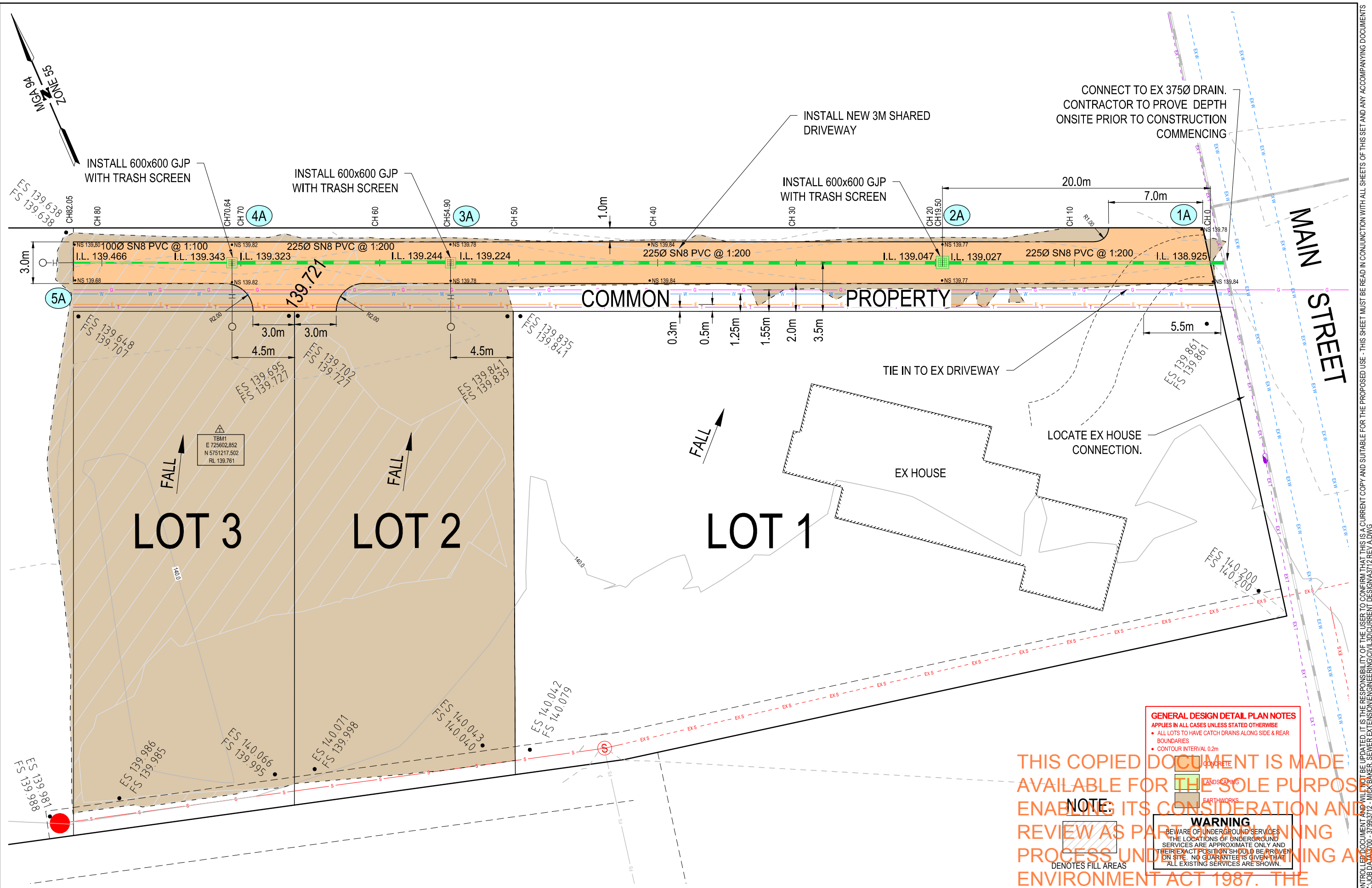
Municipality & Ref:
COLAC OTWAY SHIRE
PP#2017.4

SHT 1 of 5 REV A

Drawing No.
A3712R01

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GENERAL DESIGN DETAIL PLAN NOTES
 APPLIES IN ALL CASES UNLESS STATED OTHERWISE
 • ALL LOTS TO HAVE CATCH DRAINS ALONG SIDE & REAR
 • BOUNDARIES
 • CONTOUR INTERVAL 0.2m

NOTE:
 DENOTES FILL AREAS

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 1 / 3 Cliff Street Torquay 3228
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ISO 9001:2008
 FSS20488

Principal BAKERLAND PROPERTIES

4 LOT SUB-DIVISION
 153 MAIN STREET, ELLIMINY
 LAYOUT PLAN

Principal BAKERLAND PROPERTIES

SCALE: 1:250
 LENGTHS ARE IN METRES - PAPER SIZE A3

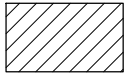
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 SHIRE
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SHT 2 of 5 REV A

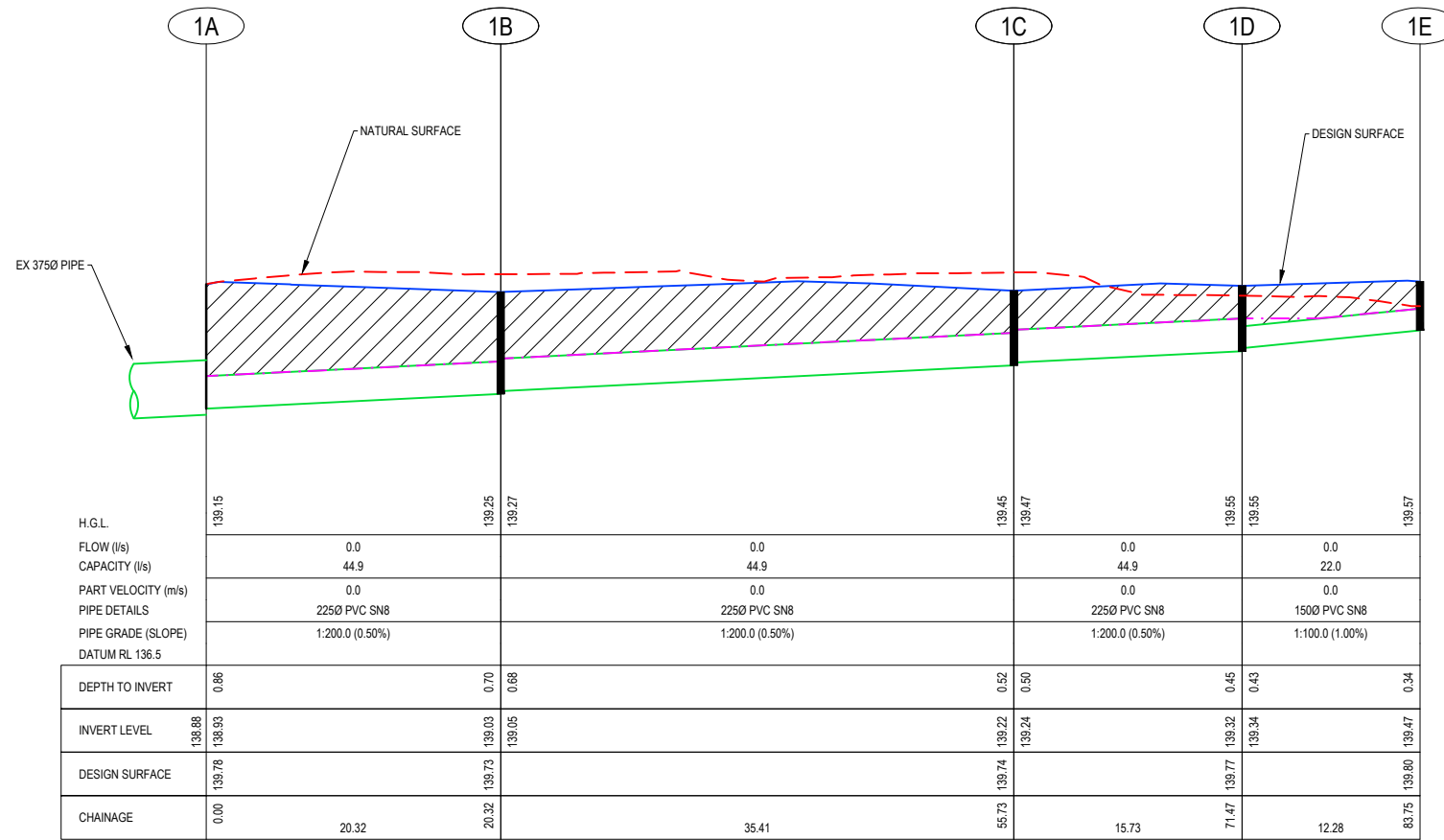
Drawing No.
 A3712R02

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NOTE:



DENOTES 3% CEMENT
STABILISED FULL DEPTH
FCR BACKFILL.
REFER STANDARD NOTES



DRAINAGE LONGITUDINAL SECTION

Pit Schedule - Driveway Drainage												
Pit No.	Pit Type	Pit Width	Pit Length	Outlet Diameter	Outlet Invert RL	Inlet Diameter	Inlet Invert RL	Pit Depth	Pit Lid Level	Easting	Northing	Comment
		(mm)	(mm)	(mm)	(m)	(mm)	(m)	(m)	(m)	(m)	(m)	
1A	STREET DRAIN CONNECTION					225	138.925	0.856	139.781	725676.18	5751216.855	PER IDM SD516
1B	GJP	600	600	225	139.027	225	139.047	0.704	139.731	725656.17	5751220.384	CLASS D COVER - INSTALL TRASH GRATE
1C	GJP	450	450	225	139.224	225	139.244	0.515	139.739	725621.29	5751226.478	CLASS D COVER - INSTALL TRASH GRATE
1D	GJP	450	450	225	139.323	100	139.343	0.450	139.773	725605.79	5751229.198	CLASS D COVER - INSTALL TRASH GRATE
1E	I/O			150	139.466			0.336	139.802	725593.70	5751231.319	

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omkinsonGroup

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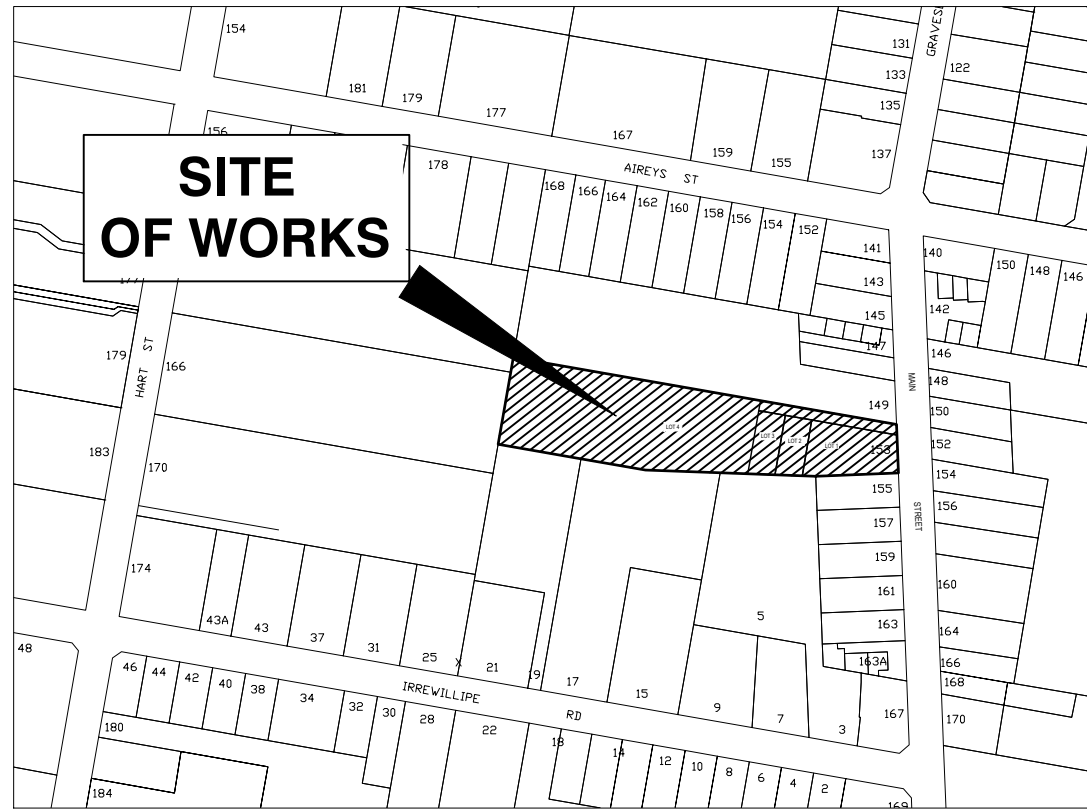
4 LOT SUB-DIVISION
153 MAIN STREET, ELLIMINY
DRAINAGE LONGITUDINAL SECTION AND PIT SCHEDULE

Municipality & Ref: COLAC OTWAY SHIRE PP#12017.1	SHT 4 of 5	REV A
Drawing No. A3712R04		

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153 MAIN STREET DRIVEWAY & DRAINAGE PLANS

ELLIMINYT

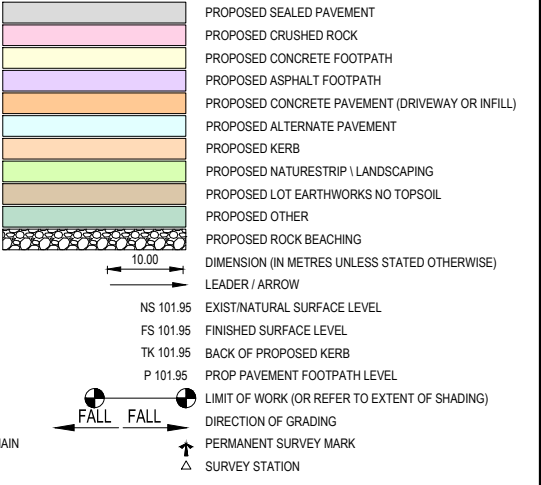


LOCALITY PLAN
NTS



- LEGEND**
- EXISTING SHRUBS / TREES
 - PROPOSED STREET TREE
 - SHRUBS / TREES TO BE REMOVED
 - SIGN
 - TELSTRA PILLA
 - TELSTRA PITS
 - ELECTRICITY LIGHT & POLE
 - PROPOSED KERB & CHANNEL
 - EXISTING KERB & CHANNEL
 - PROPOSED DRAIN / PIT / I.S.
 - EX D — EXISTING DRAIN / PIT
 - D — FUTURE DRAIN / PIT
 - FENCE LINE
 - INVERT (DESIGN \ EXISTING)
 - EDGE OF SEAL / EDGE OF BITUMEN (DESIGN \ EXISTING)
 - TOP OF BANK (DESIGN \ EXISTING)
 - BOTTOM OF BANK
 - PROPOSED TITLE BOUNDARY & SITE TITLE BOUNDARY
 - PROPOSED FUTURE TITLE BOUNDARY
 - PREVIOUS STAGE TITLE BOUNDARY
 - PROPOSED OR EXISTING EASEMENT
 - HOUSE
 - PROPOSED ELEC / TELSTRA CONDUIT & PIT
 - PROPOSED GAS & WATER CONDUIT

- LEGEND**
- S PROPOSED SEWER AND MANHOLE
 - SRM PROPOSED SEWER RISING MAIN
 - PS PROPOSED PRIVATE SEWER
 - EX S EXISTING SEWER & MANHOLE
 - FS PROPOSED FUTURE SEWER
 - W PROPOSED WATER MAIN
 - PW PROPOSED PRIVATE WATER MAIN
 - RW PROPOSED RECYCLED WATER MAIN
 - EX W EXISTING WATER MAIN, FIRE PLUG AND VALVE
 - FW PROPOSED FUTURE WATER
 - E PROPOSED ELECTRICITY MAIN
 - PE PROPOSED PRIVATE ELECTRICITY MAIN
 - EX E EXISTING ELECTRICITY MAIN & PIT
 - FE PROPOSED FUTURE ELECTRICITY
 - G PROPOSED GAS MAIN
 - PG PROPOSED PRIVATE GAS MAIN
 - EX G EXISTING GAS MAIN
 - FG PROPOSED FUTURE GAS
 - T PROPOSED TELECOMMUNICATIONS MAIN
 - PT PROPOSED PRIVATE TELECOMMUNICATIONS MAIN
 - EX T EXISTING TELECOMMUNICATIONS CABLE
 - FT PROPOSED FUTURE TELECOMMUNICATIONS
 - CATCH PROPOSED CATCH DRAIN
 - D AG PROPOSED AG DRAIN



DRAWING LIST

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TABLE OF OFFSETS FOR SERVICES

STREET	GAS		WATER		ELEC		TELCO		DRAINAGE		SEWER	
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GENERAL NOTES

- PRIOR TO THE COMMENCEMENT OF WORKS**
- THE CONTRACTOR MUST NOTIFY THE RELEVANT AUTHORITY 7 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION OF THE RELEVANT WORKS.
 - THE CONTRACTOR MUST OBTAIN AN ASSET PROTECTION PERMIT FROM THE MUNICIPALITY FOR ANY WORKS UNDERTAKEN WITHIN AN EXISTING ROAD RESERVE PRIOR TO THE COMMENCEMENT OF WORKS
 - THE CONSULTANT HAS MADE EVERY REASONABLE ATTEMPT TO LOCATE EXISTING SERVICES AND HAS SHOWN THESE ON THE DRAWINGS. THE CONTRACTOR SHALL TAKE PHOTOGRAPHS AND PROVIDE A WRITTEN REPORT DETAILING THE CONDITION REGARDING ALL EXISTING INFRASTRUCTURE WHICH THEY ARE INTERFACING WITH, OR OTHERWISE HAVING AN IMPACT ON.
 - PRIOR TO COMMENCING WORKS THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL SERVICES BY SITE SURVEY (INSPECTION AND CONSULTATION WITH ALL RELEVANT SERVICING AUTHORITIES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING SERVICES, WHETHER SHOWN OR NOT.
 - THE CONTRACTOR MUST CONTACT DIAL BEFORE YOU DIG (CALL 1100), OR VISIT THE DIAL BEFORE YOU DIG WEBSITE PRIOR TO COMMENCING WORKS AND SATISFY THEMSELVES THAT THERE ARE NO SERVICES WITHIN THE VICINITY OF THE WORK AREA
 - NO WORK IS TO COMMENCE BEFORE THE CONTRACTOR HAS ASCERTAINED WHAT UNDERGROUND SERVICES ARE PRESENT
 - CONTRACTOR MUST FOLLOW THE "NO GO ZONE" SAFETY PROCEDURES AT ALL TIMES, WHICH ARE AVAILABLE FROM ALL UTILITY AND TELECOMMUNICATIONS COMPANIES, INCLUDING THE OFFICE OF THE CHIEF ELECTRICAL INSPECTOR, THE OFFICE OF GAS SAFETY AND WORKSAFE VICTORIA
 - IF THESE SAFETY PROCEDURES CANNOT BE COMPLIED WITH THEN NO WORK IS TO BE UNDERTAKEN WITHOUT PERMISSION FROM THE UTILITY COMPANY
 - THE CONTRACTOR IS TO ABIDE BY THE CONSTRUCTION MANAGEMENT PLAN AS PREPARED BY TOMKINSON GROUP AND APPROVED BY COUNCIL AT A MINIMUM AND COMPLY WITH ANY APPLICABLE LEGISLATIVE REQUIREMENTS
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 - ALL FILLING WITHIN AREAS OF PROPOSED ROAD PAVEMENT IS TO ACHIEVE A MINIMUM COMPACTION OF 98% STANDARD.
 - ALL FILLING WITHIN OTHER AREAS IS TO ACHIEVE A MINIMUM COMPACTION OF 95% STANDARD.
 - ANY FILLING IN EXCESS OF 300mm DEPTH IS TO BE CARRIED OUT UNDER LEVEL 1 SUPERVISION UNLESS DIRECTED OTHERWISE. FILL AREAS ARE TO BE STRIPPED OF TOPSOIL & FILLED USING APPROVED CLAY FILL. TOPSOIL IS TO BE REPLACED NO MORE THAN 150mm THICK TO OBTAIN FINAL FILL LEVELS AS SHOWN ON PLANS. ALL FILLING TO BE CARRIED OUT IN 150mm LAYERS AND COMPACTED AS DETAILED ABOVE IN ACCORDANCE WITH AS3798-1996 ('GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS'). ON COMPLETION THE CONTRACTOR SHALL PRESENT A "LEVEL 1" TYPED REPORT NOMINATING THE EXTENT OF FILL PLACED, ITS CONFORMANCE WITH THE SPECIFICATION AND ITS CLASSIFICATION AS "CONTROLLED FILL". IF ANY SUBSTANDARD FILLING IS ENCOUNTERED ON THE SITE IT MUST BE REMOVED AND REPLACED WITH VERIFICATION PROVIDED TO THE SUPERVISING ENGINEER. A GEO-TECHNICAL REPORT MUST BE SUBMITTED SHOWING DETAILS OF DEPTH, TYPE OF MATERIAL AND DENSITY OF THE FILL AREAS CONCERNED
 - THE CONSULTING ENGINEER IS TO BE ADVISED OF ANY FILLING THAT ACHIEVES A DEPTH OF 300mm OR GREATER.
 - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL IMPORTED FILL MATERIAL, INCLUDING TOPSOIL, SATISFIES THE DESCRIPTION FOR CLEAN FILL MATERIAL IN EPA BULLETIN PUBLICATION NO. 448 (SEPT '95) AND SUBSEQUENT REVISIONS. THE CONTRACTOR SHALL PROVIDE VERIFICATION INCLUDING TEST CERTIFICATES TO THE SUPERVISING ENGINEER.
 - ALL TRENCHES ARE TO ACHIEVE THE SPECIFIED COMPACTION RESULTS WITHOUT EXCEPTION. THE CONSULTING ENGINEER RESERVES THE RIGHT TO REQUIRE COMPACTION TESTING BY A NATA APPROVED LABORATORY AT THE CONTRACTORS EXPENSE.
 - ALL EXCAVATIONS OF DEPTH 1.5m OR GREATER MUST COMPLY WITH LEGISLATION ENFORCED BY WORKSAFE VICTORIA. A "NOTICE OF INTENTION TO COMMENCE EXCAVATION" MUST BE SUBMITTED TO YOUR LOCAL WORKSAFE OFFICE.
- ALL LOTS ARE TO ACHIEVE A MINIMUM CROSS FALL OF 1 IN 150 (0.67%) TO A LEGAL POINT OF DISCHARGE (DRAINAGE POINT OR ROAD RESERVE) UNLESS STATED OTHERWISE
 - RESERVES AND COMMON PROPERTY TO BE FREE DRAINING AND TO BE LEFT IN A CONDITION SATISFACTORY TO THE CONSULTING ENGINEER
- ROAD WORKS AND FOOTPATHS**
- ALL CONCRETE IS TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25MPa AT 28 DAYS AND MINIMUM CEMENT CONTENT OF 320 kg/m³ UNLESS STATED OTHERWISE
- STORMWATER DRAINAGE AND SERVICE CONDUIT NOTES**
- ALL STORMWATER AND CONDUIT TRENCHES UNDER ROAD PAVEMENT AND/OR KERB AND CHANNEL AND/OR FOOTPATH SHALL BE BACKFILLED WITH CRUSHED ROCK AS SPECIFIED
 - REFER TO THE CERTIFIED PLAN OF SUBDIVISION FOR ALL EASEMENT WIDTHS, DO NOT SCALE FROM DRAWING.
 - STORMWATER DRAINS SHALL BE SEWER GRADE PVC OR EQUIVALENT UNLESS OTHERWISE SHOWN.
 - ALL PROPOSED DRAINAGE STUBS TO BE BLANKED OFF AT END OF PIPE WITH TIMBER PLANKS TO THE SATISFACTION OF THE SUPERVISING ENGINEER
 - ALL CONDUIT LOCATIONS ARE TO BE STAMPED IN THE CONCRETE DRIVEWAY.
 - ALL CONCRETE IS TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25MPa AT 28 DAYS
 - ALL GRATES ARE TO BE HOT DIPPED GALVANISED
 - STEP IRONS ARE NOT TO BE INSTALLED IN ANY DRAINAGE PIT. ACCESS LIDS ARE TO BE LOCATED TO ENABLE REASONABLE ACCESS.
 - ALL HOUSE DRAIN CONNECTIONS TO REINFORCED CONCRETE PIPES ARE TO UTILISE "CONCONNECT" OR COUNCIL APPROVED EQUIVALENT PRODUCTS TO AVOID PIPE PROTRUSIONS INTO THE LARGER PIPE
 - ELECTRICITY & TELECOMMUNICATIONS CONDUITS SHOWN ON THESE PLANS ARE CONCEPTUAL ONLY. REFER TO ELECTRICITY & TELECOMMUNICATION PLANS FOR ACTUAL ROAD SERVICE CONDUIT LOCATIONS. IF THERE ARE ANY DISCREPANCIES BETWEEN THESE PLANS CONTACT TOMKINSON GROUP FOR CLARIFICATION.
- CONSTRUCTION HOLD POINTS**
- CONSTRUCTION HOLD POINTS ARE TO BE IN ACCORDANCE WITH THE INFRASTRUCTURE DESIGN MANUAL
- EMERGENCY CONTACTS**
- THE PROJECT AREA CONTAINS THE FOLLOWING SERVICES FOR ASSISTANCE IN EMERGENCY CONTACT
- | SERVICE | AUTHORITY & CONTACT | TELEPHONE |
|----------------|---------------------|------------|
| DRAINAGE | COLAC OTWAY SHIRE | 5232 9400 |
| ELECTRICITY | POWERCOR | 133 412 |
| COMMUNICATIONS | TELSTRA | 112 203 |
| SEWER & WATER | BARWON WATER | 180 656007 |
- IN ANY EMERGENCY IF YOU BELIEVE LIFE OR PROPERTY IS IN DANGER DO NOT HESITATE TO CONTACT STATE EMERGENCY SERVICES ON TELEPHONE 000

FOR COMMENT

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REV	DESCRIPTION	DES	DWG	CHK	DATE
C	AMENDED TO INCLUDE DOUBLE CROSSOVER PER VICROADS PERMIT REQUIREMENTS	RQ	RQ	JG	30/11/17
B	AMENDED PER COUNCIL COMMENTS	RQ	RQ	JG	30/11/17
A	AS SUBMITTED TO COUNCIL	RQ	RQ	JG	30/10/17

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Principal BAKERLAND PROPERTIES

bsi
ISO 9001:2008
FS520488

Principal BAKERLAND PROPERTIES

4 LOT SUB-DIVISION
153 MAIN STREET, ELLIMINYT

LOCALITY PLAN & GENERAL NOTES

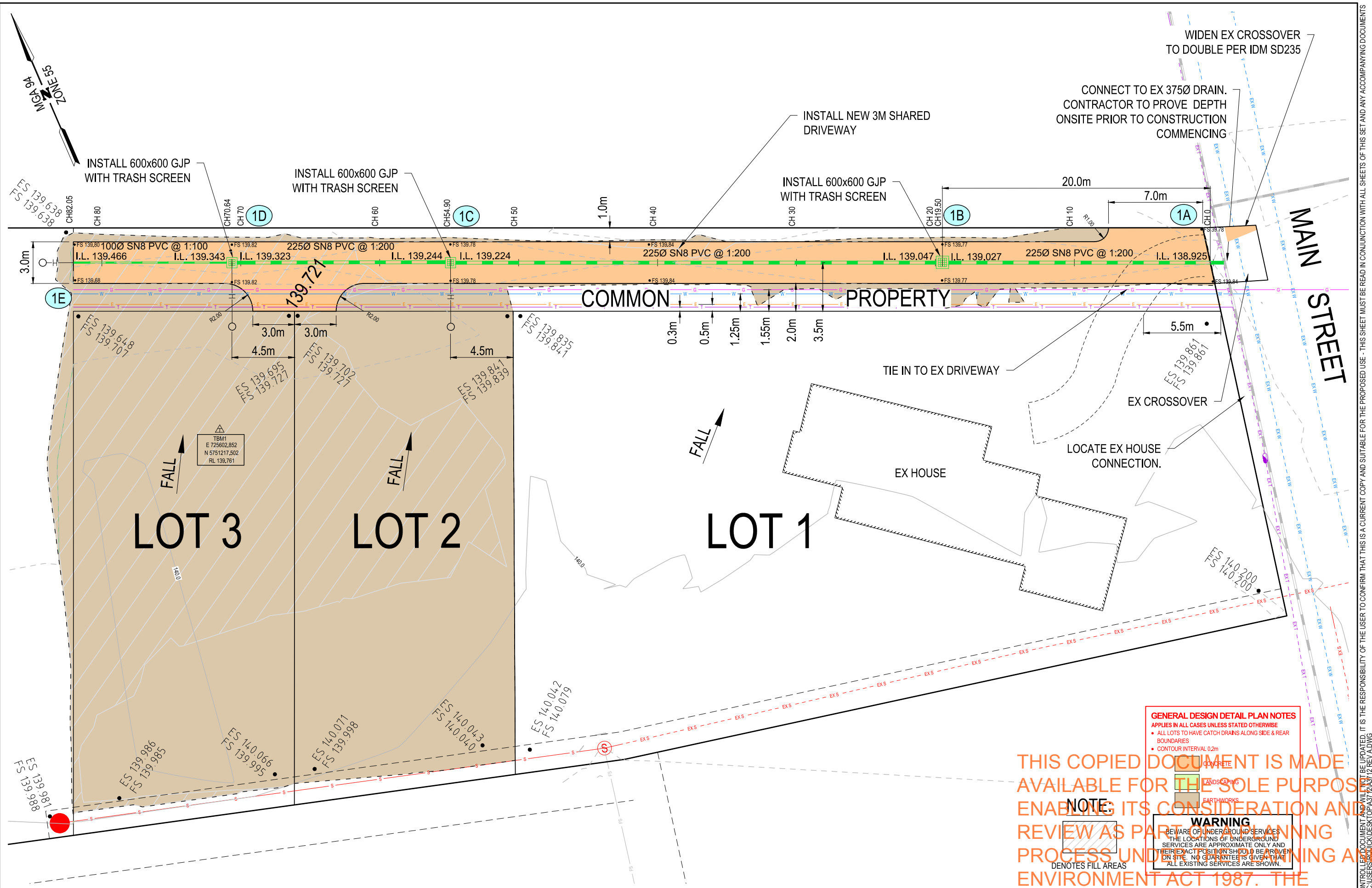
City of Colac Otway
SHIRE
PP#2017.4

SHT 1 of 5 REV C

Drawing No. A3712R01

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GENERAL DESIGN DETAIL PLAN NOTES
 APPLIES IN ALL CASES UNLESS STATED OTHERWISE
 • ALL LOTS TO HAVE CATCH DRAINS ALONG SIDE & REAR
 • BOUNDARIES
 • CONTOUR INTERVAL 0.2m

NOTE:
 DENOTES FILL AREAS

WARNING
 BEWARE OF UNDERGROUND SERVICES
 THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEES GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

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REV	DES	DWG	CHK	DATE
C		RQ	RQ	JG 30/11/17
B		RQ	RQ	JG 30/11/17
A		RQ	RQ	JG 30/10/17

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Principal BAKERLAND PROPERTIES

ISO 9001:2008 FSS20488

Principal BAKERLAND PROPERTIES

4 LOT SUB-DIVISION
 153 MAIN STREET, ELLIMIN
 LAYOUT PLAN

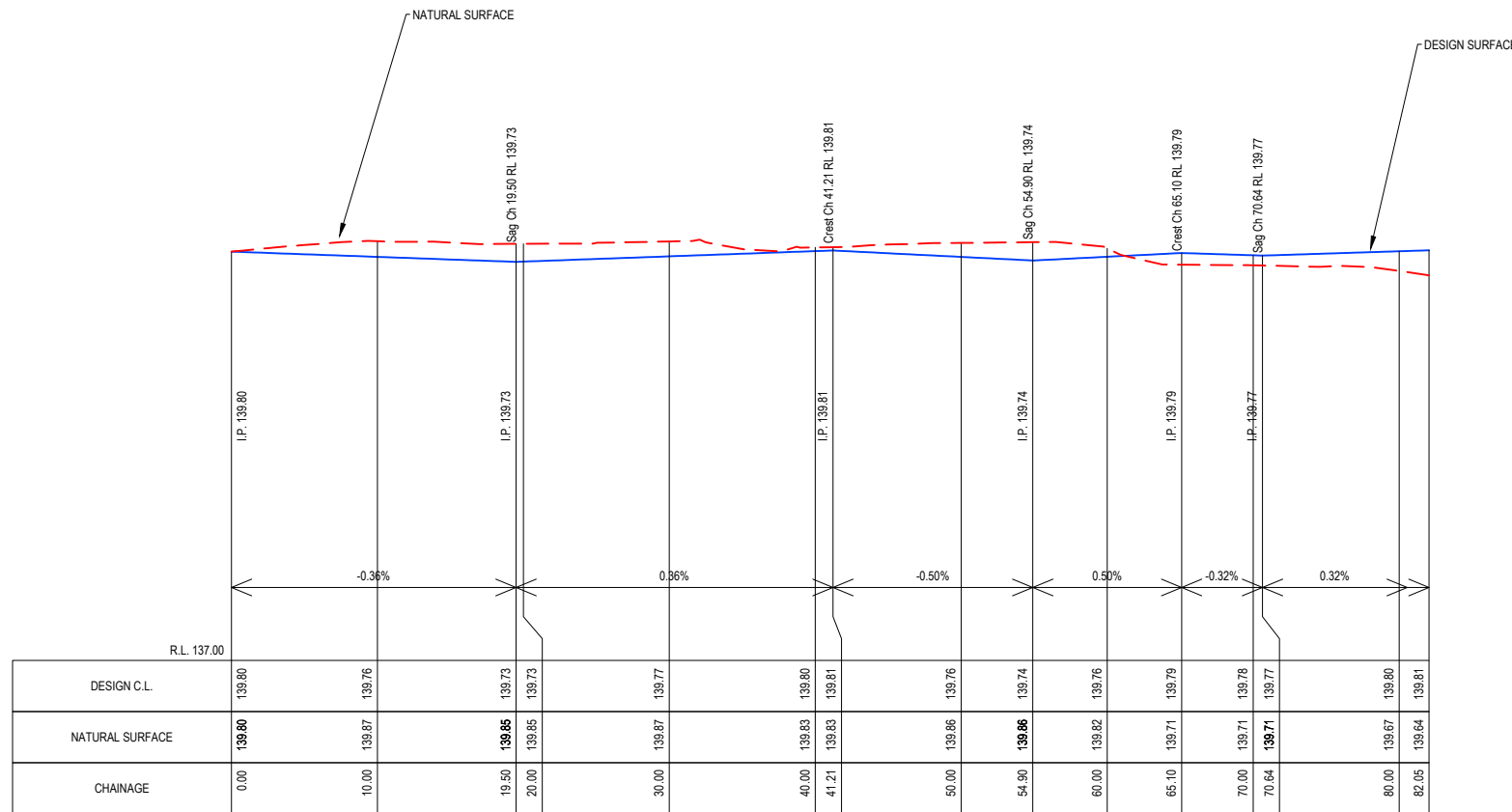
Municipality & Ref:
 COLAC OTWAY SHIRE
 PP#2017.4

SHT 2 of 5 REV C

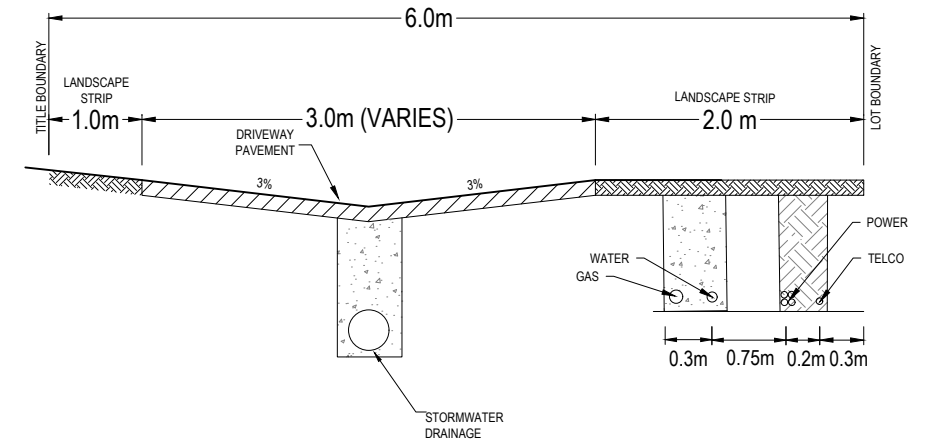
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 A3712R02

SCALE: 1:250
 LENGTHS ARE IN METRES - PAPER SIZE A3

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LONGITUDINAL SECTION - COMMON PROPERTY DRIVEWAY
SCALE H 1:500 V 1:50



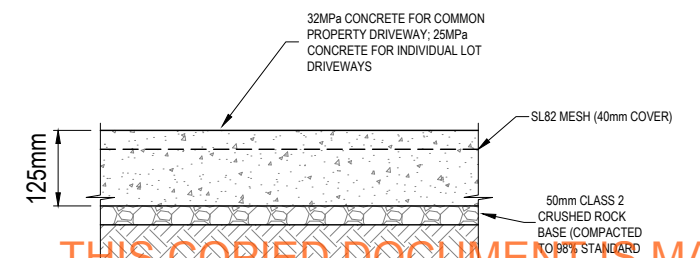
COMMON PROPERTY CONCRETE DRIVEWAY TYPICAL CROSS SECTION
NOT TO SCALE

DRIVEWAY NOTES:

- CONCRETE PAVEMENT TO BE 32MPa FOR COMMON PROPERTY DRIVEWAY & 25MPa FOR INDIVIDUAL LOT DRIVEWAYS BOTH 125mm THICK WITH SL82 MESH ON 50mm FCR BEDDING
- 'V' SHAPE IN DRIVEWAY MUST BE CONSTRUCTED

PAVEMENT NOTES:

- PAVEMENT DEPTHS MAY BE VARIED, AS DIRECTED BY SUPERINTENDANT. PAVEMENT TO BE BOXED OUT TO MINIMUM DEPTH DENOTED, INSPECTED AND IF SUB GRADE IS IN QUESTION, FURTHER TESTING TO BE CARRIED OUT TO DETERMINE FINAL PAVEMENT DEPTH.
- WHEN PAVEMENT EXCAVATION IS IN ROCK, ALL LOOSE MATERIAL (INCL' ROCK & CLAY) MUST BE REMOVED. THE SUBGRADE MUST THEN BE REGULATED WITH COUNCIL APPROVED MATERIAL.
- PRIOR TO PLACEMENT OF THE FILL MATERIAL UNDER NEW PAVEMENT, APPROVAL OF THE MATERIAL TO BE USED MUST BE OBTAINED FROM COUNCIL.
- CONSTRUCTION / CONTRACTION JOINTS ARE REQUIRED AT BUILDING/GARAGE INTERFACES, CORNERS, AT EVERY CHANGE OF GRADE, AT EVERY 6.0m INTERVAL AND AT EVERY CHANGE IN PAVEMENT THICKNESS. REINFORCEMENT TO HAVE 50mm COVER.
- SAW CUT OR TROWELED CRACK CONTROL JOINTS SHALL FORM SQUARES WHERE POSSIBLE WITH PREFERRED MAXIMUM OF 3m SPACING



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A	AS SUBMITTED TO COUNCIL	RQ	RQ	JG	30/10/17

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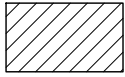
bsi ISO 9001:2008 FS520488

Principal BAKERLAND PROPERTIES
4 LOT SUB-DIVISION
153 MAIN STREET, ELLIMIN
DRIVEWAY LONGITUDINAL AND TYPICAL SECTION

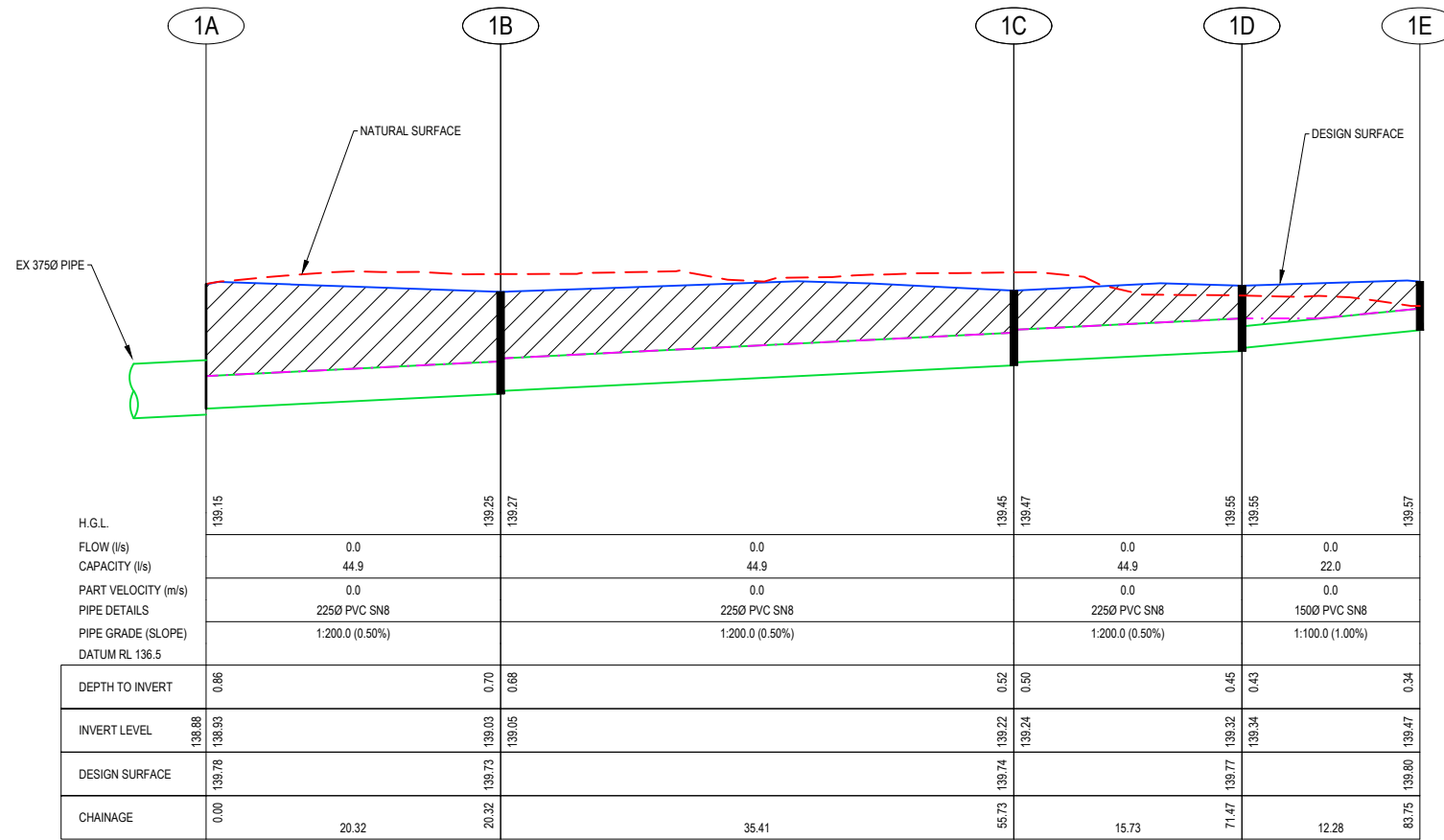
SCALE AS SHOWN
LENGTHS ARE IN METRES - PAPER SIZE A3
Municipality & Ref: COLAC OTWAY SHIRE
PP4/2017.4
SHT 3 of 5 REV C
Drawing No. A3712R03

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PLOT DATE: 30/11/2017 FILE: C:\USERS\ADMIN\DESKTOP\PP4\3712R03\12 REV A.DWG

NOTE:



DENOTES 3% CEMENT
STABILISED FULL DEPTH
FCR BACKFILL.
REFER STANDARD NOTES



DRAINAGE LONGITUDINAL SECTION

Pit Schedule - Driveway Drainage												
Pit No.	Pit Type	Pit Width	Pit Length	Outlet Diameter	Outlet Invert RL	Inlet Diameter	Inlet Invert RL	Pit Depth	Pit Lid Level	Easting	Northing	Comment
		(mm)	(mm)	(mm)	(m)	(mm)	(m)	(m)	(m)	(m)	(m)	
1A	STREET DRAIN CONNECTION					225	138.925	0.856	139.781	725676.18	5751216.855	PER IDM SD516
1B	GJP	600	600	225	139.027	225	139.047	0.704	139.731	725656.17	5751220.384	CLASS D COVER - INSTALL TRASH GRATE
1C	GJP	450	450	225	139.224	225	139.244	0.515	139.739	725621.29	5751226.478	CLASS D COVER - INSTALL TRASH GRATE
1D	GJP	450	450	225	139.323	100	139.343	0.450	139.773	725605.79	5751229.198	CLASS D COVER - INSTALL TRASH GRATE
1E	I/O			150	139.466			0.336	139.802	725593.70	5751231.319	

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B	RQ	RQ	JG	30/11/17	AMENDED PER COUNCIL COMMENTS
A	RQ	RQ	JG	30/10/17	AS SUBMITTED TO COUNCIL

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Principal BAKERLAND PROPERTIES

4 LOT SUB-DIVISION
153 MAIN STREET, ELLIMIN

DRAINAGE LONGITUDINAL SECTION AND PIT SCHEDULE

Municipality & Ref:
COLAC OTWAY
SHIRE
PP#2017.1

SHT 4 of 5 REV C

Drawing No.
A3712R04

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